



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 10, 2002

Dan Aguirre, P.E.  
Wilson & Company  
4900 Lang Ave NE  
Albuquerque, New Mexico 87109

**RE: SPEC WAREHOUSE- RICHMOND DR NE (G-16/D126)**  
**(3500 Richmond Dr NE )**  
**ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY**  
**ENGINEERS STAMP DATED 1/15/2001**  
**ENGINEERS CERTIFICATION DATED 6/11/2002**

Dear Mr. Aguirre:

Based upon the information provided in your Engineers Certification submittal dated 9/9/2002, approval of the SO19 by the City's Storm Drainage Maintenance inspector dated 5/20/2002, and the response to comments letter received 9/9/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

Hydrology Plan Checker

Development & Bldg. Ser. Division

*Tab*

C: Certificate of Occupancy Clerk, COA  
approval file  
✓ drainage file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Spec Warehouse ZONE MAP/DRG. FILE#: G-16

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 6, 7, and 8, Block 2 Indian Rest Addition

CITY ADDRESS: 3500 Richmond Drive, NE, Albuquerque, NM 87107

ENGINEERING FIRM: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Avenue, NE PHONE: (505) 348-4128

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: ANGELO L. TURICIANO CONTACT: Angelo Turiciano

ADDRESS: 7816 Academy Trail, NE PHONE: (505) 881-7934

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838

CITY, STATE: Albuquerque, NM ZIP CODE: 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

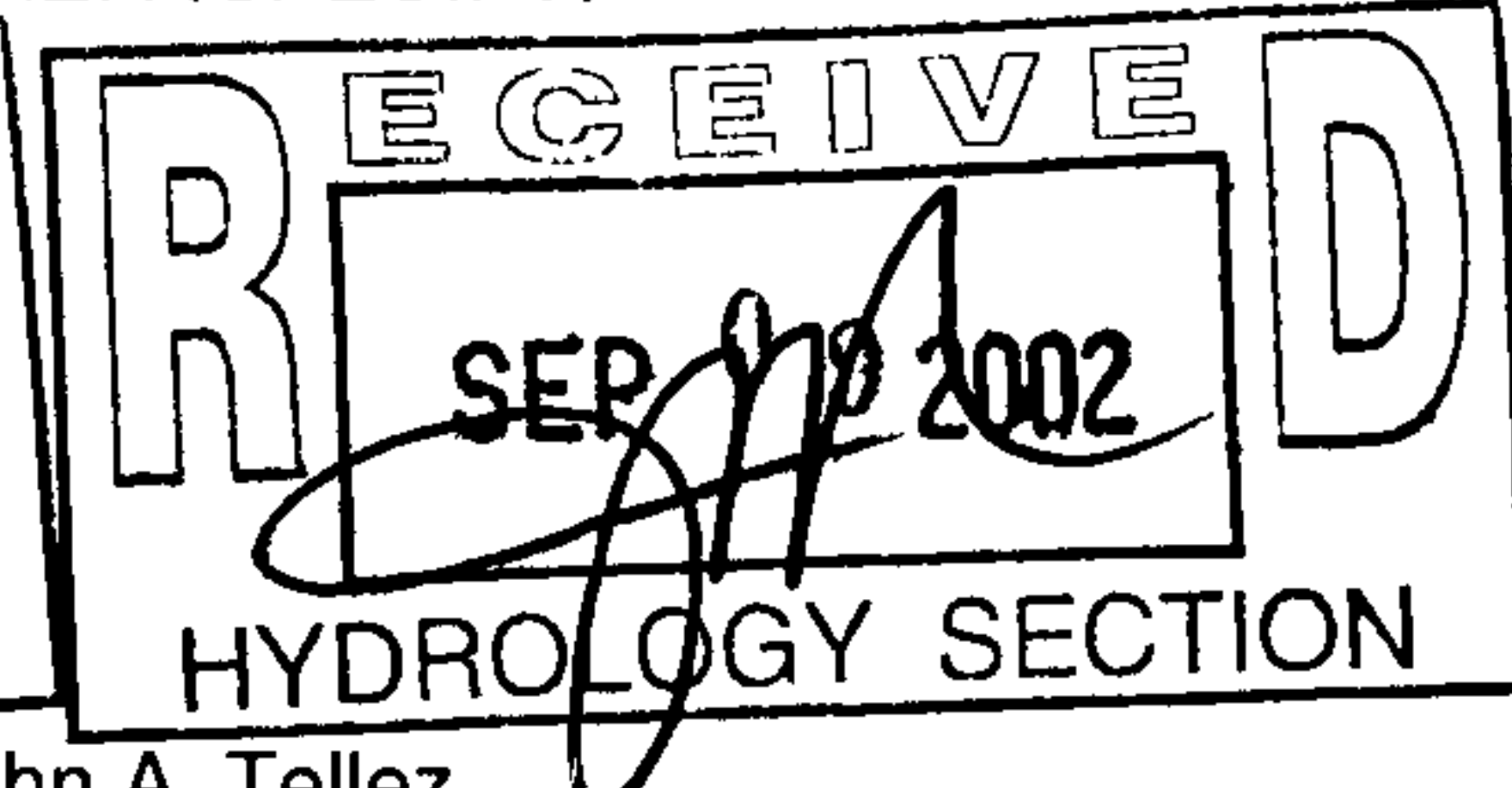
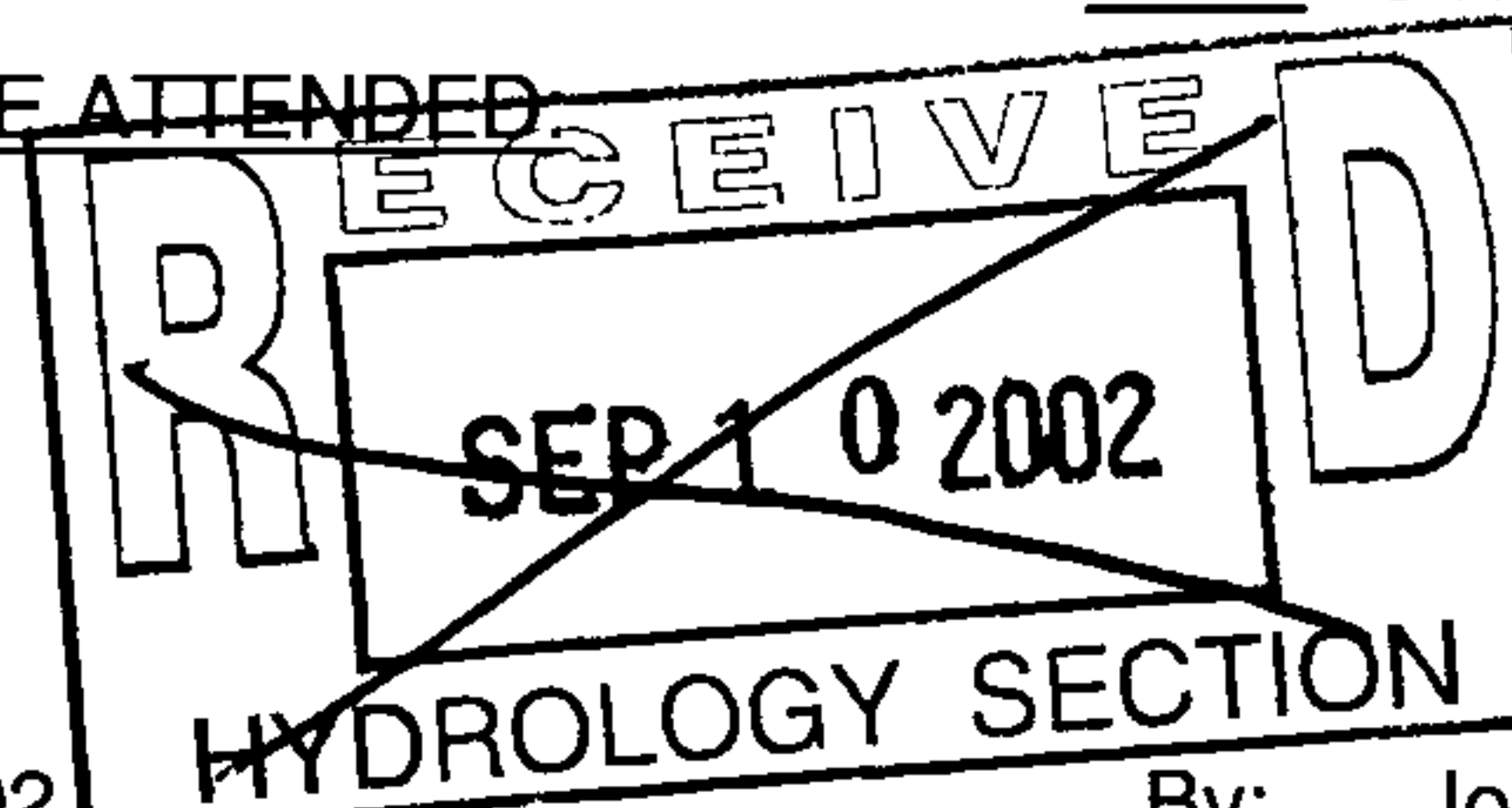
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEERS CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)  
☒ AS-BUILTS

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
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☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY (PERM.)  
☐ CERTIFICATION OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED




Date Submitted: September 9, 2002 By: John A. Tellez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

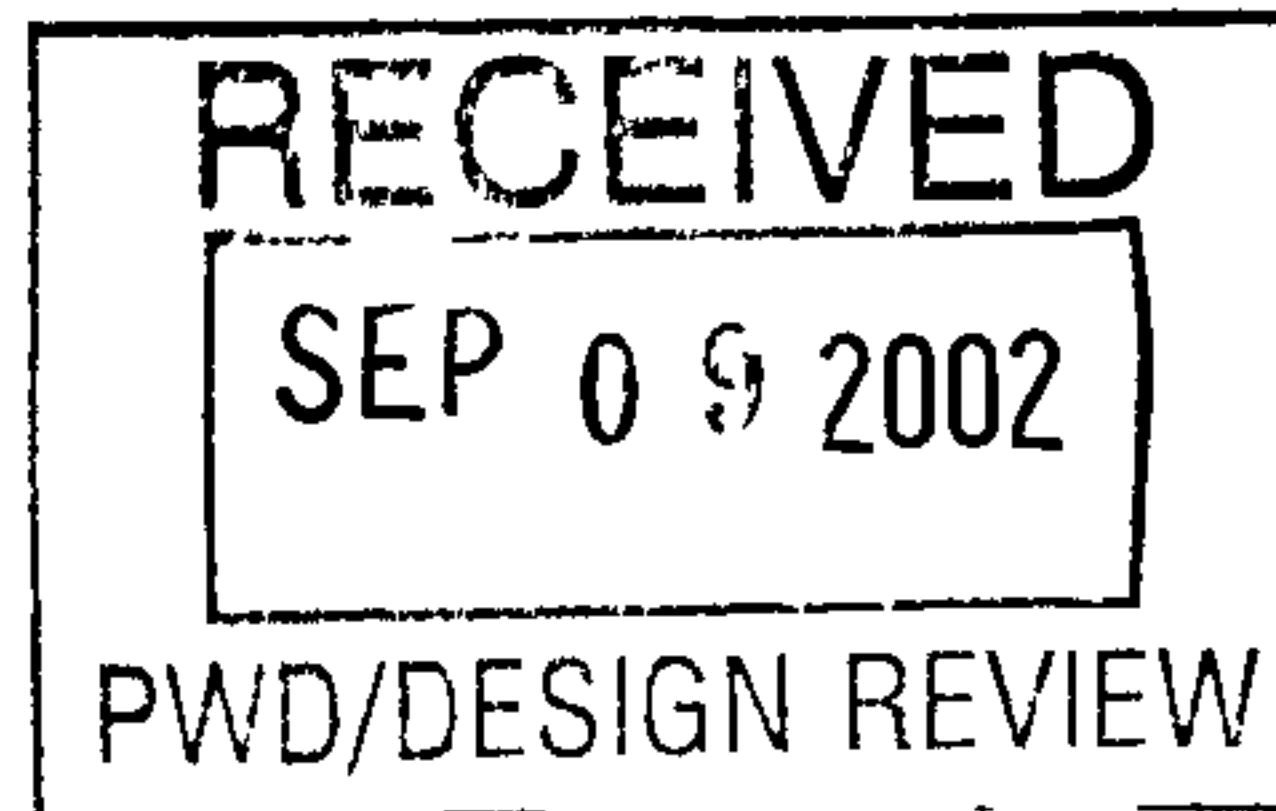
**Memo**

Albuquerque  
Colorado Springs  
Colton  
Denver  
Houston  
Lenexa, KS  
Kansas City, MO  
Phoenix  
Salina, KS  
Wichita

From: John A. Tellez 

To: Carlos A. Montoya

Copies To: File



Date: September 13, 2001

File No.: X0218031

Task: 83

Subject: **Spec Warehouse**

Please find attached the As-built Grading & Drainage resubmittal (original submittal dated 06/11/02) for Spec Warehouse. Per our conversation, I have addressed your comments as follows:

1. Historical flows were exiting thru the northeast corner of the site with existing conditions creating approximately 0.680 cfs of runoff. In our proposed conditions, runoff from the site was increased, but the flow into the northeast corner of the site was decreased. With reference to Basin 202, the proposed runoff was decreased to 0.188 cfs, which is a decrease of approximately 72%. This runoff is indicative of falling rain in the north, south and east side of the building, only. Runoff from the roof of the building is directed to the northwest corner of the site via an underground drainage system.
2. There are no off site flows from adjacent properties.
3. There is an existing chain link fence on the east side of the site that was not altered in any way, therefore, no excessive elevation changes of concern were made with respect to the adjacent property.
4. The finished floor elevation of 5105.67 was verified as shown.

If you have any further questions, please feel free to contact me at 348-4128.

Thank you.

# WILSON & COMPANY

4900 Lang Ave. NE  
Albuquerque, NM 87109  
P.O. Box 94000 87199-4000  
505-348-4000

Albuquerque  
Colorado Springs  
Colton  
Denver  
Durango  
Houston  
Kansas City  
Lenexa  
Oklahoma City  
Phoenix  
Salina  
Wichita

## Letter of Transmittal

Date: September 6, 2002  
To: City of Albuquerque

Attn: Carlos Montoya  
Project Name: Spec Warehouse

Project No. \_\_\_\_\_

We are sending you:

☒ Attached  
☐ Under separate cover via \_\_\_\_\_

The following items:

☐ Originals  
☐ Prints  
☐ \_\_\_\_\_

☒ Plans  
☐ Samples  
☐ Specifications

☐ Copy of letter  
☐ Change order

Copies	Date	Description

These are transmitted as checked below:

☒ For approval  
☐ For your use  
☐ As required  
☐ For review and comment  
☐ \_\_\_\_\_

☐ Approved as submitted  
☐ Approved as noted  
☐ Returned for corrections

☐ Resubmit \_\_\_\_\_ copies for review  
☐ Submit \_\_\_\_\_ copies for distribution  
☐ Return \_\_\_\_\_ corrected prints

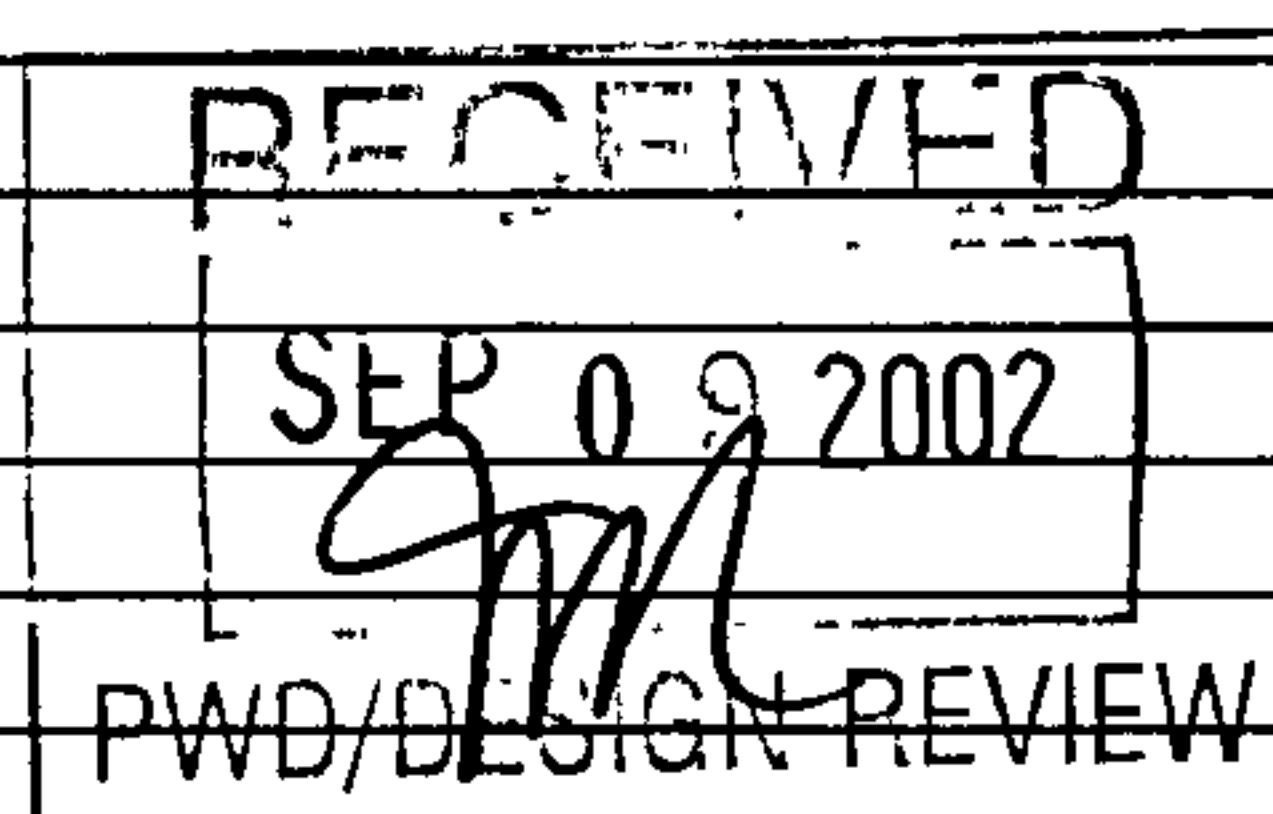
Remarks. \_\_\_\_\_

Action requested: \_\_\_\_\_

Copies to: \_\_\_\_\_

Signed. \_\_\_\_\_

If enclosures are not as noted, kindly notify us at once.





# CITY OF ALBUQUERQUE PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

**CONTRACTOR  
 LICENSE  
 ADDRESS**

CAMERO CONSTRUCTION

8A03  
 7424 2ND ST. N.W.  
 ALBUQUERQUE, NM 87107  
 345-1135

3500 RICHMOND DR NE

**S I T E**

**PERMIT AND DETOUR PLAN COMMENTS**

(2) 24' DP, 416' SW, 90#191 BARRICADE PERMIT  
 ON 11/20-11/21 ONLY 2100AM TO 610AM  
 \$21.00 F/BARRIC. 1 DAY FREE, APPR. PER  
 DARLENE SAAVEDRA (LETTER & PLANE

**PERMIT NUMBER** 2051482  
**PROJECT NUMBER** 11/15/2001  
**PERMIT ISSUE DATE**  
**BARRICADED BY** 1898  
**BLUE STAKE** CON  
**PAVING BY**  
**EXCAVATION** 443008-5810000 42.00 EX  
**SIDEWALK** 443012-5810000 104.00 SW  
**DRIVEPAD** 443011-5810000 19.00 DP  
**CURB/GUTTER** 443010-5810000 0.00 CG  
**BARRICADING** 443009-5810000 48.00 BR  
**RESTORATION** 443017-5810000 0.00 RS  
**TOTAL FEE** 204.00

**START DATE** **COMPLETION DATE** **PERMIT EXPIRES** **INSURANCE EXPIRES** **BOND EXPIRES** **ZONE ATLAS**

11/19/2001 11/21/2001 11/21/2001 12/31/2001 12/31/2001

**VOID UNTIL VALIDATED BY CITY TREASURER**

**APPLICANT**

**ISSUED BY**

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING IDENTIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE, IN ACCORDANCE WITH SECTION 8-5-2-1 ET SEQ. R.O. (1984). PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2561 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 360-1880 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 07/98

COA SDR  
 M  
 5/20/02

**R**  
 AUG 27 2002  
 HYDROLOGY SECTION  
**D**

ROWN0116 RIGHT OF WAY SYSTEM - INQUIRY FUNCTIONS - PERMIT DATA ROWNM116

PERMIT: 2051682 11/15/2001 WORK CODE DESCRIPTION: OTHER  
EXCAV. PERMIT: 2051682 EMERGENCY OR PLANNED: PLANNED  
PROJECT-W.O.: ACTIVITY: CONCRETE WORK  
LOCATION: CONTRACTOR: CAMBRO CONSTRUCTION  
3500 RICHMOND DR NE ADDRESS: 7424 2ND ST. N.W.  
ALBUQUERQUE, NM 87107  
345-1133

PAVING BY: CON STATE LICENSE: GA03  
ZONE MAP: BARRICADES USED: AREA PERMIT:  
START DATE: 11/15/2001 COMPLETION DATE: 11/21/2001 PERMIT EXP: 11/21/2001  
BLUE STAKE: 1398 INSURANCE EXPIRES: 08/01/2002 BOND EXPIR: 12/31/2001

SIDEWALK FEE: 104.00 EXCVTN FEE: 42.00 RESTORE FEE: 0.00  
DRIVEPAD FEE: 12.00 CURB/GUTTER: 0.00 BARRICADE FEE: 46.00  
TOTAL FEE: 204.00

BARRICADES REMOVED: 04/22/2002 (MMDDCCYY FORMAT)  
(2) 24'DP, 416'SW, SO#19, BARRIC: RLNB ON 11/20-11/21 ONLY 9:00AM TO 3:00PM,  
\$21.00 F/BARRIC. 1 DAY FREE, APPR PER DARLENE SAAVEDRA (LETTER & PLANS  
ATTACHED FOR SO#19  
ENTER = INQUIRY SELECTION PF1,PF13 = PROJECT INFO PF12,PF24 = MAIN MENU

*Attn: Terri  
Dr. Crystal*



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

G-16/D126

PROJECT TITLE: Spec Warehouse ZONE MAP/DRG. FILE#: G-16

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 6, 7, and 8, Block 2 Indian Rest Addition

CITY ADDRESS: 3500 Richmond Drive. NE. Albuquerque. NM 87107

ENGINEERING FIRM: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Avenue, NE PHONE: (505) 348-4128

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: ANGELO L. TURICIANO CONTACT: Angelo Turiciano

ADDRESS: 7816 Academy Trail, NE PHONE: (505) 881-7934

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838

CITY, STATE: Albuquerque, NM ZIP CODE: 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☒ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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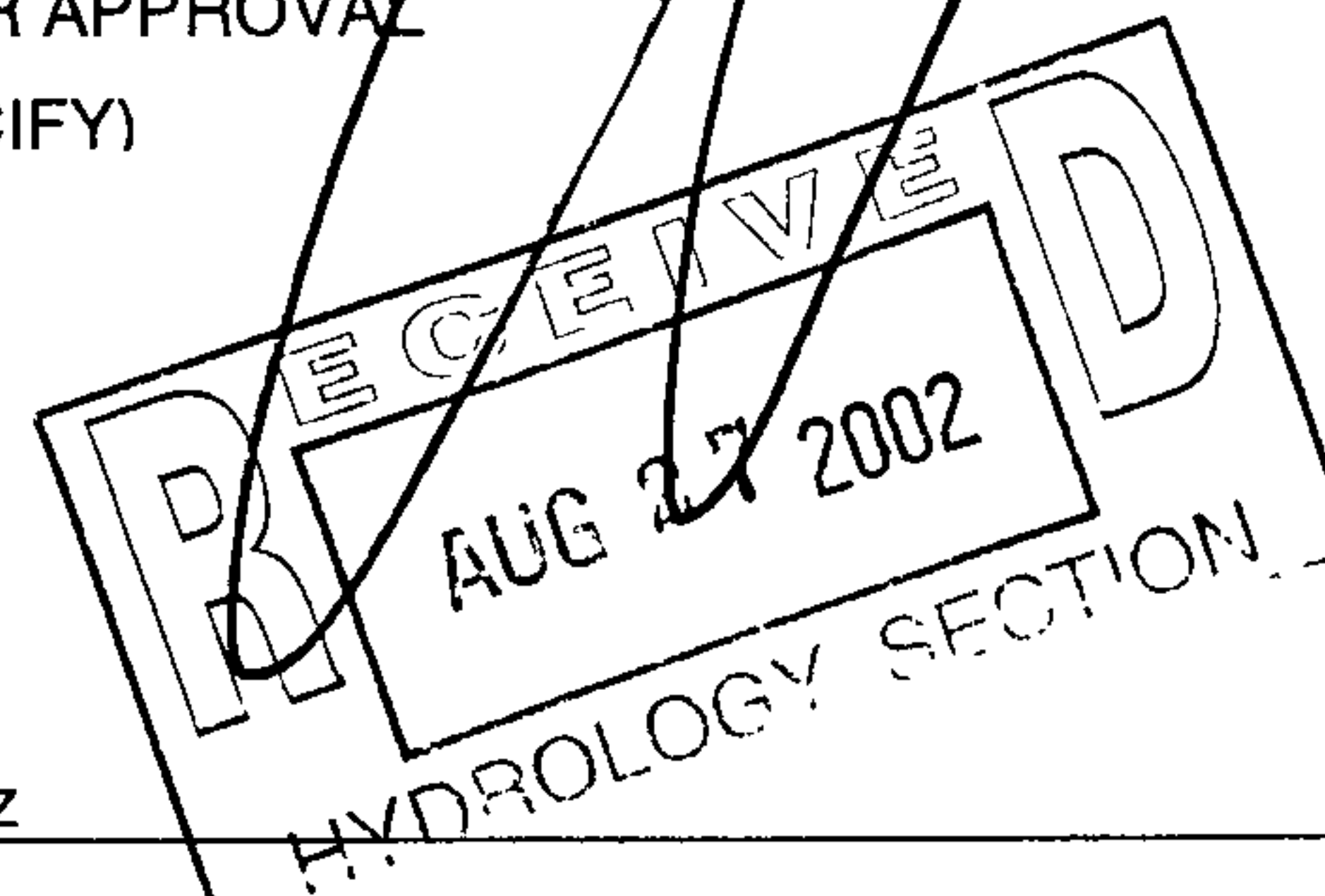
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- ☐ WORK ORDER APPROVAL
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## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

Date Submitted: August 27, 2002 By: John A. Tellez



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 13, 2002

Daniel S. Aguirre, P.E.  
Wilson & Company  
4900 Lang Ave NE  
Albuquerque, NM 87109

**RE: SPEC WAREHOUSE ON RICHMOND NE (G-16/D126)**  
**(3500 Richmond Dr NE)**  
**ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY**  
**ENGINEERS STAMP DATED 1/15/2001**  
**ENGINEERS CERTIFICATION DATED 6/11/2002**

Dear Mr. Aguirre:

We are in receipt of your Engineers Certification submittal dated 6/11/2002 regarding the above referenced site; However, a Certificate of Occupancy from City Hydrology **can not** be issued at this time.

The SO19 on the Engineers Certification requires the City's Storm Drainage Maintenance inspector's signature prior to approval of the Certificate of Occupancy as per the Design Process Manual (DPM) Chapter 17 "Private Storm Drain Facilities within a City Right-of-Way and/or Easement".

Also, since the grading and drainage plan showing the 36" sidewalk culvert in Richmond is not within the guidelines of the City's standard specifications (which limits the culverts to 24" maximum), a detail drawing of the 36" culvert will need to be included on the as-built drawing of the grading and drainage plan.

When the above issues have been addressed and an Engineers Certification has been resubmitted to our office, then a Certificate of Occupancy may be issued after a review of the deviation from the City's standard sidewalk culvert.

If you have any questions, please feel free to contact me at 924-3981.

Sincerely,

Teresa Martin  
Hydrology Plan Checker  
Public Works Department/COA  
BWA

c: File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

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ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838

CITY, STATE: Albuquerque, NM ZIP CODE: 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

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- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☒ ENGINEERS CERTIFICATION (HYDROLOGY)
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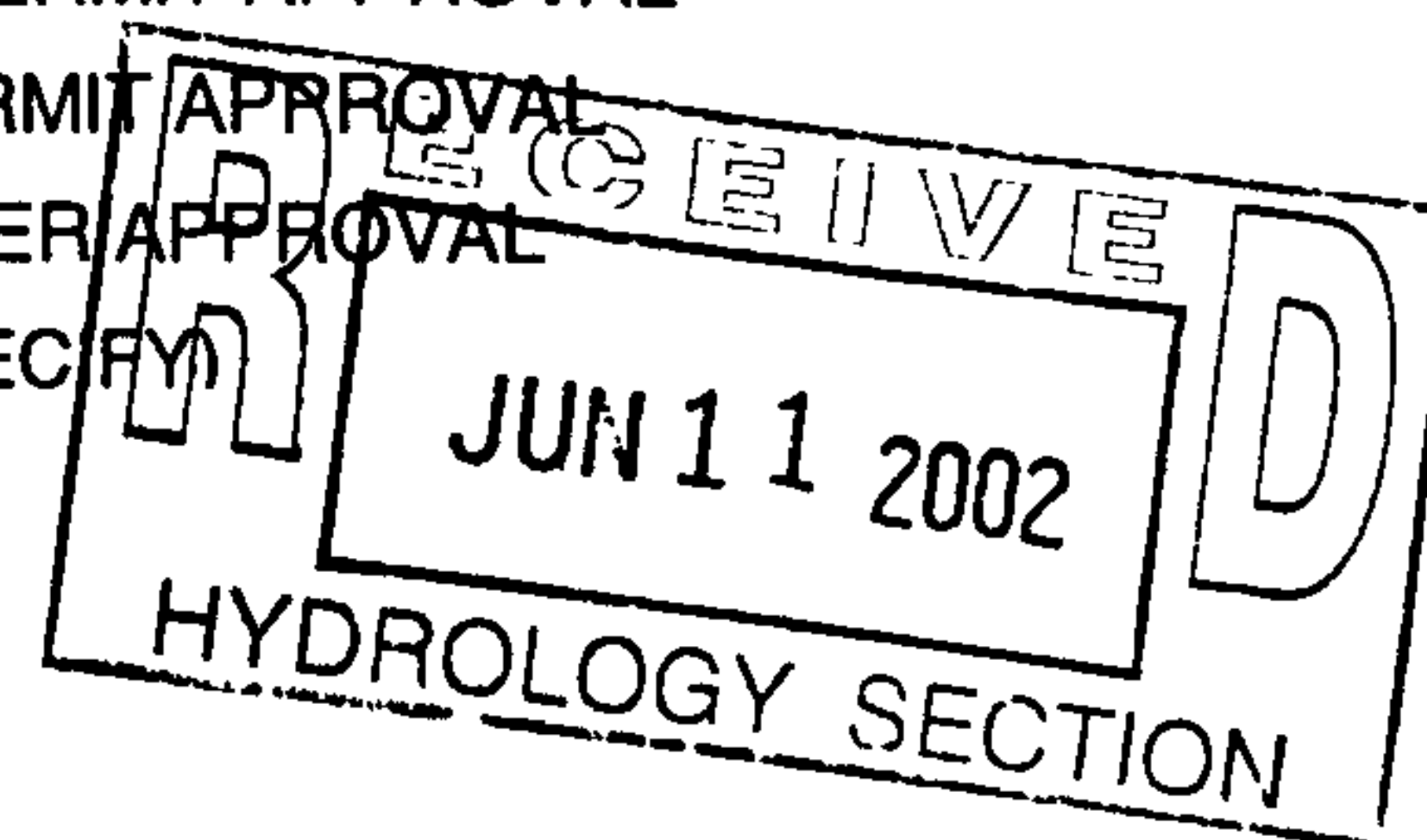
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

Date Submitted: June 11, 2002 By: John A. Tellez

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 30, 2001

Daniel Aguirre, P.E.  
Wilson & Company  
4900 Lang Avenue NE  
Albuquerque, NM 87109

Attn: John A. Tellez

***RE: SPEC WAREHOUSE, 3500 Richmond Drive NE (G16-D126). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP DATED JANUARY 15, 2001.***

Dear Mr. Aguirre:

Based on the information provided on your March 12, 2001 submittal, the above referenced project is approved for both Building and SO#19 Permits..

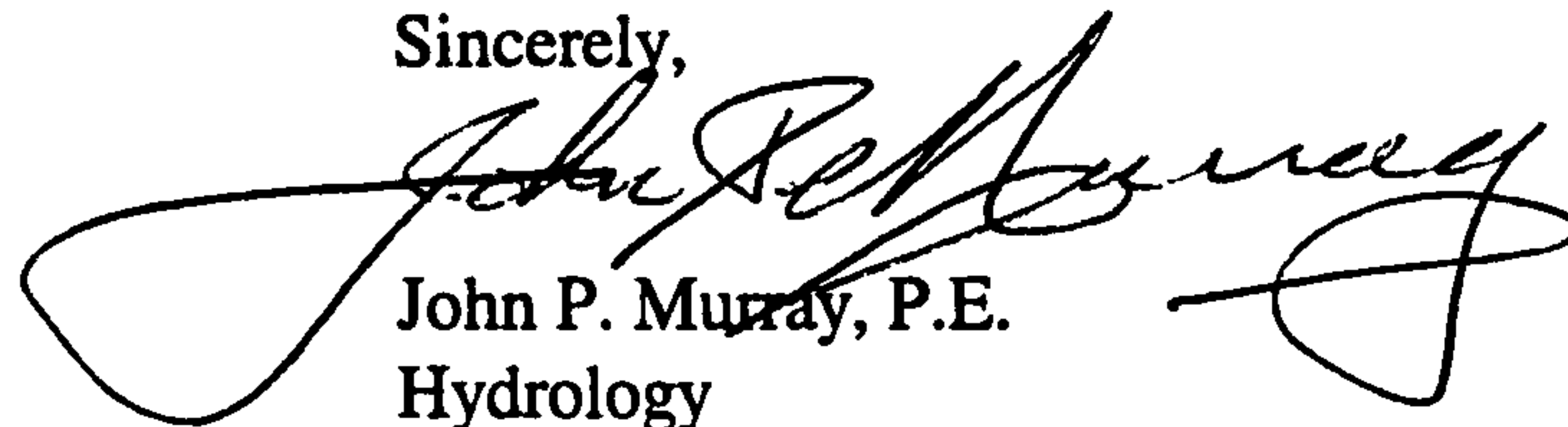
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.  
Hydrology

c: Pam Lujan  
Terri Martin  
✓ File

# PUBLIC WORKS DEPARTMENT

March 30, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY  
DRAINAGE FILE NUMBER (G16-D126). SPEC WAREHOUSE AT 3500  
Richmond Drive NE.**

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Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Spec Warehouse ZONE ATLAS/DRNG. FILE#: G-16 / D126

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lots 6, 7 and 8 , Block 2, Indian Rest Addition

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ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838  
Albuquerque, NM 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

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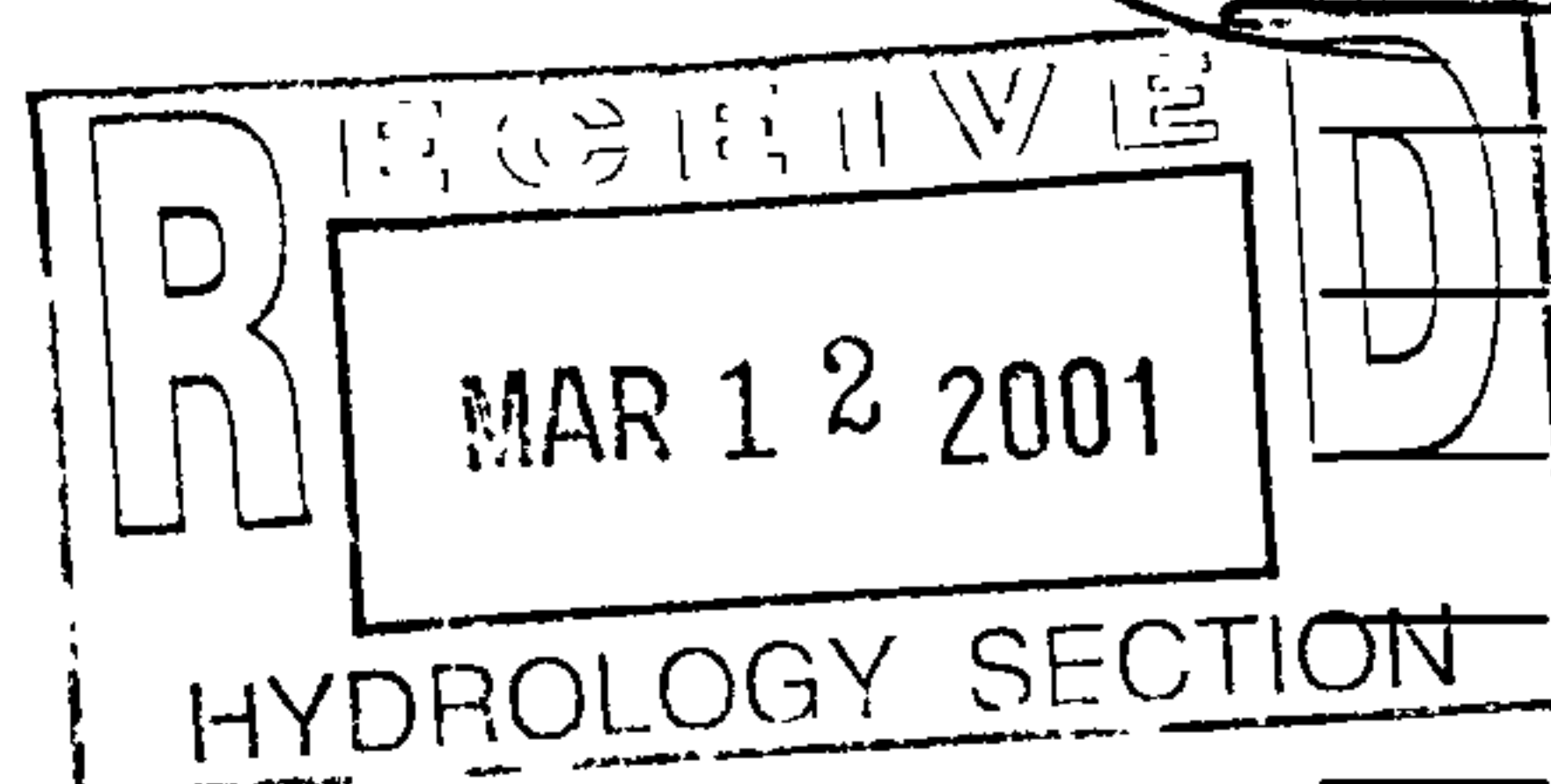
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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☒ OTHER : SO-19

### PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER:



Date Submitted: 03/12/01

By: John A. Tellez

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Spec Warehouse ZONE ATLAS/DRNG. FILE#: G-16 / D126

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lots 6, 7 and 8 , Block 2, Indian Rest Addition

CITY ADDRESS: 3500 Richmond Drive, NE

ENGINEERING FIRM: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Ave., NE PHONE: (505) 348-4128  
Albuquerque, NM 87109

OWNER: Angelo L. Turiciano CONTACT: Angelo L. Turiciano

ADDRESS: 7816 Academy Trail, NE PHONE: (505) 856-9587

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838  
Albuquerque, NM 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER : SO-19

### PRE-DESIGN MEETING:

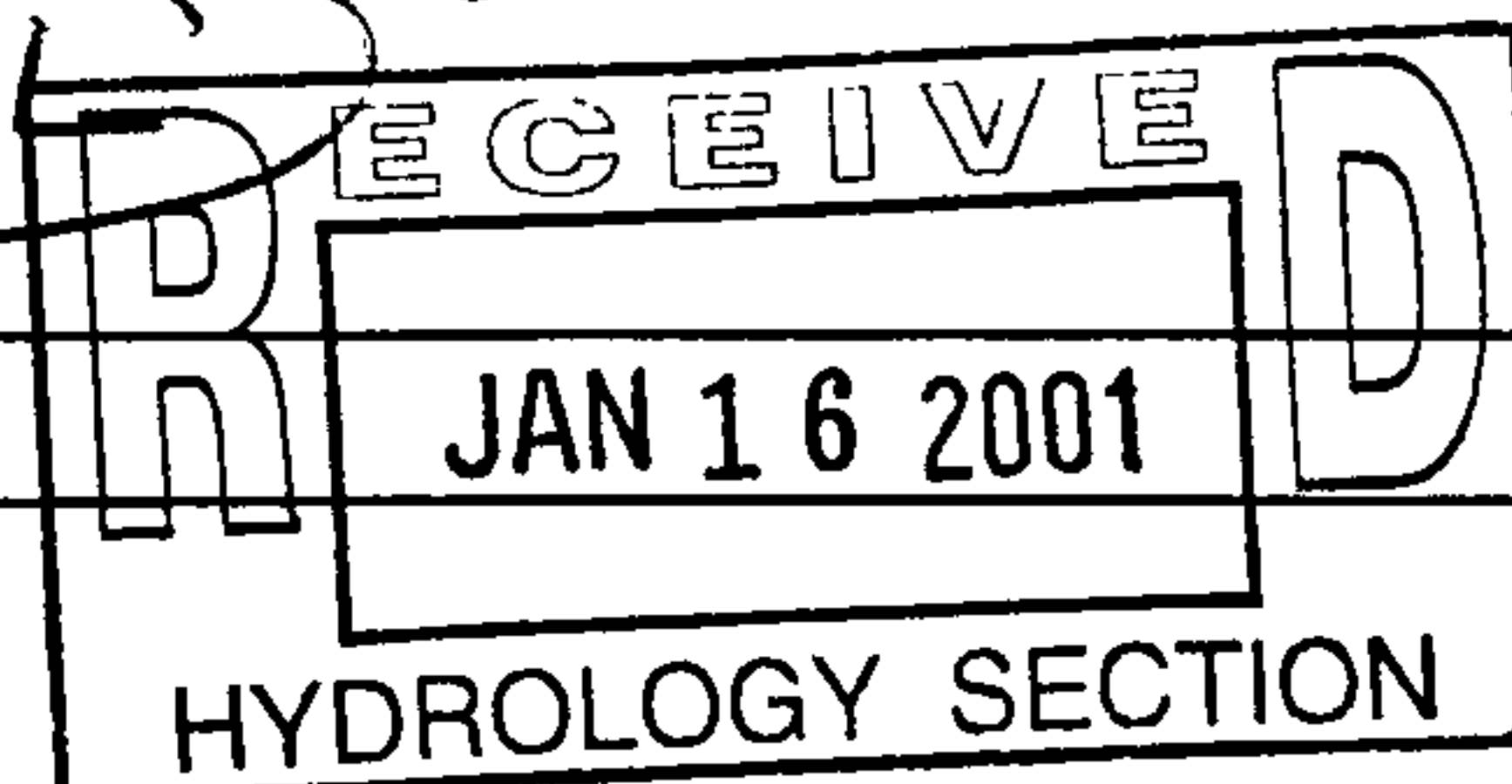
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER: Drainage Master Plan

Date Submitted: 01/16/01

By: John A. Tellez





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

April 27, 2001

John A. Tellez, for Daniel S. Aguirre, Registered Professional Engineer,  
Wilson and Company,  
4900 Lang Ave. N.E.  
Albuquerque, New Mexico 87109

Re: T.C.L. submittal for building permit approval for Spec. Warehouse,  
3500 Richmond Dr. N.E. [G16/D126],  
Engineer's Stamp dated 1/15/2001.

Dear Mr. Tellez,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached TCL checklist, and red-lined T.C.L. markup with comments.

Please resubmit revised T.C.L. after addressing typed and marked up comments.  
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Hydrology File  
Office File



## **TRAFFIC CIRCULATION LAYOUT CHECKLIST**

**SITE ADDRESS:** 3500 Richmond NE **AGENT:** John Teller - Wilson & Co. **DATE:** 4/27/01  
**LEGAL DESCRIPTION:** Indian Rest Addn. - Lots 6, 7 & 8, Block 2 **ZONE ATLAS PAGE:** 414

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new **TRAFFIC CIRCULATION LAYOUT CHECKLIST** (Amendment To Come) provided, along with us of the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

### **LEGEND-**

- ☒ *Item addressed on initial submittal*
- ☐ *Item not yet addressed by designer or plan checker*
- ☒ *Not Applicable*

### **GENERAL INFORMATION REQUIRED:**

- ☒ 1. TCL will be stamped, signed and dated by architect or engineer.
- ☒ 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ☒ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- ☐ 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

- ☐ 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- ☐ 6. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- ☒ 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- ☐ 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

### ***SPECIFIC INFORMATION REQUIRED:***

- ☒ 1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
- ☐ 2. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smallest vehicle to use doors. Refer to DPM for restrictions.
- ☒ 3. State the design vehicle to be used at rear of site.
- ☐ 4. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing construction and new improvements on TCL.
- ☒ 5. Indicate which buildings the permit will certify for parking improvements. If applicable, clearly differentiate future construction line type from new construction line type.
- ☐ 6. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such:  
"INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
- ☐ 7. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple to show varying surfaces, or equal.
- ☐ 8. Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
- ☒ 9. Label stalls for small car parking as "COMPACT" or equal.
- ☐ 10. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required, by Zoning, at front of stalls.
- ☐ 11. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
- ☒ 12. Restriping of parking stalls shall be called out, to be per City Standard.
- ☐ 13. For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, on streets which will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not, show traffic lanes on developer's side of street, up to and including middle turn lane.
- ☒ 14. Alley limits must be 20-foot width
- ☒ 15. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from street at either end of alley.
- ☒ 16. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the development is the first lot on the block, and access to proposed parking is taken thorough the alley.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 2, 2001

Daniel Aguirre, P.E.  
Wilson & Company  
4900 Lang Avenue NE  
Albuquerque, NM 87109

Attn: John A. Tellez

***RE: SPEC WAREHOUSE (G16-D126). Conceptual GRADING AND DRAINAGE PLAN  
FOR DRAINAGE MASTER PLAN APPROVAL. ENGINEER'S STAMP DATED  
January 15, 2001.***

Dear Mr. Aguirre:

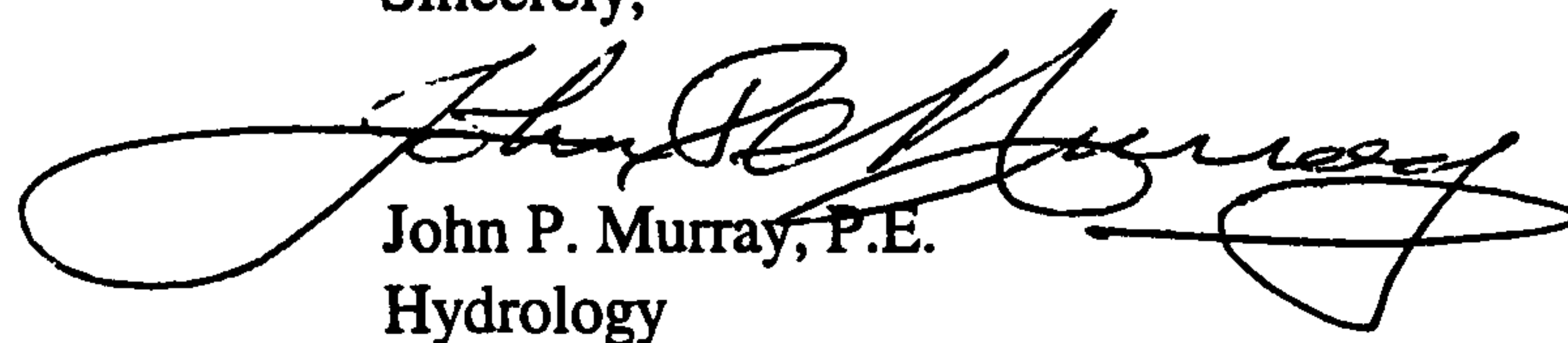
Based on the information provided on your January 16, 2001 submittal, the above referenced project is approved for Drainage Master Plan

The Traffic Control Layout (T.C.L.) will be reviewed separately.

When submitting for the Building Permit, please add the appropriate SO#19 Notes and Inspector's Signature Block to the G&D Plan.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: Terri Martin  
✓ File



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Spec Warehouse ZONE ATLAS/DRNG. FILE#: G-16 / D126

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lots 6, 7 and 8 , Block 2, Indian Rest Addition

CITY ADDRESS: 3500 Richmond Drive, NE

ENGINEERING FIRM: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Ave., NE PHONE: (505) 348-4128

Albuquerque, NM 87109

OWNER: Angelo L. Turiciano CONTACT: Angelo L. Turiciano

ADDRESS: 7816 Academy Trail, NE PHONE: (505) 856-9587

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838

Albuquerque, NM 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER : SO-19

### PRE-DESIGN MEETING:

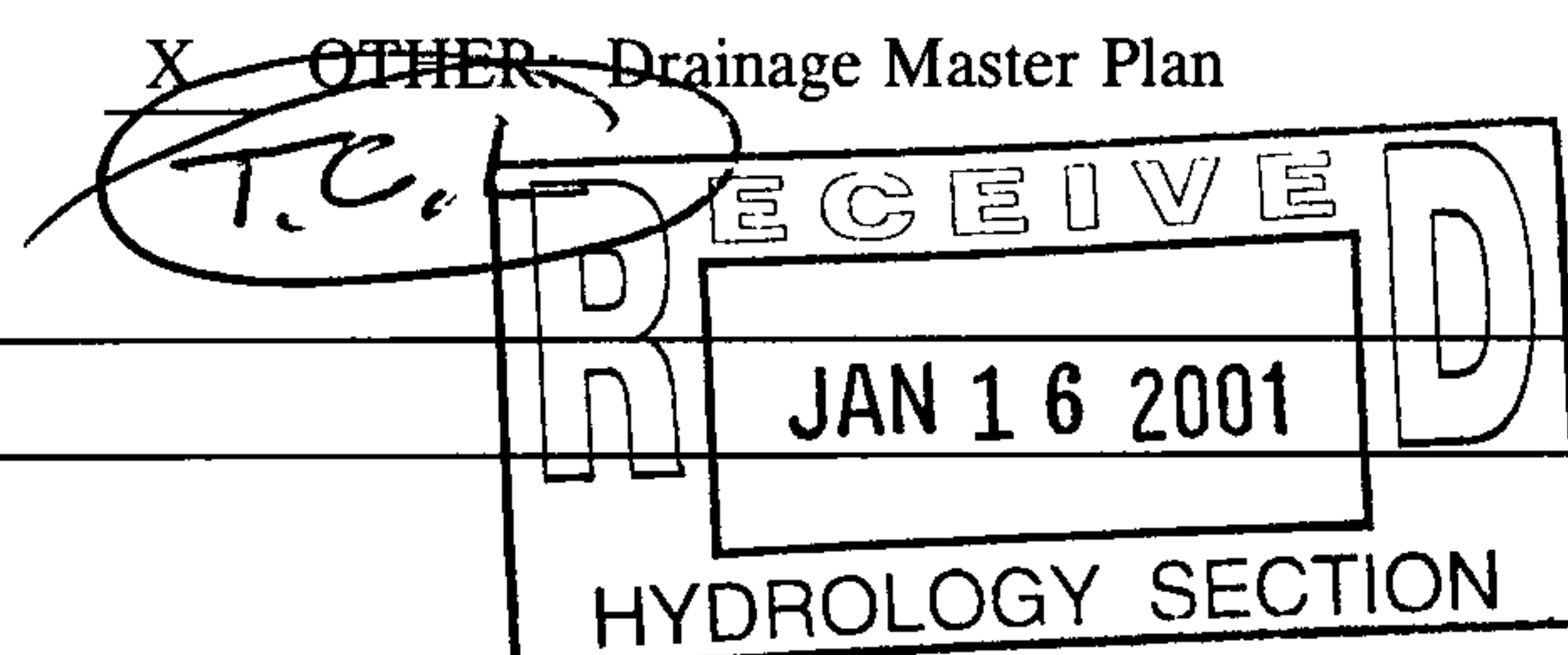
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER: Drainage Master Plan

Date Submitted: 01/16/01

By: John A. Tellez





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## ***Public Works Department Transportation Development Services Section***

June 17, 2002

John Tellez for Daniel S. Aguirre, Reg. Architect  
Wilson & Co.  
4900 Lang Avenue N.E.  
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Spec Warehouse on Richmond Dr., [G16 / D126]  
3500 Richmond Dr. N.E.  
Engineer's Stamp Dated 06/11/02

Dear Mr. Tellez:

The TCL / Letter of Certification submitted on June 11, 2002 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

The TCL submitted for Final C.O. needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined corrections and additions, initialed and dated by the designer-of-record. The acceptable TCL in the plan set for this project is numbered "1 of 1" and is initialed by a representative of Transportation/Hydrology. Improvements to the site must be made according to this approved plan. Therefore, the street sidewalk was not constructed per this plan nor per the sidewalk ordinance and will need to be revised. The sidewalk ordinance, the D.P.M., C.O.A. standard detail drawings and the approved plan require that the new street sidewalk be built with the back of walk at the right-of-way line. Variance from this policy must be applied for through the D.R.B. One way to avoid removal of new sidewalk and replacement would be to install concrete sidewalk between the new sidewalk and the right-of-way line. If this or another acceptable option is chosen, the revised TCL in the Certification package for Final C.O. must show the change/correction. The change/correction also needs to be shown on the two approved Building Permit Plansets, by the designer-of-record, and presented for approval, here at the Permit Office. In addition, the T.C.L. copy submitted to this office for C.O. has been marked up showing needs for this office to issue C.O. The minimum 30'-0" drive aisle, required by the DPM, for access for large trucks using overhead doors, was waived, which allowed the 24' wide drive aisle as was built. The minimum 18'-0" required for the concrete wheel stops, as shown, is required to assist large truck traffic flow to overhead doors in lieu of the waiver.

When the TCL revisions mentioned and required site work are completed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be submitted with the TCL. The second, acceptable option that is offered by this office – "place a typed or stamped Statement of Certification on the approved TCL copy" was selected by your office and can be used for the response. The letter and/or TCL (with or without statement) must be stamped with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage and Transportation

Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that the Final C.O. has been issued for this address call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mike Zamora', with a large, stylized flourish extending from the end of the signature.

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Hydrology file  
Mike Zamora



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Spec Warehouse ZONE MAP/DRG. FILE#: G-16  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 6, 7, and 8, Block 2 Indian Rest Addition  
CITY ADDRESS: 3500 Richmond Drive, NE, Albuquerque, NM 87107

ENGINEERING FIRM: Wilson & Company CONTACT: John A. Tellez  
ADDRESS: 4900 Lang Avenue, NE PHONE: (505) 348-4128  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: ANGELO L. TURICIANO CONTACT: Angelo L. Turiciano  
ADDRESS: 7816 Academy Trail, NE PHONE: (505) 881-7934  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Gerard R. Brown, Architect CONTACT: Gerard R. Brown  
ADDRESS: P.O. Box 12904 PHONE: (505) 877-2838  
CITY, STATE: Albuquerque, NM ZIP CODE: 87195

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEERS CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)  
☒ AS-BUILTS

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY (PERM.)  
☐ CERTIFICATION OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

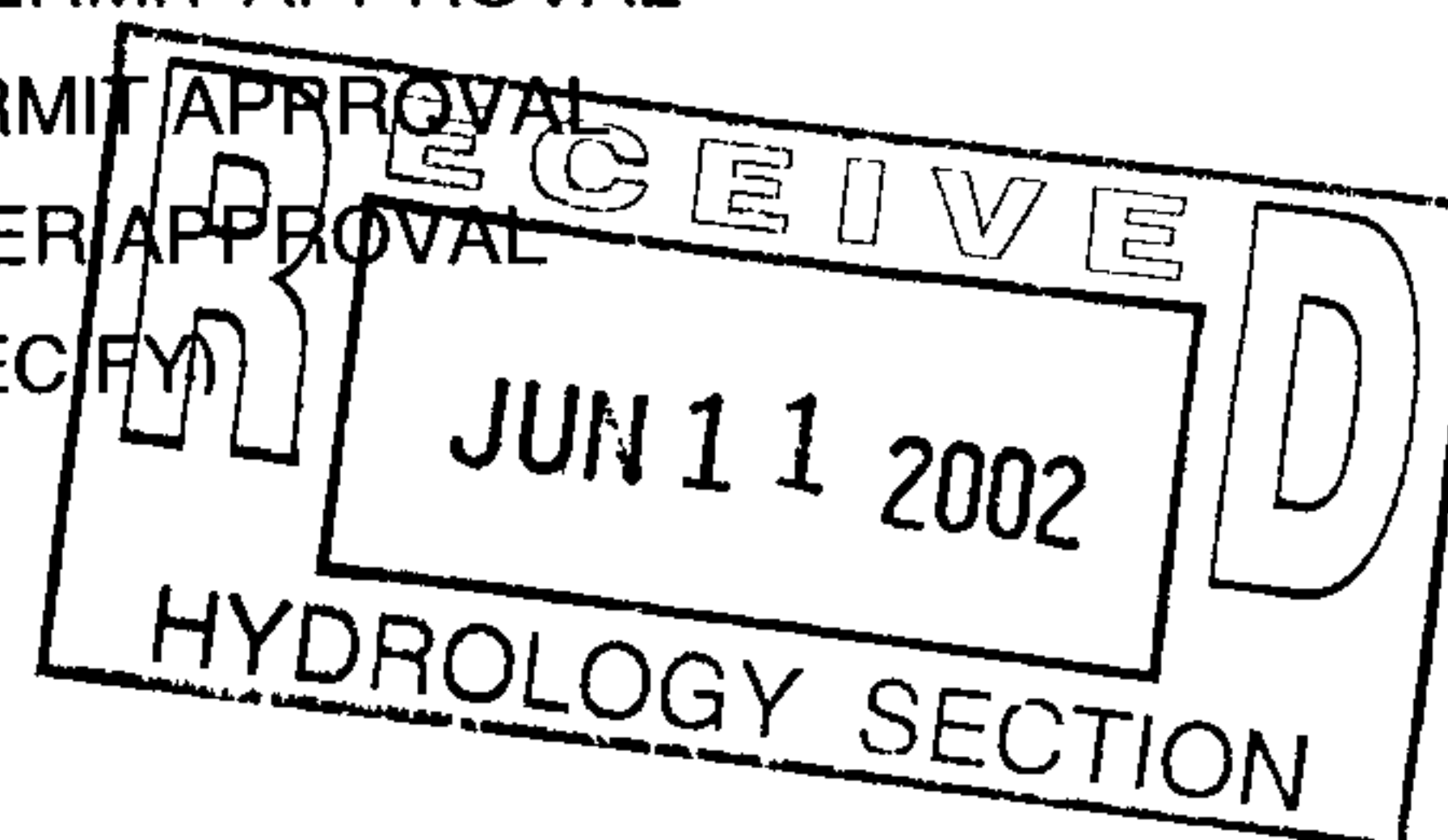
- ☐ YES  
☐ NO  
☐ COPY PROVIDED

Date Submitted: June 11, 2002 By: John A. Tellez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

6/17/02 - Rej'd C.O., issued Temp C.O., anyway w/letter ; ✓ logged in





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

September 4, 2002

John Tellez for Daniel Aquirre, P.E.  
Wilson & Co.  
4900 Lang Ave. N.E.  
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Spec Warehouse, [G-16/D126]  
3500 Richmond Dr. N.E.  
Engineer's Stamp dated - 6/11/02

Dear Mr. Tellez:

The TCL / Letter of Certification submitted on August 27, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in at the Building Safety Section downstairs.

On future submittals please make sure that the seal on the TCL or the Letter of Certification or both, is dated for the date of that certification.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Hydrology file  
Mike Zamora

1 RICHMND1NEW3JoTeW&Co=CO

(REV. 1/11/2002)

G-16/D126

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

~~2/4/02~~ mo

old in GT. to Phyllis; 10/7  
C.M.M.

Sent letter (dated 9/4) -  $\checkmark$  - lrgd  
(All Cont's must be shown/checked - lrgd)