

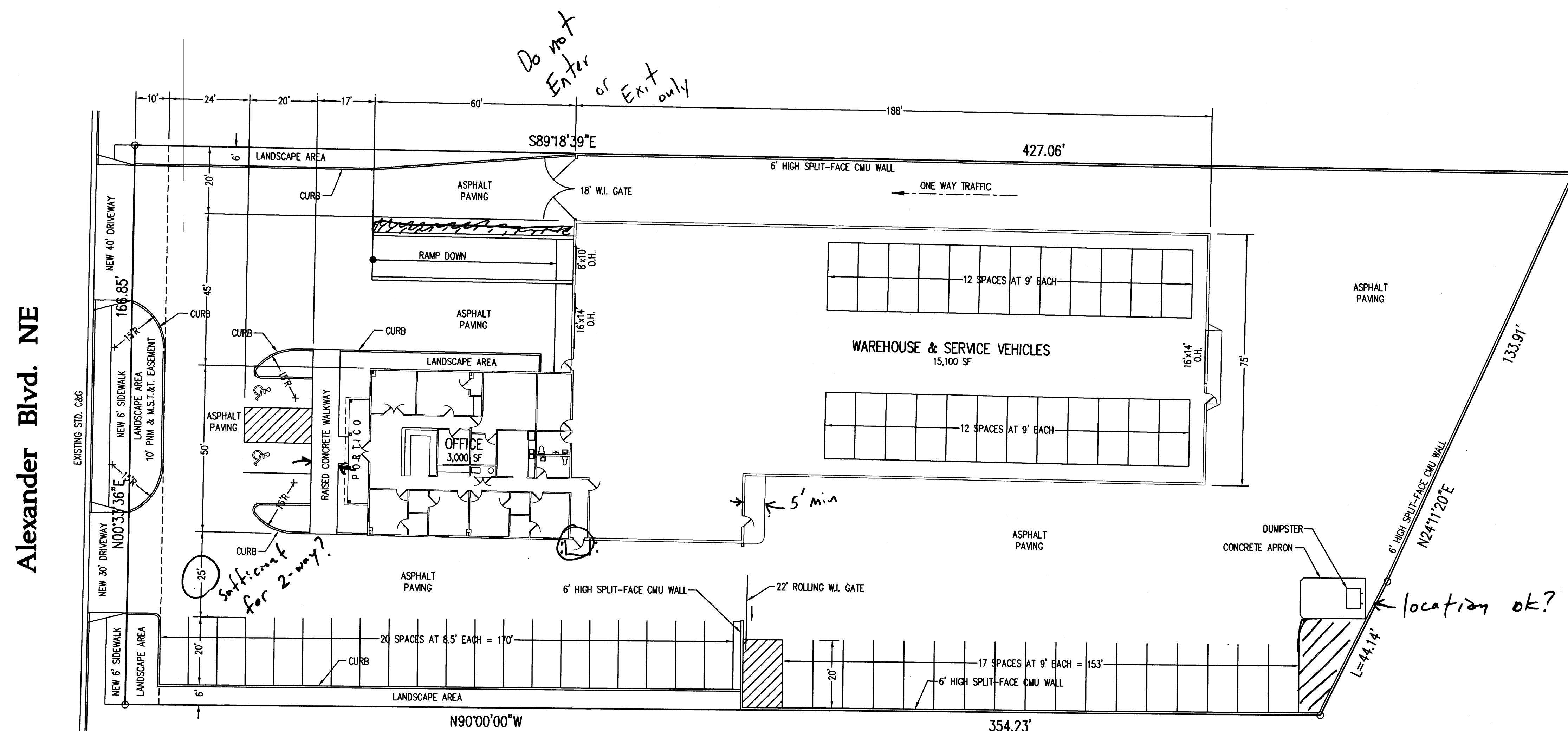


KEN HOVEY, ARCHITECT
 5045 • 259-8488 • 3808 SUMMIT AVENUE SE • ALBUQUERQUE, NM • 87108

JOB NO:		0304
DATE:		23 APRIL 2003
REVISIONS		

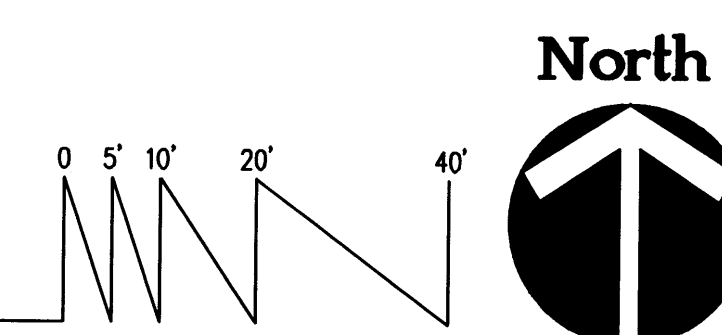
SHEET NO.

C.1



Site Plan

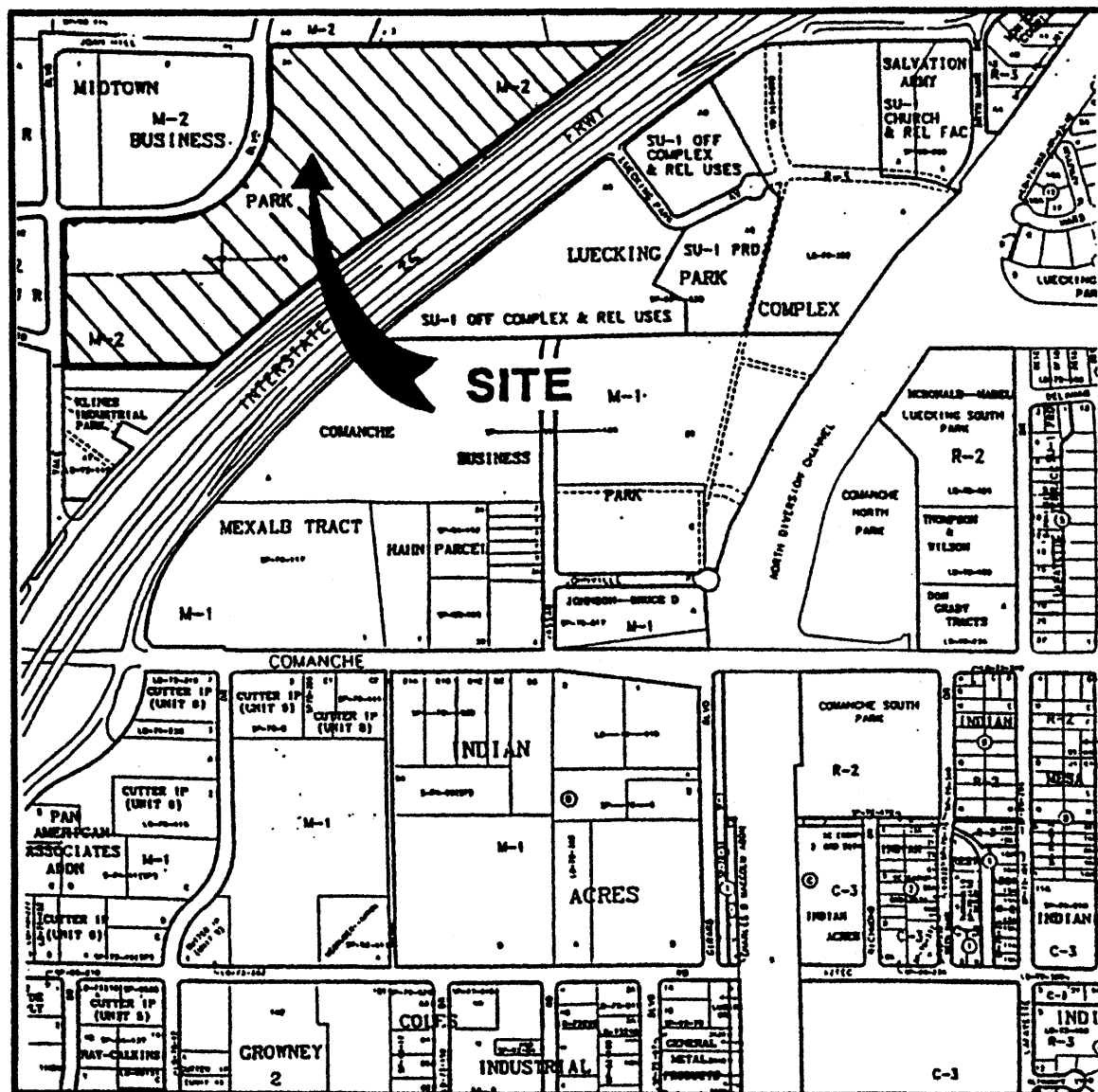
Scale: 1"=20'



Vicinity map
size?
parking space req'd?
Signature for stamp
legend

- R/W?
- encasements?
- slopes
- What kind of service vehicles?
- how high is curb?

20006-131 C11



LOCATION MAP

 ZONE ATLAS MAP No. G-16
 SCALE: 1" = 750'

NOTES

1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TRACT 3A, CREATING LOTS 1 THROUGH 10, DEDICATE THE STREET RIGHTS-OF-WAY, AND GRANT THE PUBLIC AND PRIVATE EASEMENTS AS INDICATED HEREIN
2. BEARINGS ARE STATE PLANE GRID, BASED ON THE BEARING BETWEEN STATIONS "M-6" AND "1-25-20".
3. BOUNDARY BEARINGS AND DISTANCES ARE AS SHOWN ON THE PLAT FILED: 02/25/92, BK. 92C, PG. 28, WITH RECORD BEARINGS AND DISTANCES IN PARENTHESES.
4. ALL BOUNDARY CORNERS ARE MARKED BY A REBAR WITH PLASTIC CAP MARKED "AA & R LS 4071" UNLESS OTHERWISE INDICATED HEREON.
5. ZONE ATLAS MAP No. G-16
6. U.C.L.S. LOG No. 98041615120438
7. 0.2779 MILE STREET RIGHT-OF-WAY CREATED
8. CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #4071"

APPROVALS - PUBLIC UTILITY EASEMENTS

PNM ELECTRIC SERVICES DATE 6-12-98 RP 4-24-00
 U.S. WEST COMMUNICATIONS DATE 6-12-98 RP 4-24-00
 PNM GAS SERVICES DATE 6-10-98 RP 4-24-00

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND AND OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. U.S. WEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO GROUND PEDESTALS AND CLOSURES.
- C. PNM GAS SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.
- D. JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE-GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRIC SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

DESCRIPTION

A tract of land situate with Section 3, Township 10 North, Range 3 East, New Mexico Principal Meridian. City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 3A, MIDTOWN BUSINESS PARK, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 25, 1992 in Volume 92C, Folio 28 and being more particularly described as follows:

BEGINNING at a non-tangent point of curve on the westerly right-of-way line of Interstate Highway No. 25 (I-25) from whence the New Mexico State Highway Commission Monument "1-25-20" bears S 23°23'28" E, 2.16 feet;

THENCE along said westerly right-of-way line 977.76 feet along a curve to the left, whose radius is 5779.81 feet through a central angle of 9°41'35" and whose chord bears S 51°30'05" W, 976.59 feet to the southeast corner, said point being common with the northeast corner of a NEW MEXICO STATE HIGHWAY, UNPLATTED TRACT OF LAND;

THENCE leaving said westerly right-of-way line N 89°06'54" W, 589.37 feet along a line common with the northerly line of said UNPLATTED TRACT, to the southwest corner, said point being common with the northwest corner of said UNPLATTED TRACT and further being on the easterly right-of-way line of Yale Boulevard, NE.

THENCE along said easterly right-of-way line N 00°30' 08" E, 359.46 feet to a point, said point being common with the southwest corner of TRACT 3B MIDTOWN BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 25, 1992 in Volume 92C, Folio 28;

THENCE leaving said easterly right-of-way line N 88°30'10" E, 804.34 feet along a line common with the south line of said TRACT 3B to a point, said point being common with the southeast corner of said TRACT 3B;

THENCE N 00°31'28" E, 147.47 feet along a line common with the easterly line of said TRACT 3B to a point;

THENCE continuing N 37°55'55" W, 133.79 feet to a point, said point being common with the northeast corner of said TRACT 3B and further being on the easterly right-of-way line of Alexander Boulevard NE;

THENCE along said easterly right-of-way line 167.78 feet along a curve to the left, whose radius is 403.87 feet through a central angle of 23°48'11" and whose chord bears N 61°10'37" E, 166.58 feet to a point of compound curvature;

THENCE continuing 300.22 feet along a curve to the left, whose radius is 493.00 feet through a central angle of 34°53'29" and whose chord bears N 31°49'44" E, 295.60 feet to a point of compound curvature;

THENCE continuing 101.09 feet along a curve to the left, whose radius is 351.50 feet through a central angle of 16°28'40" and whose chord bears N 06°08'45" E, 100.74 feet to a point of tangency;

THENCE continuing N 02°05'49" W, 93.99 feet to a point;

THENCE continuing N 00°33'36" E, 172.68 feet to the northwest corner, said point being common with the southwest corner of TRACT 6-B, SUNDT'S INDUSTRIAL CENTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 27, 1987 in Volume C22, Folio 180;

THENCE leaving said easterly right-of-way line S 89°18'39" E, 1487.15 feet along a line common with the south line of said TRACT 6-B and PARCELS D AND C, RENAISSANCE III as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 26, 1987 in Volume C34, Folio 8 to the northeast corner, said point being on the westerly right-of-way line of said Interstate Highway No. 25 (I-25);

THENCE along said westerly right-of-way S 53°32'17" W, 1194.52 feet to the point of beginning and containing 27.8684 acres, more or less.

FREE CONSENT STATEMENT

THE PLAT OF TRACTS 1 THROUGH 10, OF INTERSTATE BUSINESS PARK AS SHOWN HEREON IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF, AND DO HEREBY DEDICATE TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE THE NEW RIGHT-OF-WAY SHOWN HEREON AND DO GRANT THE PUBLIC EASEMENTS SHOWN HEREON FOR THE USES INDICATED, INCLUDING THE RIGHTS OF INGRESS AND EGRESS AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE UNDERSIGNED OWNERS AND/OR PROPRIETORS DO HEREBY REPRESENT THAT THEY ARE AUTHORIZED TO SO ACT.

OWNERS: PINON CO-TENANCY FORMED PURSUANT TO THE PINON CO-TENANCY AGREEMENT

 BY: *John S. Koontz*
 JOHN S. KOONTZ, VOTING CO-TENANT

 BY: *Lee S. Blaugrund*
 LEE S. BLAUGRUND, VOTING CO-TENANT

 BY: *Patrick W. Hurley*
 PATRICK W. HURLEY, VOTING CO-TENANT

ACKNOWLEDGEMENT

 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF April 1998 BY JOHN S. KOONTZ, VOTING CO-TENANT LEE S. BLAUGRUND, VOTING CO-TENANT PATRICK W. HURLEY, VOTING CO-TENANT

 MY COMMISSION EXPIRES
 11-18-2001

NOTARY PUBLIC


 PLAT OF
 TRACTS 1 THRU 10
 INTERSTATE BUSINESS PARK
 BEING A REPLAT OF TRACT 3A
 MIDTOWN BUSINESS PARK
 ALBUQUERQUE, NEW MEXICO
 APRIL, 1998


THIS IS TO CERTIFY THAT TAXES ARE CURRENT

AND PAID ON UPC #1-016-060-110-476-20317

 PROPERTY OWNER OF RECORD: *Patrick W. Hurley*
 BERNALILLO COUNTY TREASURER'S OFFICE: *Josephine M. Serna*
 5-15-2000

APPROVALS

 BY: *Wendy C. Cline* DATE 050796 GBH 04-19-00
 CITY SURVEYOR, CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

 BY: *N/A* DATE
 PROPERTY MANAGEMENT, CITY OF ALBUQUERQUE

 BY: *Robert D. Davis* DATE 4-19-00
 TRAFFIC ENGINEER, CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

 BY: *Edward A. Stang* DATE 4-19-00
 PARKS AND RECREATION SERVICES DEPARTMENT,
 CITY OF ALBUQUERQUE

 BY: *Roger A. Sheen* DATE 4-19-00
 UTILITY DEVELOPMENT DIVISION, CITY OF
 ALBUQUERQUE PUBLIC WORKS DEPARTMENT

 BY: *Vivian M. Mancoske* DATE 4-19-00
 ALBUQUERQUE METROPOLITAN ARROYO
 FLOOD CONTROL AUTHORITY

 BY: *Bradley D. Bingham* DATE 4/19/00
 CITY ENGINEER, CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

APPROVAL AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE

 BY: *Paul S. ...* DATE 5/15/00
 CHAIRMAN, ALBUQUERQUE/BERNALILLO COUNTY
 DEVELOPMENT REVIEW BOARD

 PROJECT #1000440
 CASE No. DRB 87-362 PLAT No.

APPL # 00440-00000-00486

SURVEYOR'S CERTIFICATION

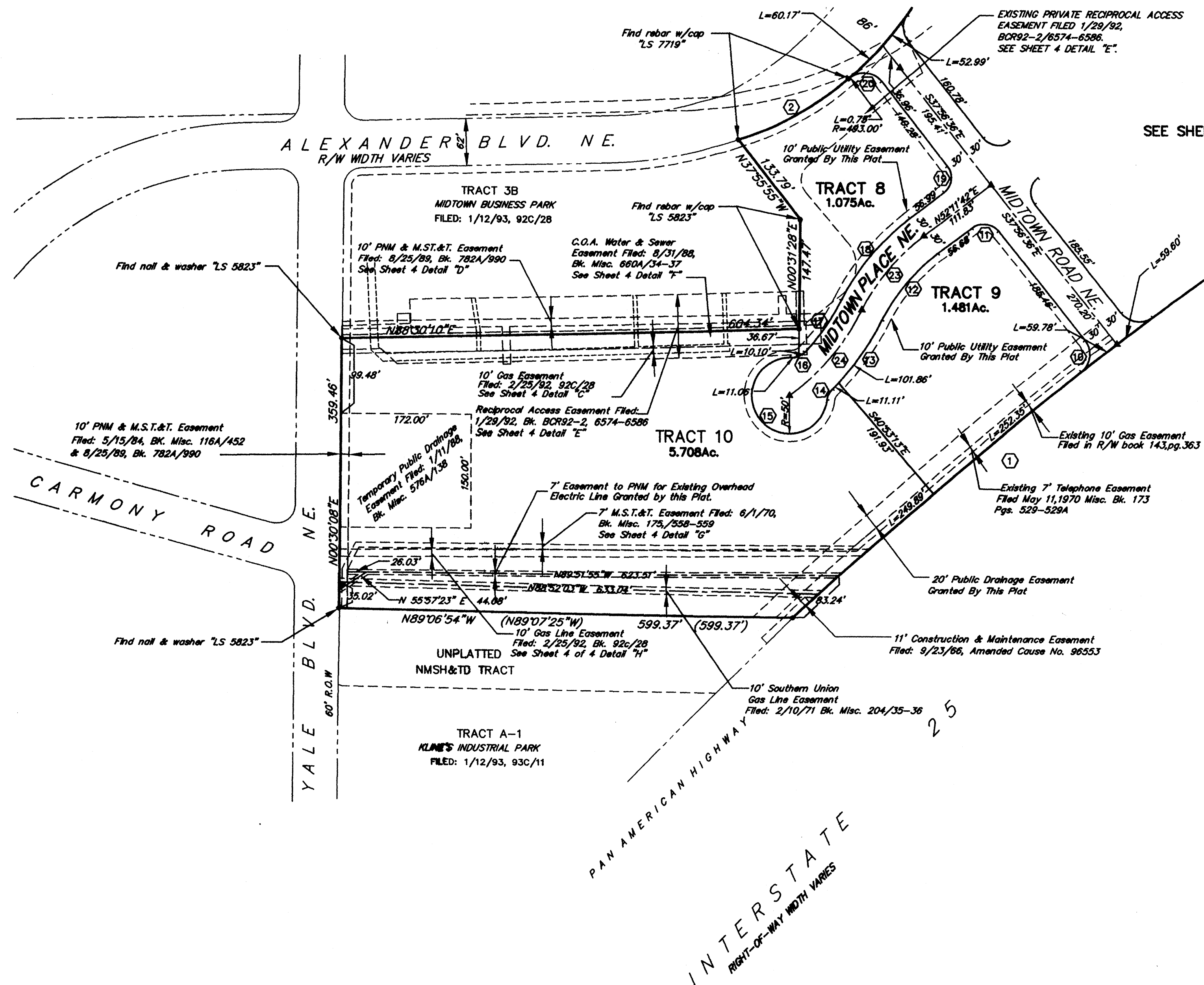
I, GAYLE D. JEWELL, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD MADE KNOWN TO ME BY THE OWNERS/PROPRIETORS, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 BY: *Gayle D. Jewell* DATE 4-20-98
 GAYLE D. JEWELL N.M.P.L.S. No. 4071

SHEET 1 OF 4

 AAR-THE LARKIN GROUP, INC.
 CONSULTING ENGINEERS AND SURVEYORS
 ALBUQUERQUE 87-783 NEW MEXICO

PLAT OF
TRACTS 1 THRU 10
INTERSTATE BUSINESS PARK
BEING A REPLAT OF TRACT 3A
MIDTOWN BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
APRIL, 1998



DRAINAGE EASEMENT NOTE:

A TEMPORARY DRAINAGE EASEMENT IS GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE ACROSS TRACT 10 TO ACCEPT STORM DRAINAGE WATERS FROM MIDTOWN PLACE OVER AND ACROSS TRACT 10 TO THE TEMPORARY STORM DRAINAGE RETENTION POND ON TRACT 10 CREATED PURSUANT TO THE TEMPORARY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE RECORDED IN BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JANUARY 11, 1988 IN BOOK MISC. 576A, PAGE 138-140.

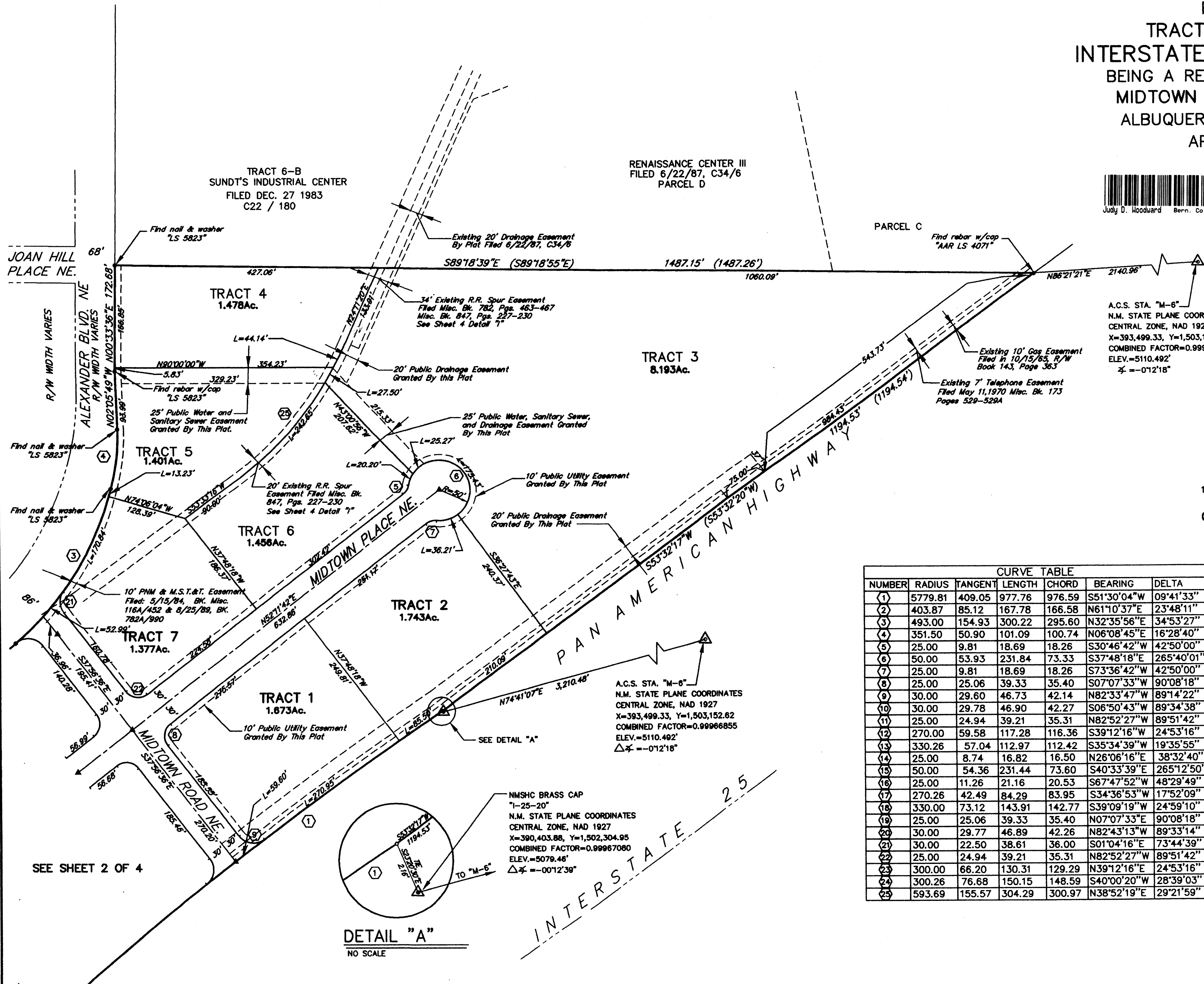
2000 L-131 C31

PLAT OF
TRACTS 1 THRU 10
INTERSTATE BUSINESS PARK
BEING A REPLAT OF TRACT 3A
MIDTOWN BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
APRIL, 1998

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Page: 3 of 4
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Bk-2896C Pg-131
Judy D. Woodward Bern. Co. PLAT R 22.08

A.C.S. STA. "M-6"
N.M. STATE PLANE COORDINATES
CENTRAL ZONE, NAD 1927
X=393,499.33, Y=1,503,152.62
COMBINED FACTOR=0.99966855
ELEV.=5110.492'
Δ= -0°12'18"

SCALE: 1"=100'
100 0 100
GRAPHIC SCALE IN FEET



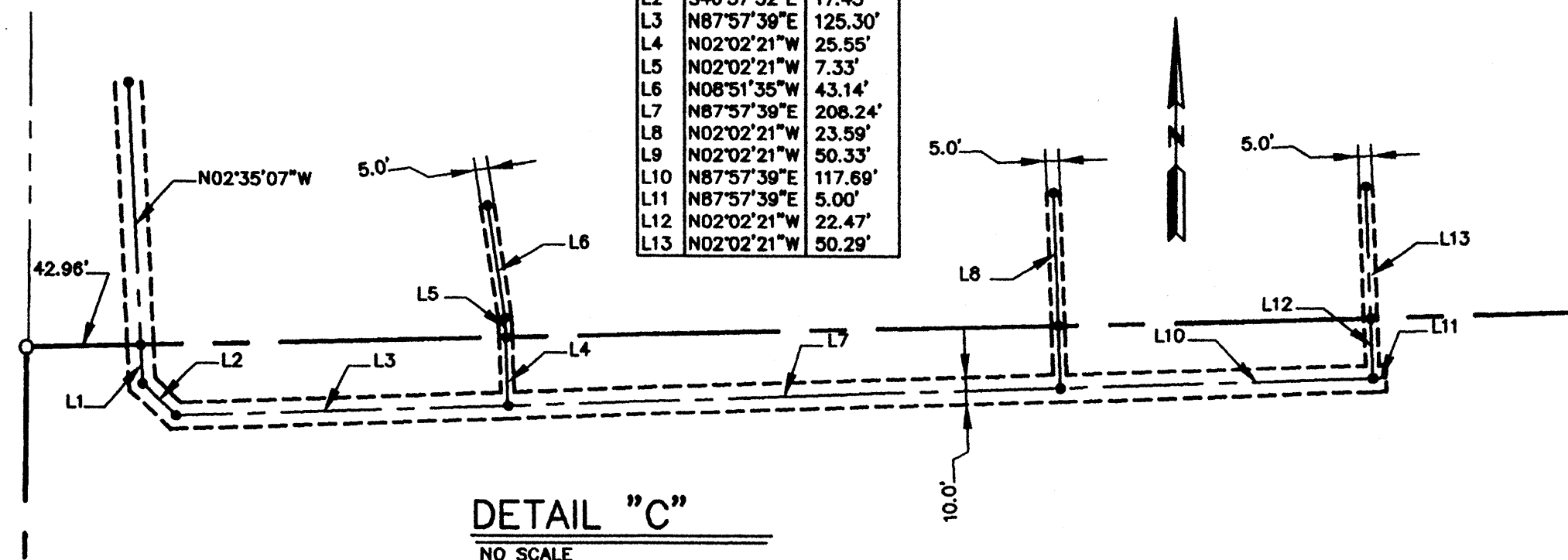
CURVE TABLE						
NUMBER	RADIUS	TANGENT	LENGTH	CHORD	BEARING	DELTA
1	5779.81	409.05	977.76	976.59	S51°30'04"W	09°41'33"
2	403.87	85.12	167.78	166.58	N61°10'37"E	23°48'11"
3	493.00	154.93	300.22	295.60	N32°35'56"E	34°53'27"
4	351.50	50.90	101.09	100.74	N06°08'45"E	16°28'40"
5	25.00	9.81	18.69	18.26	S30°46'42"W	42°50'00"
6	50.00	53.93	231.84	73.33	S37°48'18"E	265°40'01"
7	25.00	9.81	18.69	18.26	S73°36'42"W	42°50'00"
8	25.00	25.06	39.33	35.40	S07°07'33"W	90°08'18"
9	30.00	29.60	46.73	42.14	N82°33'47"W	89°14'22"
10	30.00	29.78	46.90	42.27	S06°50'43"W	89°34'38"
11	25.00	24.94	39.21	35.31	N82°52'27"W	89°51'42"
12	270.00	59.58	117.28	116.36	S39°12'16"W	24°53'16"
13	330.26	57.04	112.97	112.42	S35°34'39"W	19°35'55"
14	25.00	8.74	16.82	16.50	N26°06'16"E	38°32'40"
15	50.00	54.36	231.44	73.60	S40°33'39"E	265°12'50"
16	25.00	11.26	21.16	20.53	S67°47'52"W	48°29'49"
17	270.26	42.49	84.29	83.95	S34°36'53"W	17°52'09"
18	330.00	73.12	143.91	142.77	S39°09'19"W	24°59'10"
19	25.00	25.06	39.33	35.40	N07°07'33"E	90°08'18"
20	30.00	29.77	46.89	42.26	N82°43'13"W	89°33'14"
21	30.00	22.50	38.61	36.00	S01°04'16"E	73°44'39"
22	25.00	24.94	39.21	35.31	N82°52'27"W	89°51'42"
23	300.00	66.20	130.31	129.29	N39°12'16"E	24°53'16"
24	300.26	76.68	150.15	148.59	S40°00'20"W	28°39'03"
25	593.69	155.57	304.29	300.97	N38°52'19"E	29°21'59"

2000C - 131 (4)

PLAT OF
TRACTS 1 THRU 10
INTERSTATE BUSINESS PARK
BEING A REPLAT OF TRACT 3A
MIDTOWN BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
APRIL, 1998

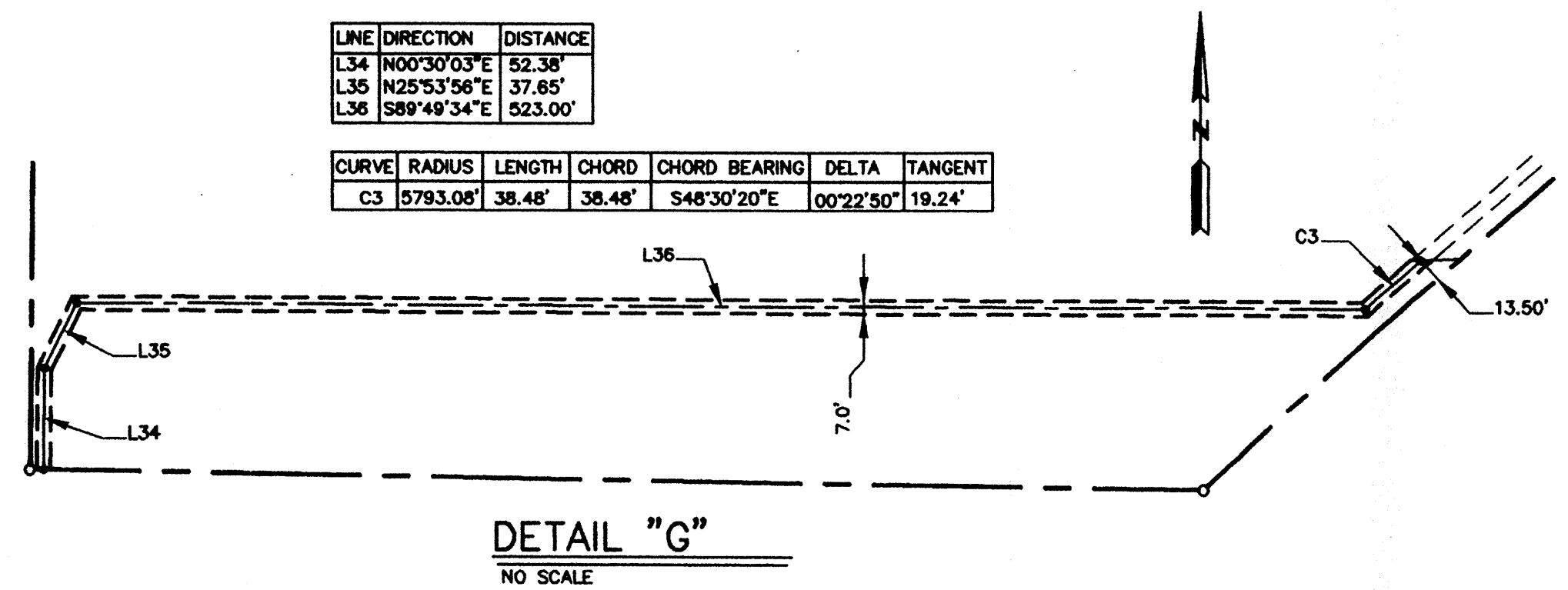
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Page: 4 of 4
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Bk-2000C Pg-131
Judy D. Woodward Bern. Co. PLRT R 22.88

LINE	DIRECTION	DISTANCE
L1	N02°35'07"W	14.52'
L2	S46°57'52"E	17.43'
L3	N87°57'39"E	125.30'
L4	N02°02'21"W	25.55'
L5	N02°02'21"W	7.33'
L6	N08°51'35"W	43.14'
L7	N87°57'39"E	208.24'
L8	N02°02'21"W	23.59'
L9	N02°02'21"W	50.33'
L10	N87°57'39"E	117.69'
L11	N87°57'39"E	5.00'
L12	N02°02'21"W	22.47'
L13	N02°02'21"W	50.29'



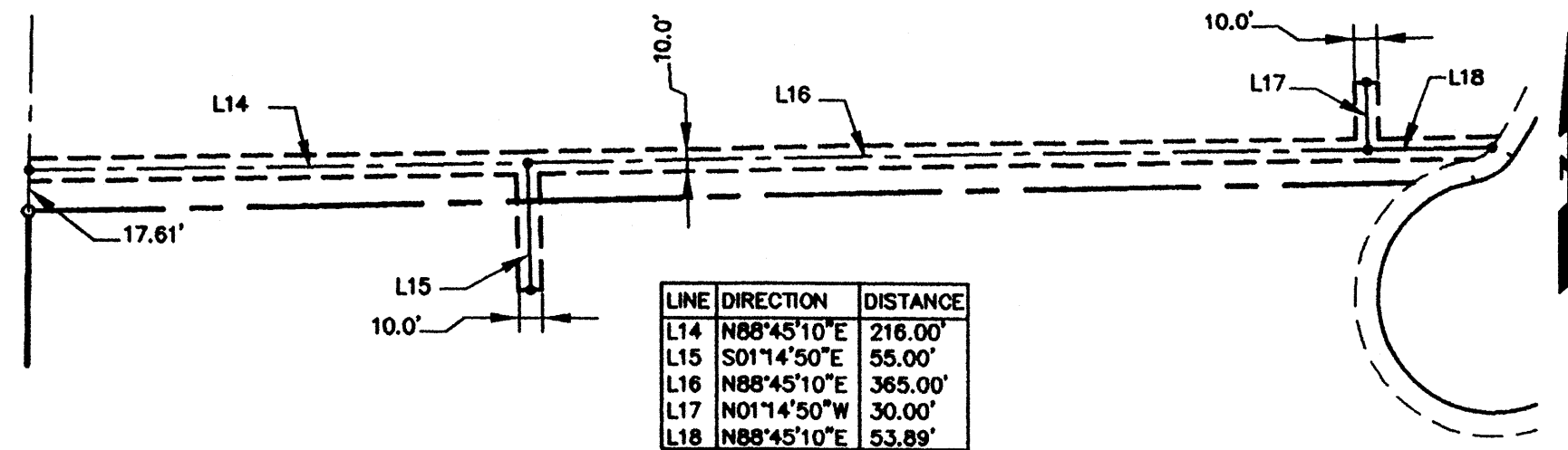
LINE	DIRECTION	DISTANCE
L34	N00°30'03"E	52.38'
L35	N25°53'56"E	37.85'
L36	S89°49'34"E	523.00'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA	TANGENT
C3	5793.08'	38.48'	38.48'	S46°30'20"E	00°22'50"	19.24'



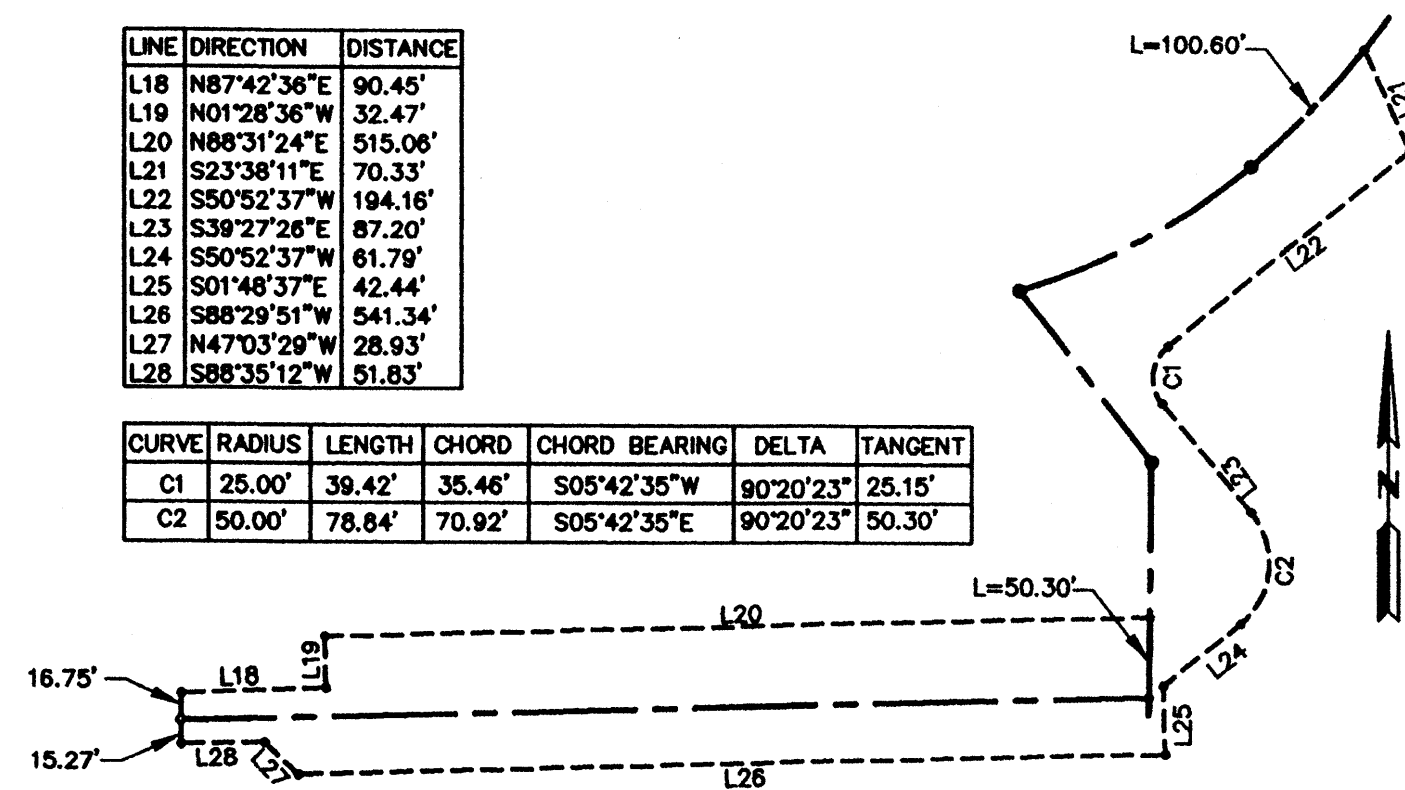
LINE	DIRECTION	DISTANCE
L14	N88°45'10"E	216.00'
L15	S01°14'50"E	55.00'
L16	N88°45'10"E	365.00'
L17	N01°14'50"W	30.00'
L18	N88°45'10"E	53.89'

DETAIL "D"
NO SCALE



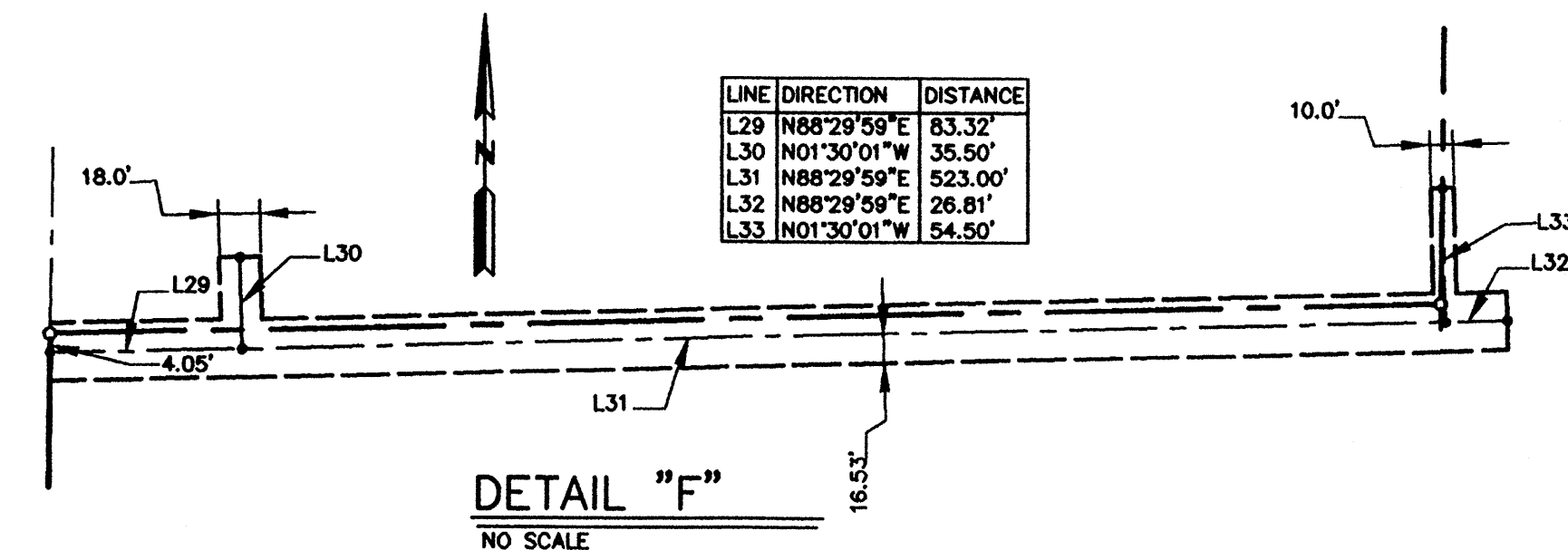
LINE	DIRECTION	DISTANCE
L18	N87°42'36"E	90.45'
L19	N01°28'36"W	32.47'
L20	N88°31'24"E	515.06'
L21	S23°38'11"E	70.33'
L22	S50°52'37"W	194.16'
L23	S39°27'26"E	87.20'
L24	S50°52'37"W	61.79'
L25	S01°48'37"E	42.44'
L26	S88°29'51"W	541.34'
L27	N47°03'29"W	28.93'
L28	S88°35'12"W	51.63'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA	TANGENT
C1	25.00'	39.42'	35.46'	S05°42'35"W	90°20'23"	25.15'
C2	50.00'	78.84'	70.92'	S05°42'35"E	90°20'23"	50.30'



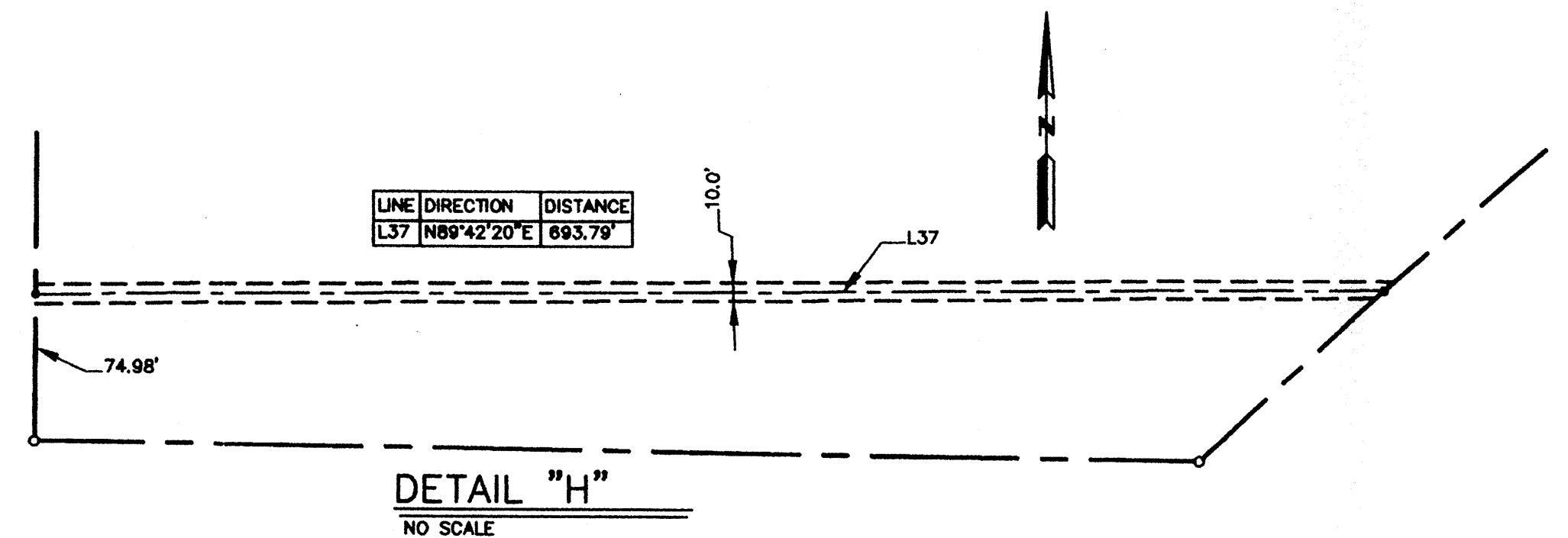
DETAIL "E"
NO SCALE

LINE	DIRECTION	DISTANCE
L29	N88°29'59"E	83.32'
L30	N01°30'01"W	35.50'
L31	N88°29'59"E	523.00'
L32	N88°29'59"E	26.81'
L33	N01°30'01"W	54.50'



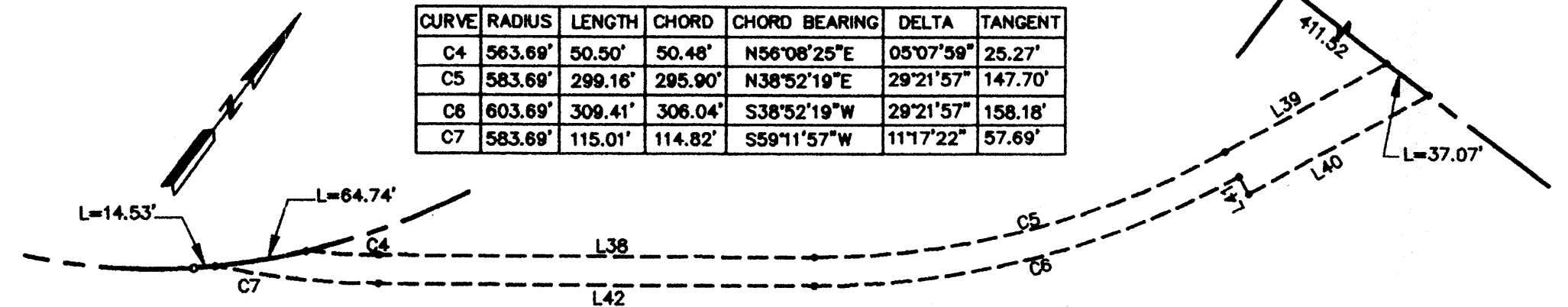
DETAIL "F"
NO SCALE

LINE	DIRECTION	DISTANCE
L37	N89°42'20"E	693.79'



LINE	DIRECTION	DISTANCE
L38	N53°33'16"E	303.74'
L39	N24°22'20"E	128.83'
L40	S24°11'20"W	143.62'
L41	N64°48'40"W	14.00'
L42	S53°33'16"W	303.74'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA	TANGENT
C4	563.69'	50.50'	50.48'	N56°08'25"E	05°07'59"	25.27'
C5	583.69'	299.16'	295.90'	N38°52'19"E	29°21'57"	147.70'
C6	603.69'	309.41'	306.04'	S38°52'19"W	29°21'57"	158.18'
C7	583.69'	115.01'	114.82'	S59°11'57"W	11°17'22"	57.69'



DETAIL "I"
NO SCALE

* Need
permission
for
draining
into
channel.
overhead
@ capacity.

EXISTING CONDITIONS:

The site is located on Tract 4, Interstate Business Park. North of the site is a developed warehouse facility. West of the site is Alexander Blvd. NE, which is paved with standard curb and gutter. South of the site is the undeveloped Tract 5, Interstate Business Park. East of the site is another undeveloped property, Tract 3, Interstate Business Park. This tract has an existing concrete drainage channel parallel with the property line between Tract 3 and Tract 4. The drainage channel is approximately 12" East of the property line and has bottom width of approximately 9.6'. The channel connects the cul de sac in Midtown Place to Desert Surf Circle. All runoff from the site flows to the Renaissance Center detention pond.

PROPOSED CONDITIONS:

It is proposed to construct an office/warehouse facility on the site as shown. It is proposed to drain the site to Alexander Blvd, through the drivepads. To minimize the amount of fill required to drain the entire site to Alexander Blvd., it is proposed to drain the rear portion of the site to the existing drainage channel via ground level openings at the base of the proposed split face concrete block wall.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2. Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

DRAINAGE CALCULATIONS:

LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	100-yr.	10-yr.	100-yr.	10-yr.	E (in)	Existing Site Areas	Developed Site Areas
	q(cfs/acre)					% Sq. Ft.	% Sq. Ft.
A	1.56	0.38	0.53	0.13	0.0	0 0.0000	0.0 0 0.0000
B	2.28	0.95	0.78	0.28	0.0	0 0.0000	4.9 3,185 0.0731
C	3.14	1.71	1.13	0.52	100.0	64,403 1.4785	0.0 0 0.0000
D	4.70	3.14	2.12	1.34	0.0	0 0.0000	95.1 61,218 1.4054
Totals						100.0 64,403 1.4785	100.0 64,403 1.4785

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 1.4785 * 3.14 = 4.64 cfs
Q10 = 1.4785 * 1.71 = 2.53 cfs

DEVELOPED CONDITIONS:

Q100 = 0.0731 * 2.28 + 1.4054 * 4.70 = 6.77 cfs
Q10 = 0.0731 * 0.95 + 1.4054 * 3.14 = 4.48 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (64,403 * 1.13) / 12 = 6,065 cf
V10 = (64,403 * 0.52) / 12 = 2,791 cf

DEVELOPED CONDITIONS:

V100 = (3,185 * 0.78 + 61,218 * 2.12) / 12 = 11,022 cf
V10 = (3,185 * 0.28 + 61,218 * 1.34) / 12 = 6,910 cf

SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	11,022	6,910	6.77	4.48
EXISTING	6,065	2,791	4.64	2.53
INCREASE	4,957	4,119	2.13	1.95

DRAINAGE SUBBASINS:

SUBBASIN 'A' 16,292 SF

SUBBASIN 'B' 11,637 SF

SUBBASIN 'C' 21,890 SF

SUBBASIN 'D' 14,584 SF

TOTAL AREA 64,403 SF

SUBBASIN 'A' AREA = 16,292 SF (0.3740 AC); TREAT. 'B' = 1,522 SF (0.0349 AC)

TREAT. 'D' = 14,770 SF (0.3391 AC)

PEAK DISCHARGE:

Q100 = 0.0349 * 2.28 + 0.3391 * 4.70 = 1.67 cfs
Q10 = 0.0349 * 0.95 + 0.3391 * 3.14 = 1.10 cfs

SUBBASIN 'B' AREA = 11,637 SF (0.2671 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.2671 * 4.70 = 1.26 cfs
Q10 = 0.2671 * 3.14 = 0.84 cfs

SUBBASIN 'C' AREA = 21,890 SF (0.5025 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.5025 * 4.70 = 2.36 cfs
Q10 = 0.5025 * 3.14 = 1.58 cfs

SUBBASIN 'D' AREA = 14,584 SF (0.3348 AC); TREAT. 'B' = 1,663 SF (0.0382 AC)

TREAT. 'D' = 12,921 SF (0.2966 AC)

PEAK DISCHARGE:

Q100 = 0.0382 * 2.28 + 0.2966 * 4.70 = 1.48 cfs
Q10 = 0.0382 * 0.95 + 0.2966 * 3.14 = 0.97 cfs

SUMMARY OF SUBBASIN QUANTITIES:

SUBBASIN	Q100	Q10
A	1.67	1.10
B	1.26	0.84
C	2.36	1.58
D	1.48	0.97
TOTAL	6.77	4.48

CAPACITY OF DISCHARGE POINTS:

SUBBASIN 'B' DESIGN Q = 1.26 CFS USE ORIFICE EQ. Q = CA (2GH)^{1/2}

OPENING AREA IN 8" BLOCK 5-1/4 LONG X 4-3/4 HIGH = 24.94 SQ. IN.

TWO OPENINGS PER BLOCK 49.88 SQ. IN. (0.3464 SF)

DEPTH AT OPENING = 6' (0.50') H = 0.50 - (4.75/2)/12 = 0.50 - 0.20 = 0.30

CAPACITY PER BLOCK Q = 0.6 X 0.3464 (2 X 32.2 X 0.3)^{1/2} = 0.91 CFS

TRY 8" DEPTH. H = 0.67 - 0.20 = 0.47

CAPACITY PER BLOCK Q = 0.6 X 0.3464 (2 X 32.2 X 0.47)^{1/2} = 1.14 CFS

USE TWO BLOCK. CAPACITY = 1.14 X 2 = 2.28 CFS > 1.26 CFS

SUBBASIN 'C' DESIGN Q = 1.58 CFS TWO BLOCKS ARE ADEQUATE.

OFF-SITE FLOW:

THERE IS NO OFF-SITE FLOW EXCEPT FOR A SMALL AREA ALONG THE SOUTH

PROPERTY LINE WHICH APPEARS TO POSSIBLY FLOW INTO THE LANDSCAPE

THE SURVEY IS NOT SUFFICIENTLY DETAILED TO ACCURATELY CALCULATE

OFF-SITE FLOW QUANTITIES. HOWEVER, THIS FLOW IS ACCEPTED INTO

THE LANDSCAPING AREA.

AREA = 352 SF

AREA = 169 SF

AREA = 116 SF

AREA = 487 SF

AREA = 109 SF

AREA = 184 SF

SOUTH SIDE

AREA = 169 SF

AREA = 109 SF

AREA = 184 SF

AREA = 1,201 SF

TOTAL AREA = 1,663 SF

NORTH SIDE

AREA = 567 SF

AREA = 116 SF

AREA = 487 SF

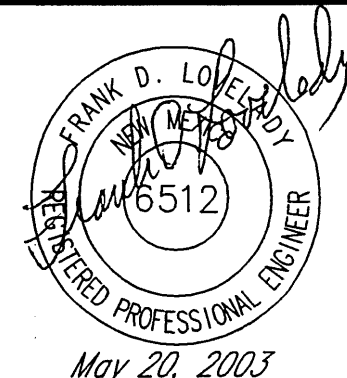
AREA = 352 SF

TOTAL AREA = 1,522 SF

TOTAL LANDSCAPING
AREA = 3,185 SF

AREA = 1,201 SF

CALCULATION OF LANDSCAPING AREAS



GRADING & DRAINAGE PLAN
Office & Warehouse Facility for the O'Dell Corporation
ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505 259-8458 * 3808 SIMMS AVENUE SE * Albuquerque, NM * 87108

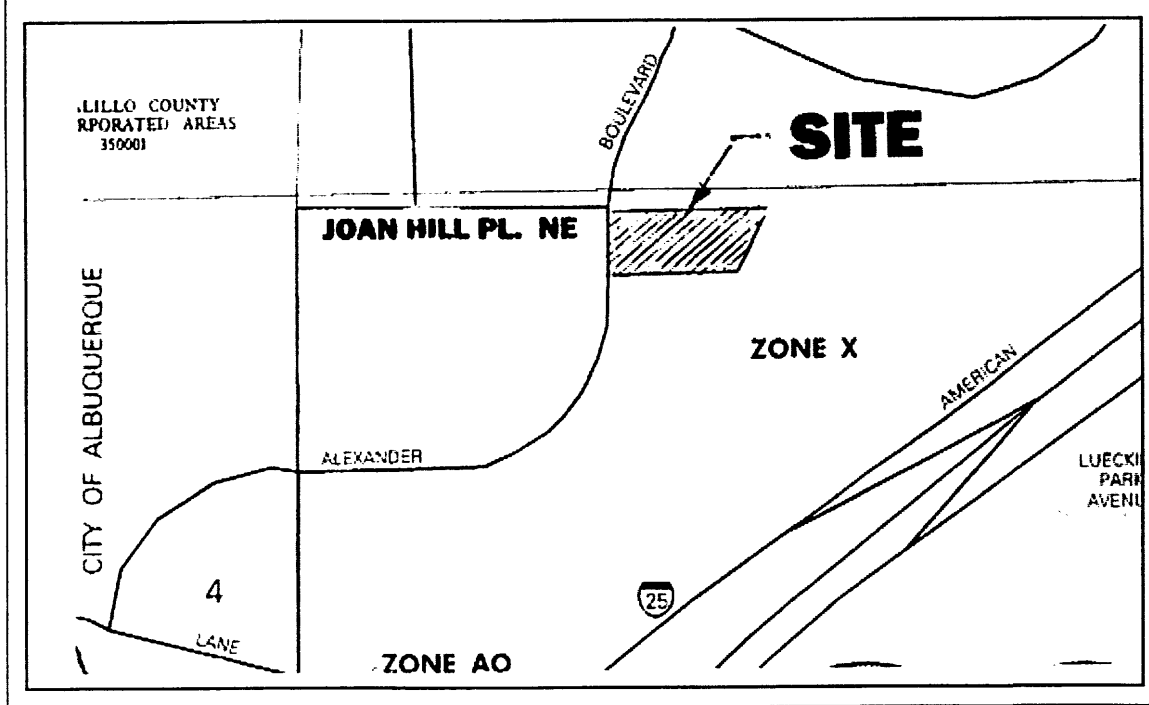
JOB NO. 649

DATE MAY 20, 2003

REVISIONS

SHEET NO.

C.2.2



FLOOD INSURANCE RATE MAP MAP NO. 35001C0138 D

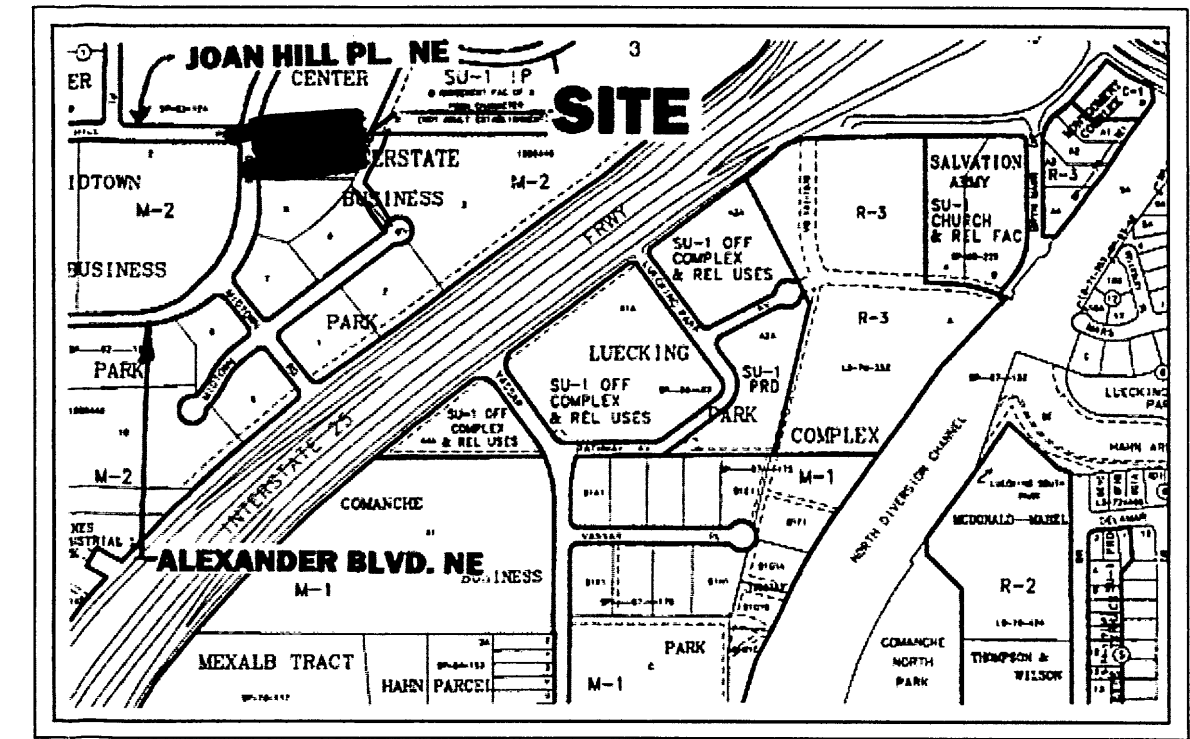
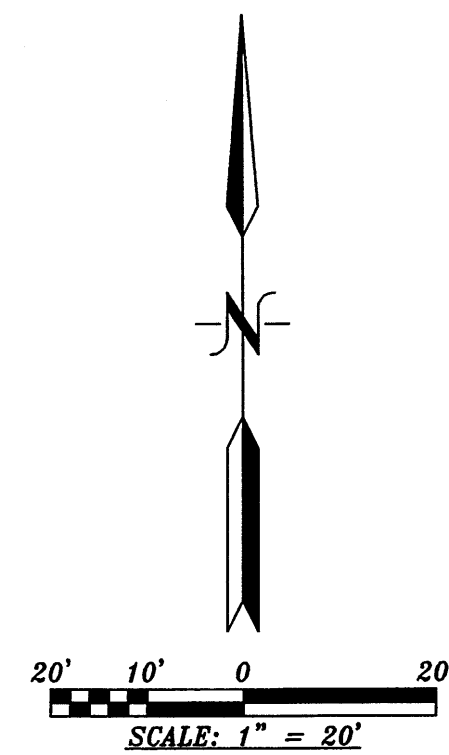
RECORD OF ADDITIONAL SURVEY SHOTS:
 Elev. of NW Prop. Cor. Top Rebar = 46.52
 Backsite on NW Cor. = 4.50
 H.I. = 51.02
 F.S. BOC at Prop. Cor. = 5.26 Elev. = 45.76
 F.S. FL at Prop. Cor. = 5.85 Elev. = 45.17

GENERAL NOTES:

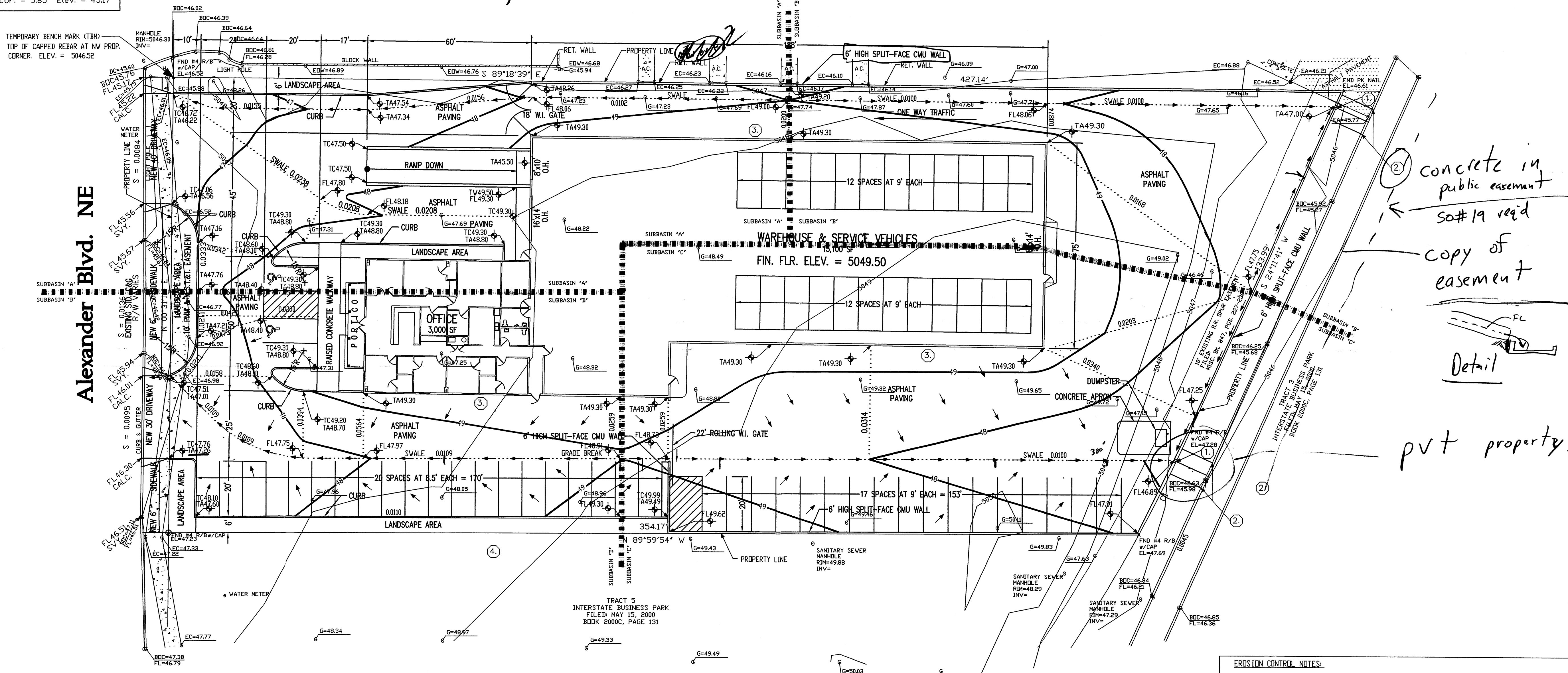
- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "1-25-20", HAVING AN ELEVATION OF 5079.46
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

LEGEND:

EXISTING	NEW	DESCRIPTION
— 4991 —	— 91 —	CONTOUR
— 87.20 —	— 89.00 —	SPOT ELEVATION
— — —	— — —	PROPERTY LINE
— — —	— — —	SWALE
— — —	— — —	SHEET FLOW
— — —	— — —	ROOF GUTTER
— — —	— — —	DOWNSPOUT
LEGEND		
— — —	— — —	BOC = BACK OF CURB
— — —	— — —	DC = DRIVECUT
— — —	— — —	EA = EDGE OF ASPHALT
— — —	— — —	EC = EDGE OF CONCRETE
— — —	— — —	EOW = EDGE OF WALL
— — —	— — —	FL = FLOW LINE
— — —	— — —	G = GROUND



VICINITY MAP ZONE ATLAS NO. G-16-Z



② concrete in public easement
 so#19 req'd
 copy of easement
 Detail
 pv + property?

KEYED NOTES:

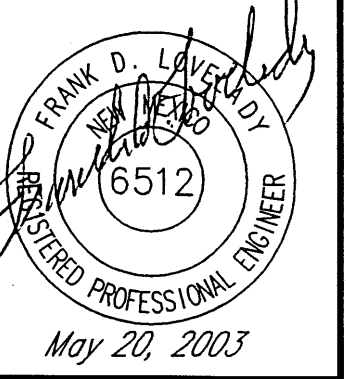
1. DRAINAGE ORIFICE. PLACE TWO (2) BLOCKS WITH HOLES HORIZ.
2. PAVE TEN-FOOT-WIDE STRIP BETWEEN DRAINAGE OUTLET AND CHANNEL.
3. GUTTERS AND DOWNSPOUTS AS REQUIRED ALONG NORTH & SOUTH WALLS.
4. EXISTING MINIMAL OFF-SITE FLOW FROM THIS AREA IS ACCEPTED.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:

TRACT 4, INTERSTATE BUSINESS PARK.

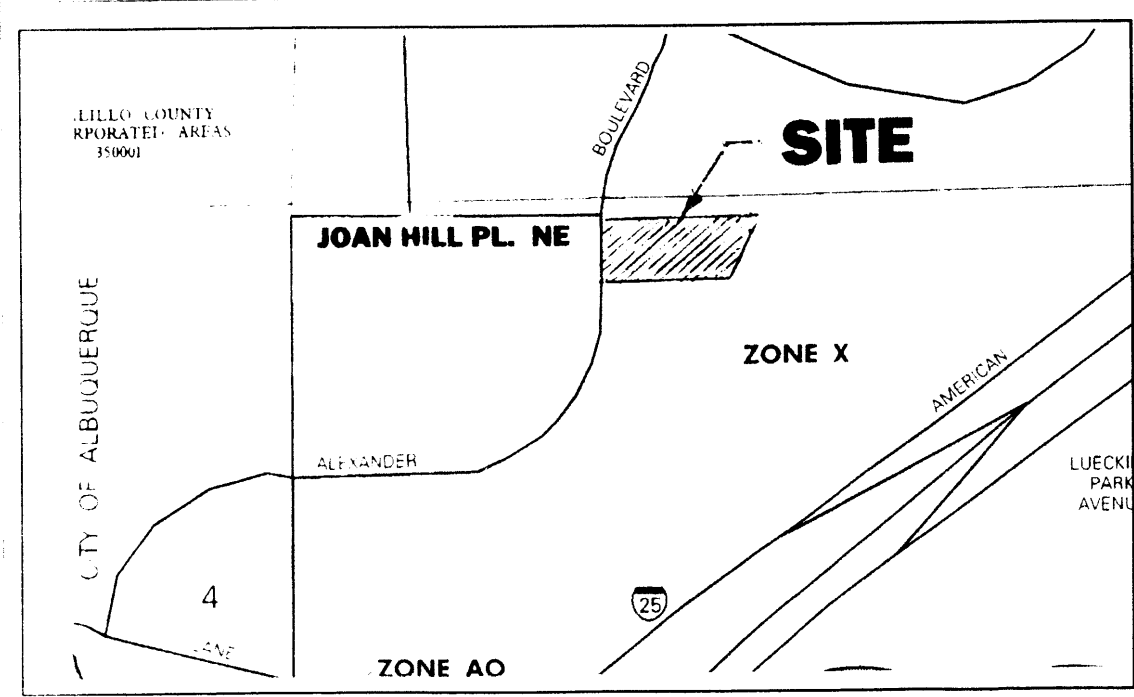


GRADING & DRAINAGE PLAN
 Office & Warehouse Facility for the O'Dell Corporation
 ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
 (505) 259-8458 • 3808 SIMMS AVENUE SE • Albuquerque, NM • 87108

JOB NO:	649
DATE:	MAY 20, 2003
REVISIONS	

SHEET NO.
C.2.1



JOAN HILL PL. NE
ALEXANDER BLVD. NE
INTERSTATE BUSINESS PARK
MAP NO. 35001C0138 D

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "1-25-20", HAVING AN ELEVATION OF 5079.46.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

KEYED NOTES:

- ① DRAINAGE ORIFICE. PLACE THREE (3) BLOCKS WITH HOLES HORIZ.
- ② PAVE TEN-FOOT-WIDE STRIP BETWEEN DRAINAGE OUTLET AND CHANNEL.
- ③ GUTTERS AND DOWNSPOUTS AS REQUIRED ALONG NORTH & SOUTH WALLS.
- ④ SEE CALCULATIONS. FIELD INVESTIGATION SHOWED THAT FLOW FROM SOUTH IS DIVERTED TO ALEXANDER BLVD.

LEGEND:

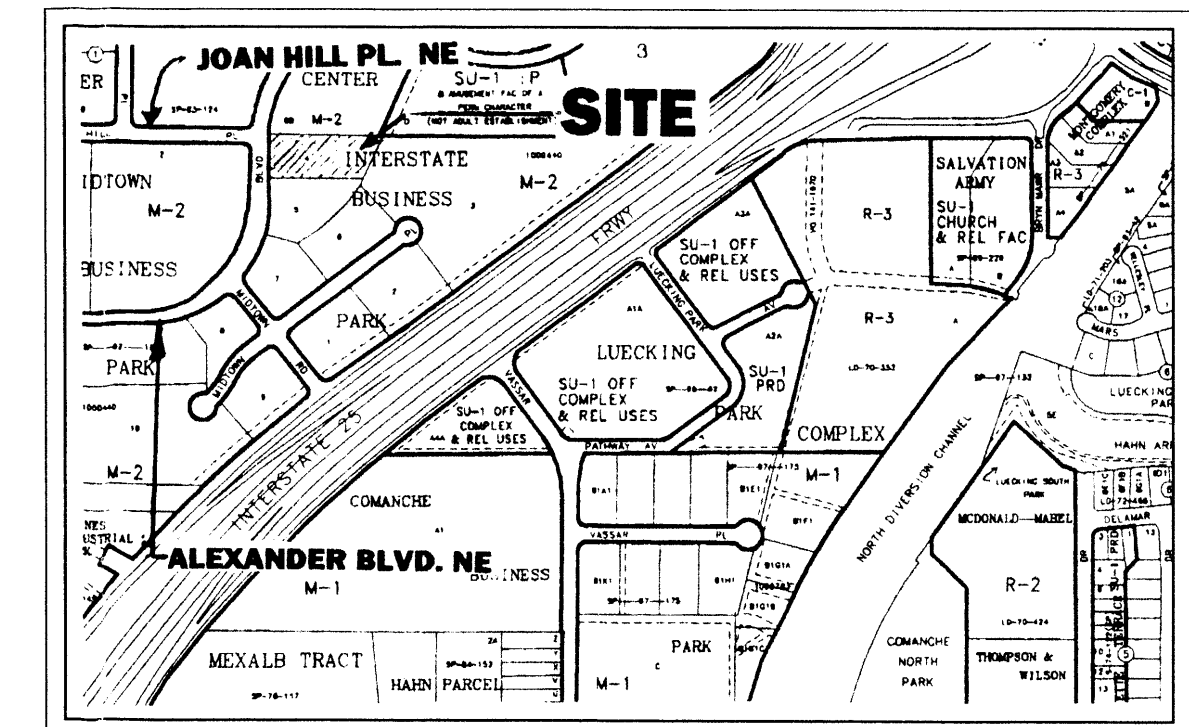
EXISTING NEW DESCRIPTION

4991 91
87.20 89.00
CONTOUR
SPOT ELEVATION
PROPERTY LINE
SWALE
SHEET FLOW
ROOF GUTTER
DOWNSPOUT

LEGEND

BOC = BACK OF CURB
DC = DRIVECUT
EA = EDGE OF ASPHALT
EC = EDGE OF CONCRETE
EOW = EDGE OF WALL
FL = FLOW LINE
G = GROUND

20' 10' 0' 20'
SCALE: 1" = 20'



VICINITY MAP
ZONE ATLAS NO. G-16-Z

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.O. 19)

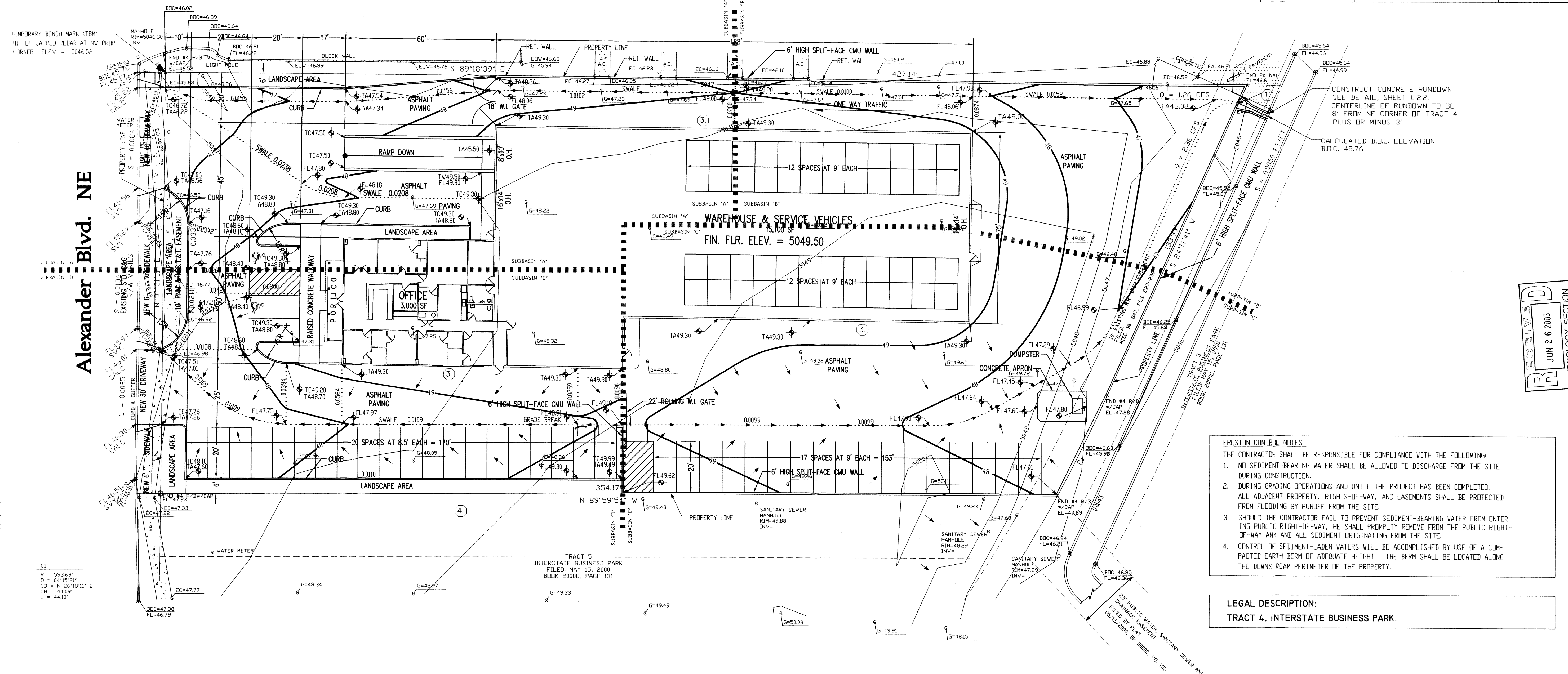
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN. SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 260-1990, FOR LOCATION FOR EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL FOR PCC RUNDOWN	NAME	DATE
INSPECTOR:		

RECORD OF ADDITIONAL SURVEY SHOTS:

Elev. of NW Prop. Cor. Top Rebar = 46.52
Backsite on NW Cor. = 4.50
H.I. = 51.02
F.S. BOC at Prop. Cor. = 5.26 Elev. = 45.76
F.S. FL at Prop. Cor. = 5.85 Elev. = 45.17

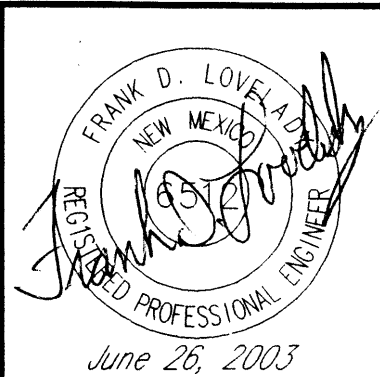


EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:

TRACT 4, INTERSTATE BUSINESS PARK.



GRADING & DRAINAGE PLAN
Office & Warehouse Facility for the Obell Corporation
ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
259-8458 • 3808 SIMMS AVENUE SE • Albuquerque, NM • 87108

JOB NO:	649
DATE:	JUNE 26, 2003
REVISIONS	

SHEET NO.
C.2.1

EXISTING CONDITIONS:

The site is located on Tract 4, Interstate Business Park. North of the site is a developed warehouse facility. West of the site is Alexander Blvd. NE, which is paved with standard curb and gutter. South of the site is the undeveloped Tract 5, Interstate Business Park. East of the site is another undeveloped property, Tract 3, Interstate Business Park. This tract has an existing concrete drainage channel parallel with the property line between Tract 3 and Tract 4. The drainage channel is approximately 12' East of the property line and has bottom width of approximately 9.6'. The channel connects the cul de sac in Midtown Place to Desert Surf Circle. All runoff from the site flows to the Renaissance Center detention pond.

PROPOSED CONDITIONS:

It is proposed to construct an office/warehouse facility on the site as shown. It is proposed to drain the site to Alexander Blvd, through the driveways. To minimize the amount of fill required to drain the entire site to Alexander Blvd., it is proposed to drain the rear portion of the site to the existing drainage channel via ground level openings at the base of the proposed split face concrete block wall.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	100-yr. 10-yr.	E (in)	Existing Site Areas	Developed Site Areas
			% Sq. Ft.	% Sq. Ft.
A	1.56	0.38	0.53	0.13
B	2.28	0.95	0.78	0.28
C	3.14	1.71	1.13	0.52
D	4.70	3.14	2.12	1.34
Totals			100.0	64.403

PEAK DISCHARGE:

EXISTING CONDITIONS:
Q100 = 1.4785 * 3.14 = 4.64 cfs
Q10 = 1.4785 * 1.71 = 2.53 cfs

DEVELOPED CONDITIONS:
Q100 = 0.0731 * 2.28 + 1.4054 * 4.70 = 6.77 cfs
Q10 = 0.0731 * 0.95 + 1.4054 * 3.14 = 4.48 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:
V100 = (64.403 * 1.13) / 12 = 6.065 cf
V10 = (64.403 * 0.52) / 12 = 2.791 cf

DEVELOPED CONDITIONS:

V100 = (3.185 * 0.78 + 61.218 * 2.12) / 12 = 11.022 cf
V10 = (3.185 * 0.28 + 61.218 * 1.34) / 12 = 6.910 cf

SUMMARY OF IN-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	11.022	6.910	6.77	4.48
EXISTING	6.065	2.791	4.64	2.53
INCREASE	4.957	4.119	2.13	1.95

DRAINAGE SUBBASINS:

SUBBASIN 'A' 16,292 SF
SUBBASIN 'B' 11,637 SF
SUBBASIN 'C' 21,890 SF
SUBBASIN 'D' 14,584 SF
TOTAL AREA 64,403 SF

SUBBASIN 'A' AREA = 16,292 SF (0.3740 AC); TREAT. 'B' = 1,522 SF (0.0349 AC)
TREAT. 'D' = 14,770 SF (0.3391 AC)

PEAK DISCHARGE:

Q100 = 0.0349 * 2.28 + 0.3391 * 4.70 = 1.67 cfs
Q10 = 0.0349 * 0.95 + 0.3391 * 3.14 = 1.10 cfs

SUBBASIN 'B' AREA = 11,637 SF (0.2671 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.2671 * 4.70 = 1.26 cfs
Q10 = 0.2671 * 3.14 = 0.84 cfs

SUBBASIN 'C' AREA = 21,890 SF (0.5025 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.5025 * 4.70 = 2.36 cfs
Q10 = 0.5025 * 3.14 = 1.58 cfs

SUBBASIN 'D' AREA = 14,584 SF (0.3348 AC); TREAT. 'B' = 1,663 SF (0.0382 AC)
TREAT. 'D' = 12,921 SF (0.2966 AC)

PEAK DISCHARGE:

Q100 = 0.0382 * 2.28 + 0.2966 * 4.70 = 1.48 cfs
Q10 = 0.0382 * 0.95 + 0.2966 * 3.14 = 0.97 cfs

SUMMARY OF SUBBASIN QUANTITIES:

SUBBASIN	Q100	Q10
A	1.67	1.10
B	1.26	0.84
C	2.36	1.58
D	1.48	0.97
TOTAL	6.77	4.48

DRAINAGE CALCULATIONS:

CAPACITY OF DISCHARGE POINTS:

COMBINE SUBBASINS 'B' AND 'C' AND USE ONLY ONE DISCHARGE POINT.
COMBINED DESIGN Q = 1.26 CFS + 2.36 CFS = 3.62 CFS
USE ORIFICE EQ. Q = CA (2GH)^{1/2}
OPENING AREA IN 8" BLOCK 5-1/4 LONG X 4-3/4 HIGH = 24.94 SQ. IN.
TWO OPENINGS PER BLOCK 49.88 SQ. IN. (0.3464 SF)
DEPTH OF HORIZONTAL CENTERLINE OF OPENINGS = (4.75 / 2) = 2.375 IN (0.20 FT)

DEPTH OF PONDING AT OUTLET - USE 9" DEPTH. H = 0.75 - 0.20 = 0.55'
CAPACITY PER BLOCK Q = 0.6 X 0.3464 (2 X 32.2 X 0.55)^{1/2} = 1.26 CFS
USE THREE BLOCKS. CAPACITY = 1.26 X 3 = 3.78 CFS > 3.62 CFS

OFF-SITE FLOW:

THERE IS NO OFF-SITE FLOW EXCEPT FOR A SMALL AREA ALONG THE SOUTH PROPERTY LINE WHICH APPEARS TO POSSIBLY FLOW INTO THE LANDSCAPE

THE SURVEY IS NOT SUFFICIENTLY DETAILED TO ACCURATELY CALCULATE

OFF-SITE FLOW QUANTITIES. HOWEVER, THIS FLOW IS ACCEPTED INTO THE LANDSCAPING AREA.

A FIELD INVESTIGATION WAS MADE ON JUNE 17, 2003 TO DETERMINE THE EXTENT OF THE OFF-SITE FLOW AREA. IT APPEARS THAT THE OFF-SITE FLOW INDICATED BY THE CONTOURS ON THE PLAN IS ACTUALLY INTERCEPTED BY AN EXISTING SWALE THAT WAS CREATED WHEN THE SANITARY SEWER WAS CONSTRUCTED. THIS SWALE WOULD APPEAR TO DIRECT ANY FLOW FROM THIS AREA INTO ALEXANDER BOULEVARD BEFORE IT REACHES THE SITE.

CAPACITY OF CONCRETE RUNDOWNS INTO EXISTING CONCRETE CHANNEL:

USE MANNING'S EQUATION, Q = A (1.486/N) (R^{2/3}) (S^{1/2})

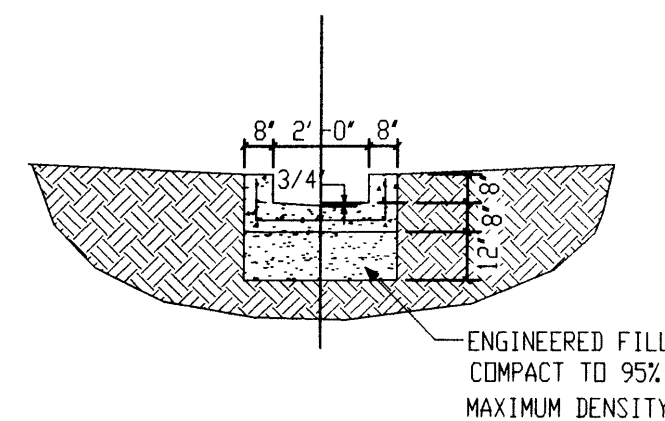
CHANNEL IS 2' WIDE. ASSUME 6" DEEP. a = 0.5 X 2 = 1.0

P = 2 X 0.5 + 2.0 = 3.00' R = A/P = (1.00 / 3.00) = 0.3333333

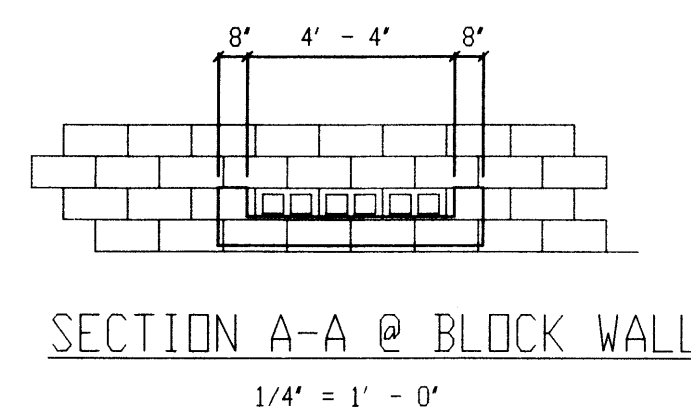
S = 0.0100 FT/FT N = 0.015 (CONCRETE)

Q = (1.00) (1.486/0.015) (0.33333)^{2/3} (0.0100)^{1/2} = 4.76 CFS

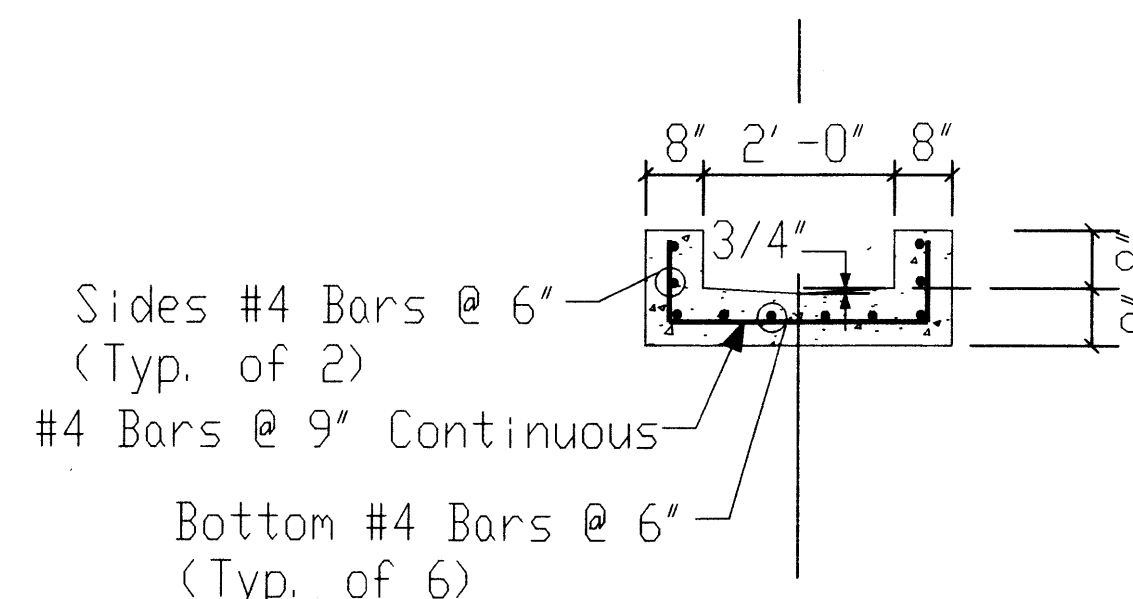
4.76 CFS > 3.62 CFS (ADEQUATE)



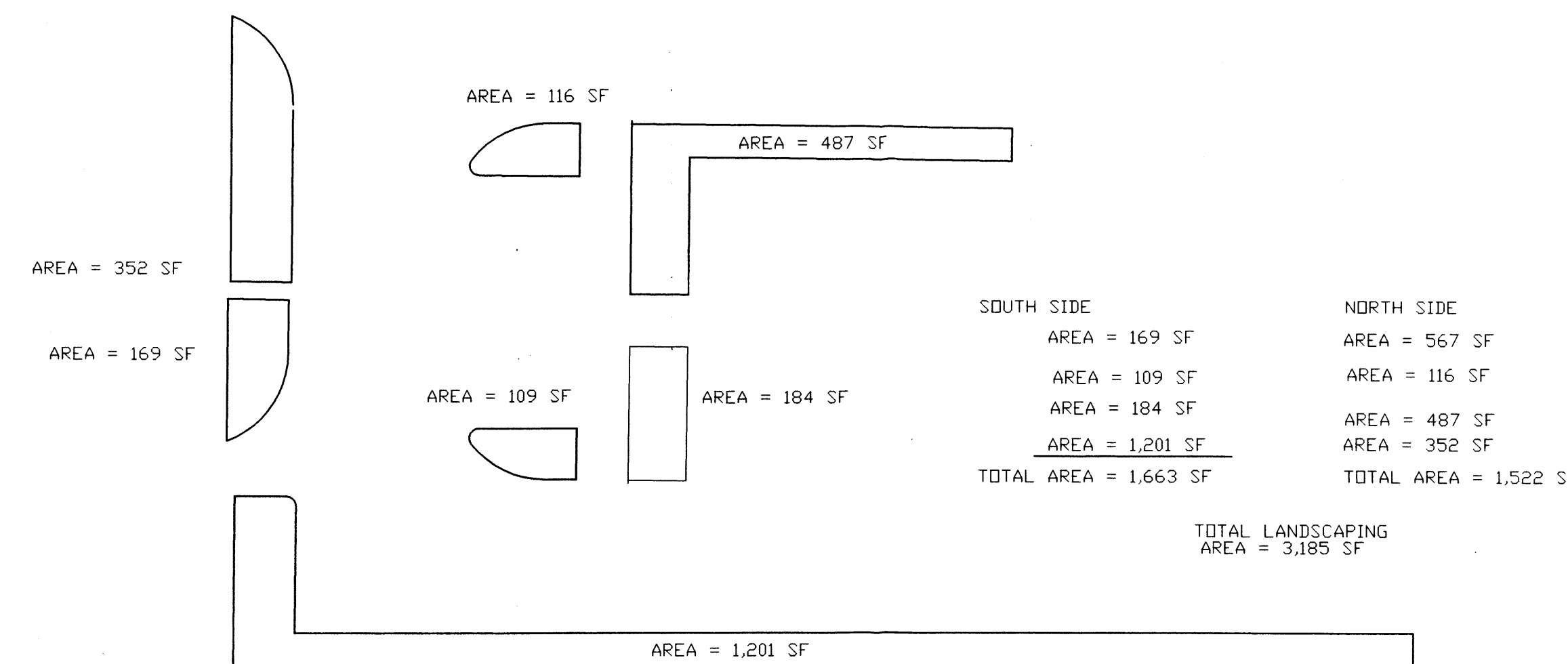
SECTION A-A
1/4" = 1' - 0"



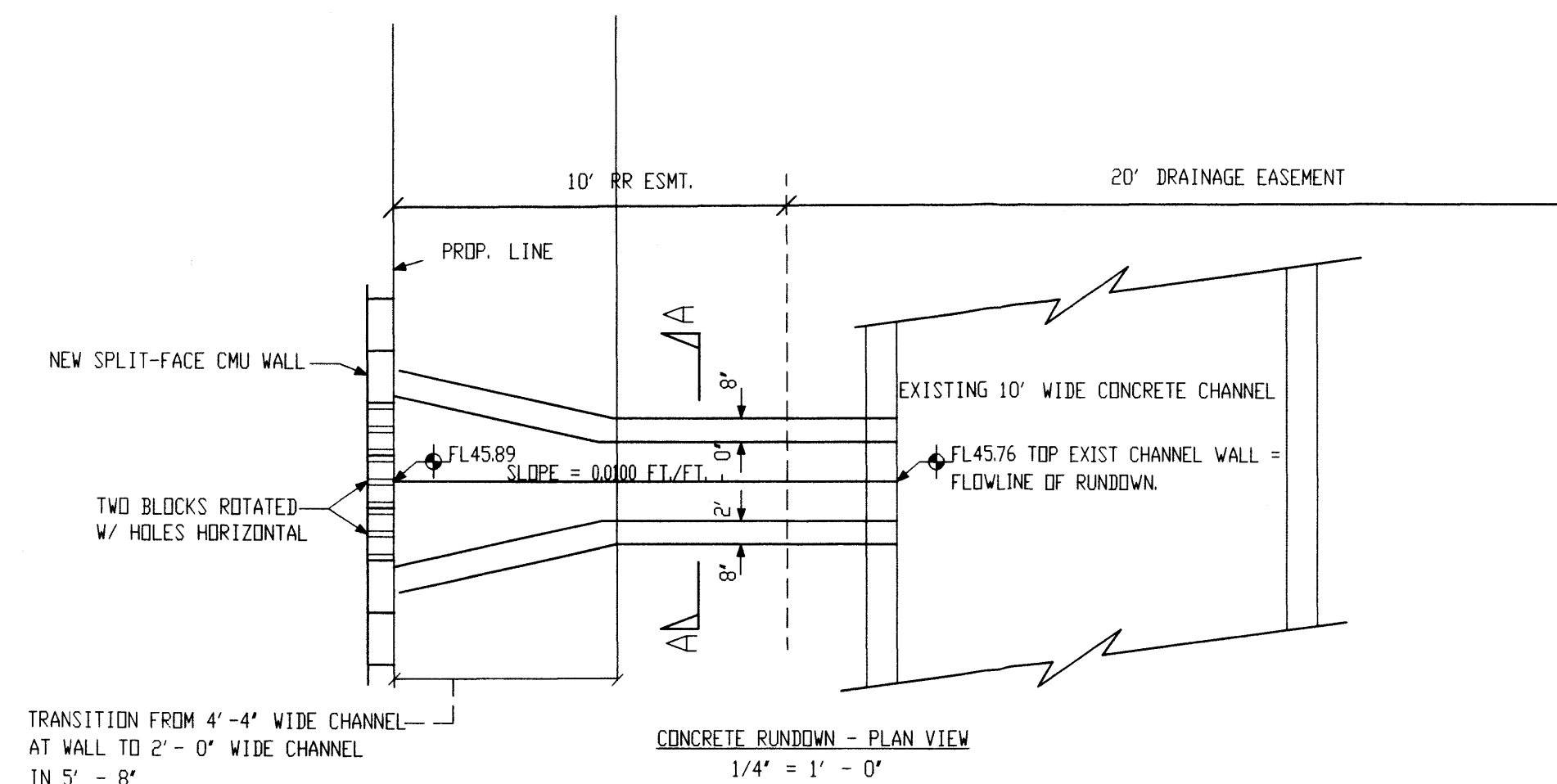
SECTION A-A @ BLOCK WALL
1/4" = 1' - 0"



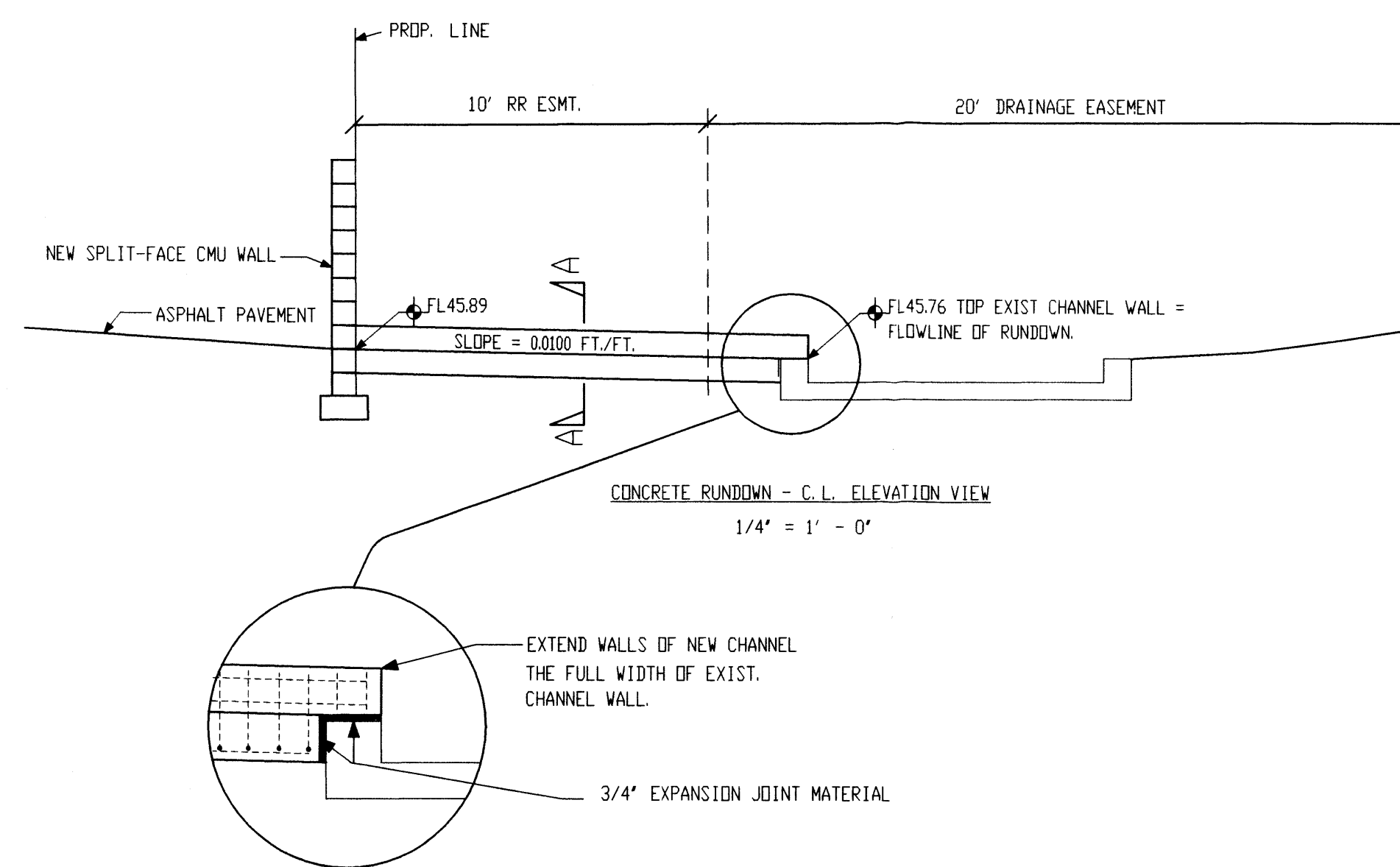
REINFORCING DETAIL
1/2" = 1' - 0"



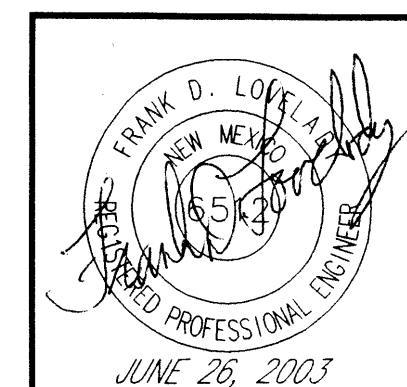
CALCULATION OF LANDSCAPING AREAS



CONCRETE RUNDOWN - PLAN VIEW
1/4" = 1' - 0"



CONCRETE RUNDOWN - C.L. ELEVATION VIEW
1/4" = 1' - 0"

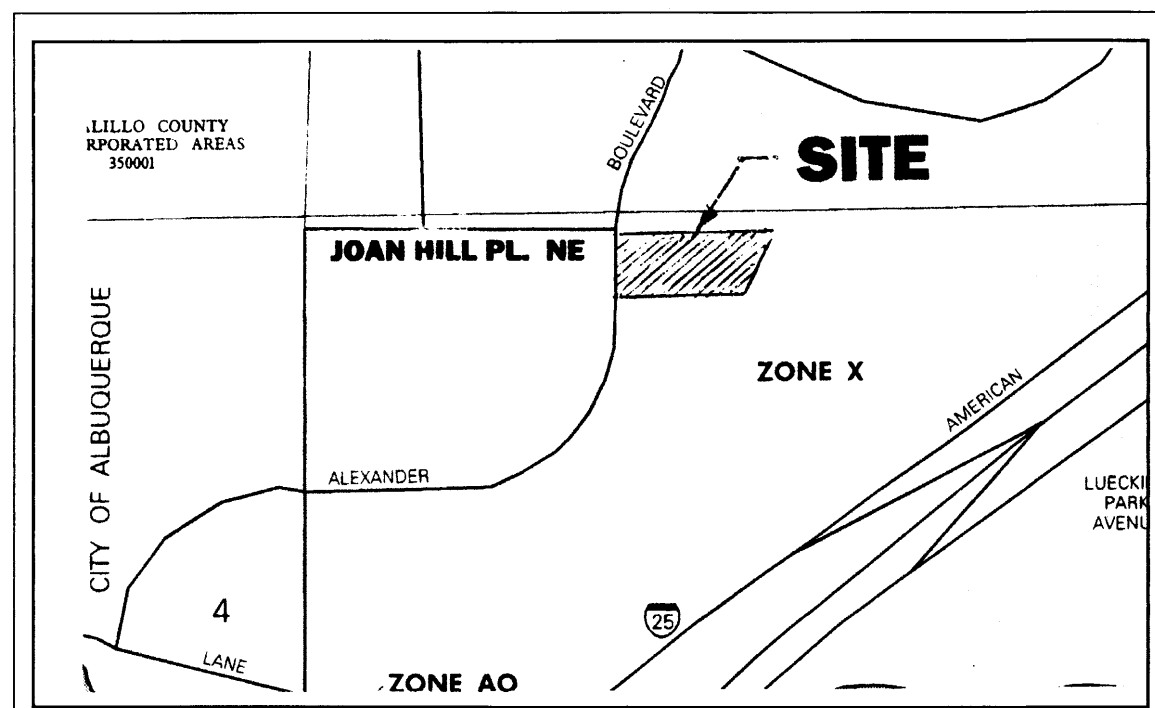


GRADING & DRAINAGE PLAN
Office & Warehouse Facility for the Odell Corporation
ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
259-8458 • 3808 SIMMS AVENUE SE • Albuquerque, NM • 87108

JOB NO:	649
DATE:	JUNE 26, 2003
REVISIONS	

SHEET NO.
C.2.2



FLOOD INSURANCE RATE MAP MAP NO. 35001C0138 D

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "1-25-20", HAVING AN ELEVATION OF 5079.46
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

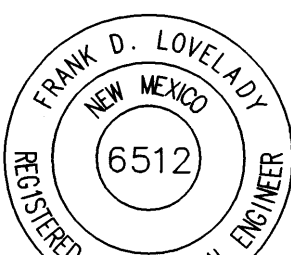
DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

I, FRANK D. LOVELADY, NMPE 6512, OF THE FIRM LOVELADY & ASSOC.

HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN

SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/08/03 THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Frank D. Lovelady
NMPE
12/08/03
DATE



LEGEND:

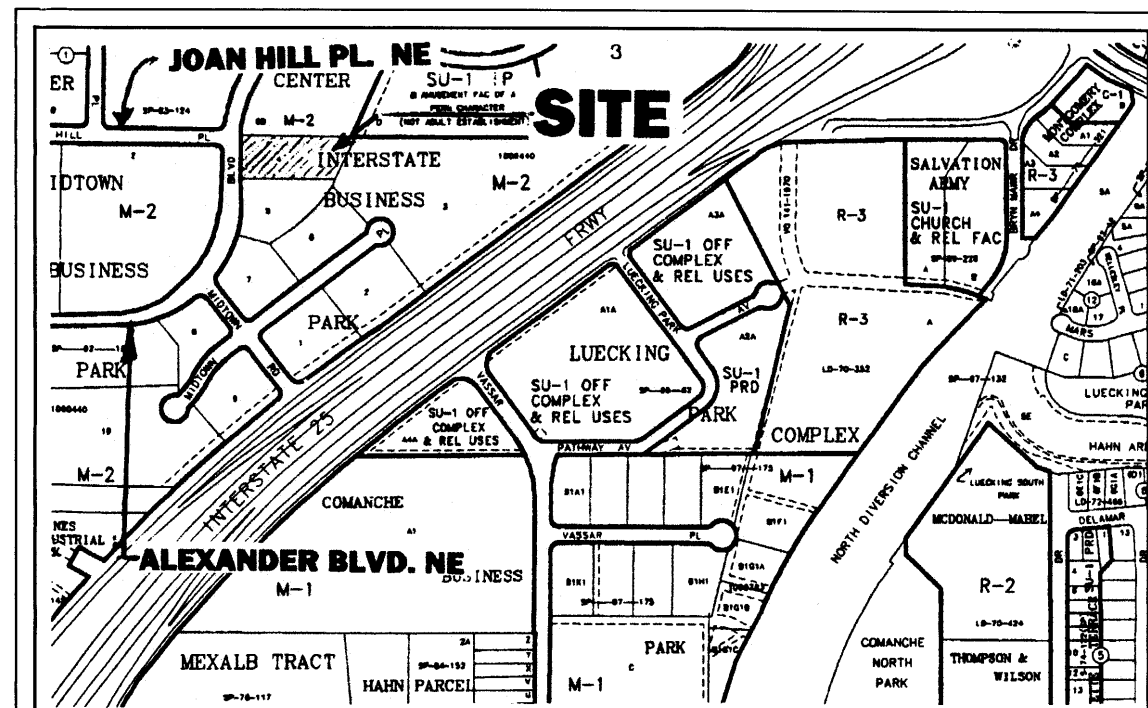
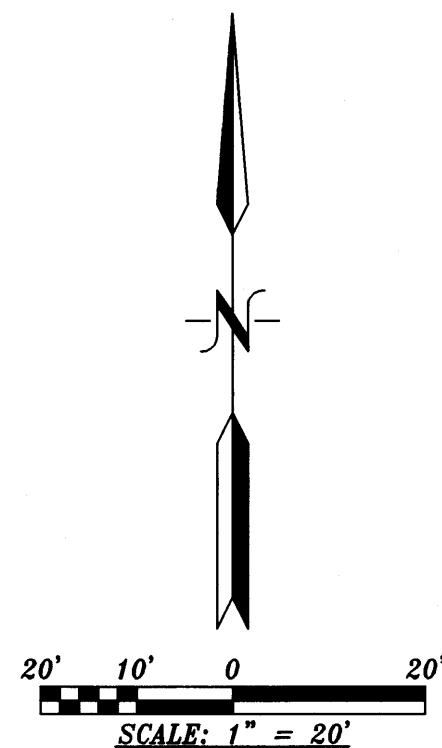
EXISTING	NEW	DESCRIPTION
— 4991 —	FL 47.04 (AB)	AS-BUILT SPOT ELEVATION
— 87.20 —	91	CONTOUR
— 87.20 —	89.00	SPOT ELEVATION
— 87.20 —	— 87.20 —	PROPERTY LINE
— 87.20 —	— 87.20 —	SWALE
— 87.20 —	— 87.20 —	SHEET FLOW
— 87.20 —	— 87.20 —	ROOF GUTTER
— 87.20 —	— 87.20 —	DOWNSPOUT

LEGEND

BOC	=	BACK OF CURB
DC	=	DRIVECUT
EA	=	EDGE OF ASPHALT
EC	=	EDGE OF CONCRETE
EOW	=	EDGE OF WALL
FL	=	FLOW LINE
G	=	GROUND

KEYED NOTES:

1. DRAINAGE ORIFICE. PLACE THREE (3) BLOCKS WITH HOLES HORIZ.
2. PAVE TEN-FOOT-WIDE STRIP BETWEEN DRAINAGE OUTLET AND CHANNEL.
3. GUTTERS AND DOWNSPOUTS AS REQUIRED ALONG NORTH & SOUTH WALLS.
4. SEE CALCULATIONS. FIELD INVESTIGATION SHOWED THAT FLOW FROM SOUTH IS DIVERTED TO ALEXANDER BLVD.
5. CONCRETE BLOCK WALL. NOT ON ORIGINAL SUBMITTAL.

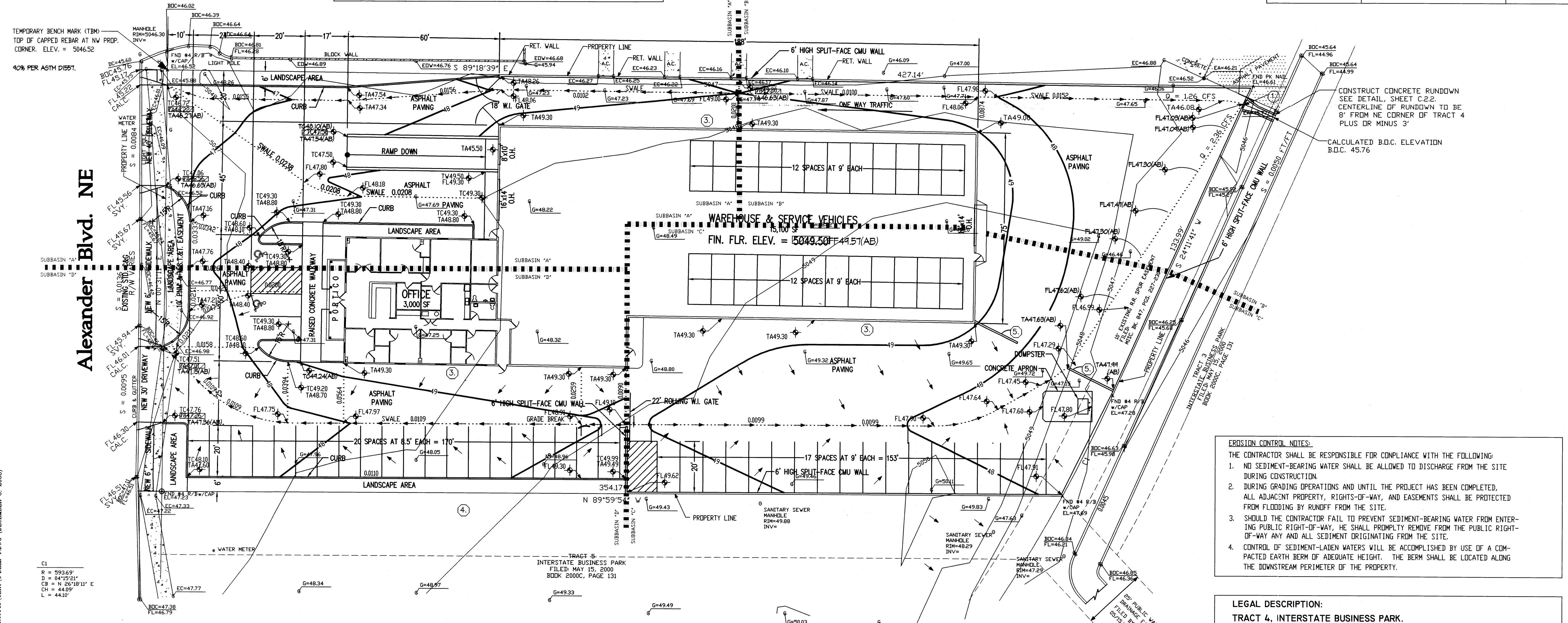


VICINITY MAP ZONE ATLAS NO. G-16-Z

CITY OF ALBUQUERQUE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.O. 19) NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 260-1990, FOR LOCATION FOR EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL FOR POC RUNDOWN	NAME	DATE
INSPECTOR:		



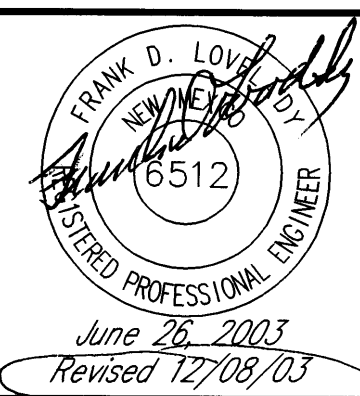
EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:

TRACT 4, INTERSTATE BUSINESS PARK.

C1
R = 593.69'
D = 847.9241'
CB = N 86°18'11" E
CH = 44.09'
L = 44.10'

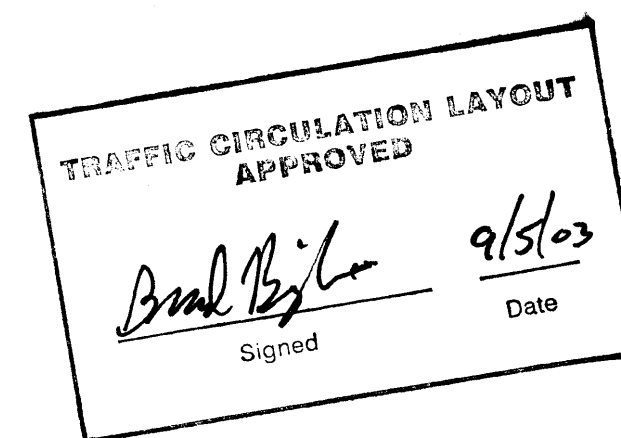
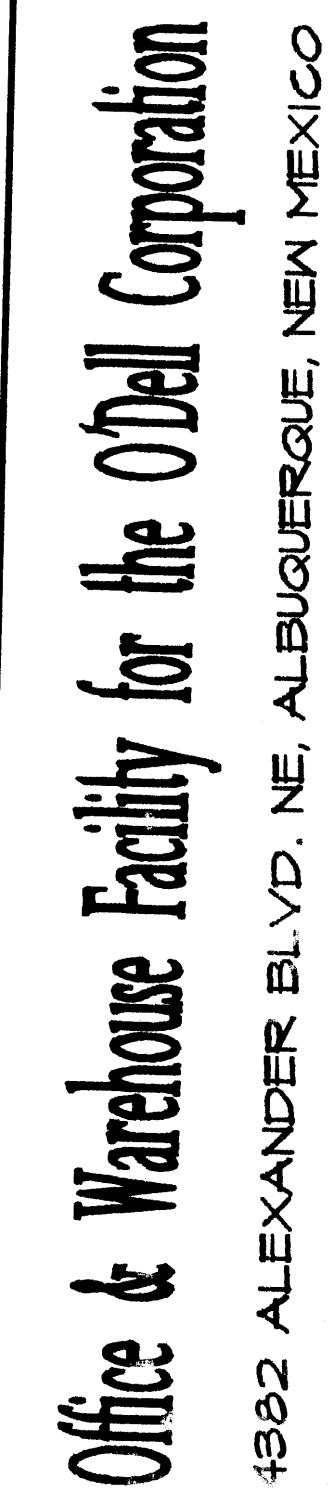


CERTIFIED GRADING & DRAINAGE PLAN
Office & Warehouse Facility for the Obell Corporation
ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
259-8458 • 3808 SIMMS AVENUE SE • Albuquerque, NM • 87108

JOB NO:	649
DATE:	JUNE 26, 2003
REVISIONS	
1. CERT.	

SHEET NO.
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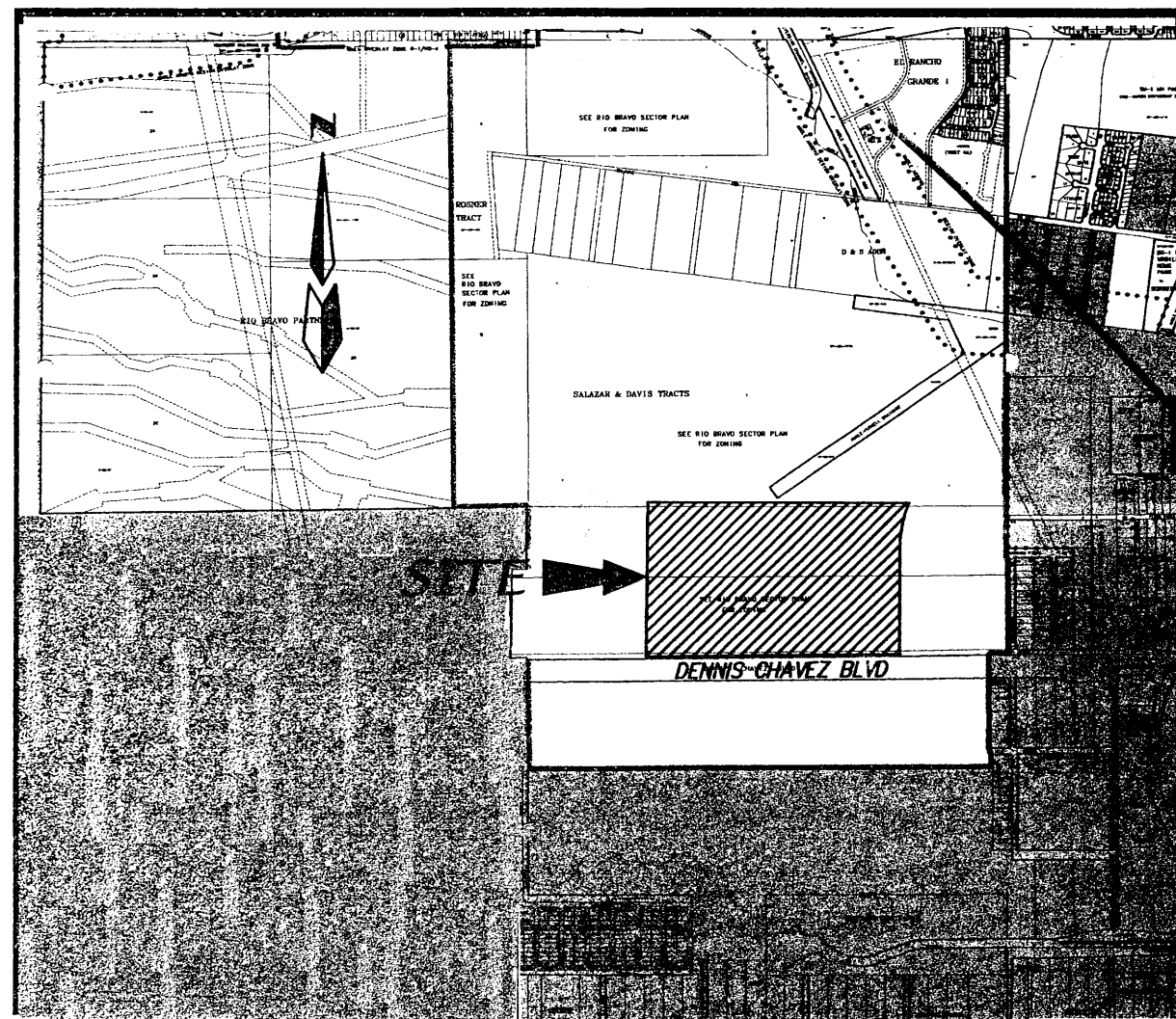


RECEIVED
AUG 29 2003
HYDROLOGY SECTION

KEN HOVEY, ARCHITECT

JOB NO:	0304
DATE:	28 AUGUST 2003
REVISIONS	

C.1



ZONE ATLAS: N-9-Z & P-9-Z

SUBDIVISION DATA

GROSS ACREAGE 106.6910 AC
ZONE ATLAS NO. N-9-Z P-9-Z
NO. OF LOTS CREATED - UNIT 1 99 LOTS
NO. OF LOTS CREATED - UNIT 3A 134 LOTS
NO. OF TRACTS CREATED 9 TRACTS
NO. OF PARCELS CREATED 2 PARCELS
AREA DEDICATED TO CITY 18.00 AC±
PARK DEDICATION 2.5630 AC
ZONING RLT
DATE OF SURVEY OCTOBER 2002

SITE BENCHMARK

ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

PRELIMINARY PLAT
THE MEADOWS AT ANDERSON HILLS
UNITS 1 AND 3A
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 8, 9 & 10
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "ALS LS 7719" (TYP.).
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#7719"
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. TRACTS A THRU L SHALL BE A PUBLIC PEDESTRIAN ACCESS & LANDSCAPE EASEMENT AND DEEDED TO THE HOME OWNERS ASSOCIATION
8. TRACT M IS RESERVED AS AN ARCHEOLOGICAL SITE TO BE DEEDED TO THE CITY OF ALBUQUERQUE.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 8, 9, and 10, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACTS C THRU F, ARROWOOD RANCH DEVELOPMENT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 2002 in Book 2002C, Page 390 all of Tracts 12 thru 14 Town of Atrisco Grant (unplatted), North 1/2 of Tract 11 Town of Atrisco Grant (unplatted) and Land of Cora Florence Tract 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 08, 1973 in Book 7, Page 135 and containing 106.6910 acres more or less.

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

OWNERS

ANDERSON HILLS, LLC
PO BOX 12317
ALBUQUERQUE, N.M. 87195
(505) 822-5562

SURVEYOR

ALDRICH LAND SURVEYING
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190
(505) 884-1990

REX WILSON
Managing Member, Anderson Hills, LLC

APPROVED FOR MONUMENTATION AND STREET NAMES

City Surveyor City of Albuquerque, N.M. 8-19-03
Date

EXISTING CONDITIONS:

The site is located on Tract 4, Interstate Business Park. North of the site is a developed warehouse facility. West of the site is Alexander Blvd. NE, which is paved with standard curb and gutter. South of the site is the undeveloped Tract 5, Interstate Business Park. East of the site is another undeveloped property, Tract 3, Interstate Business Park. This tract has an existing concrete drainage channel parallel with the property line between Tract 3 and Tract 4. The drainage channel is approximately 12' East of the property line and has bottom width of approximately 9.6'. The channel connects the cul de sac in Midtown Place to Desert Surf Circle. All runoff from the site flows to the Renaissance Center detention pond.

PROPOSED CONDITIONS:

It is proposed to construct an office/warehouse facility on the site as shown. It is proposed to drain the site to Alexander Blvd, through the driveways. To minimize the amount of fill required to drain the entire site to Alexander Blvd., it is proposed to drain the rear portion of the site to the existing drainage channel via ground level openings at the base of the proposed split face concrete block wall.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	100-yr. 10-yr. 100-yr. 10-yr.	E (in)	Existing Site Areas	Developed Site Areas
			% Sq. Ft. Acres	% Sq. Ft. Acres
A	1.56 0.38 0.53 0.13	0.0	0 0.0000	0.0 0 0.0000
B	2.28 0.95 0.78 0.28	0.0	0 0.0000	4.9 3,185 0.0731
C	3.14 1.71 1.13 0.52	100.0	64,403 1.4785	0.0 0 0.0000
D	4.70 3.14 2.12 1.34	0.0	0 0.0000	95.1 61,218 1.4054
Totals			100.0 64,403 1.4785	100.0 64,403 1.4785

PEAK DISCHARGE:

EXISTING CONDITIONS:
Q100 = 1.4785 * 3.14 = 4.64 cfs
Q10 = 1.4785 * 1.71 = 2.53 cfs

DEVELOPED CONDITIONS:
Q100 = 0.0731 * 2.28 + 1.4054 * 4.70 = 6.77 cfs
Q10 = 0.0731 * 0.95 + 1.4054 * 3.14 = 4.48 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:
V100 = (64,403 * 1.13) / 12 = 6,065 cf
V10 = (64,403 * 0.52) / 12 = 2,791 cf

DEVELOPED CONDITIONS:
V100 = (3,185 * 0.78 + 61,218 * 2.12) / 12 = 11,022 cf
V10 = (3,185 * 0.28 + 61,218 * 1.34) / 12 = 6,910 cf

SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	11,022	6,910	6.77	4.48
EXISTING	6,065	2,791	4.64	2.53
INCREASE	4,957	4,119	2.13	1.95

DRAINAGE SUBBASINS:

SUBBASIN 'A' 16,292 SF
SUBBASIN 'B' 11,637 SF
SUBBASIN 'C' 21,890 SF
SUBBASIN 'D' 14,584 SF
TOTAL AREA 64,403 SF

SUBBASIN 'A' AREA = 16,292 SF (0.3740 AC); TREAT. 'B' = 1,522 SF (0.0349 AC)
TREAT. 'D' = 14,770 SF (0.3391 AC)

PEAK DISCHARGE:

Q100 = 0.0349 * 2.28 + 0.3391 * 4.70 = 1.67 cfs
Q10 = 0.0349 * 0.95 + 0.3391 * 3.14 = 1.10 cfs

SUBBASIN 'B' AREA = 11,637 SF (0.2671 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.2671 * 4.70 = 1.26 cfs
Q10 = 0.2671 * 3.14 = 0.84 cfs

SUBBASIN 'C' AREA = 21,890 SF (0.5025 ACRE) ALL TREAT. 'D'.

PEAK DISCHARGE:

Q100 = 0.5025 * 4.70 = 2.36 cfs
Q10 = 0.5025 * 3.14 = 1.58 cfs

SUBBASIN 'D' AREA = 14,584 SF (0.3348 AC); TREAT. 'B' = 1,663 SF (0.0382 AC)
TREAT. 'D' = 12,921 SF (0.2966 AC)

PEAK DISCHARGE:

Q100 = 0.0382 * 2.28 + 0.2966 * 4.70 = 1.48 cfs
Q10 = 0.0382 * 0.95 + 0.2966 * 3.14 = 0.97 cfs

SUMMARY OF SUBBASIN QUANTITIES:

SUBBASIN	Q100	Q10
A	1.67	1.10
B	1.26	0.84
C	2.36	1.58
D	1.48	0.97
TOTAL	6.77	4.48

DRAINAGE CALCULATIONS:

CAPACITY OF DISCHARGE POINTS:

COMBINE SUBBASINS 'B' AND 'C' AND USE ONLY ONE DISCHARGE POINT.

COMBINED DESIGN Q = 1.26 CFS + 2.36 CFS = 3.62 CFS

USE ORIFICE EQ. $Q = CA (2GH)^{1/2}$

OPENING AREA IN 8" BLOCK 5-1/4 LONG X 4-3/4 HIGH = 24.94 SQ. IN.

TWO OPENINGS PER BLOCK 49.88 SQ. IN. (0.3464 SF)

DEPTH OF HORIZONTAL CENTERLINE OF OPENINGS = (4.75 / 2) = 2.375 IN (0.20 FT)

DEPTH OF PONDING AT OUTLET - USE 9" DEPTH. $H = 0.75 - 0.20 = 0.55'$

CAPACITY PER BLOCK $Q = 0.6 \times 0.3464 (2 \times 32.2 \times 0.55)^{1/2} = 1.26 \text{ CFS}$

USE THREE BLOCKS. CAPACITY = 1.26 X 3 = 3.78 CFS > 3.62 CFS

OFF-SITE FLOW:

THERE IS NO OFF-SITE FLOW EXCEPT FOR A SMALL AREA ALONG THE SOUTH

PROPERTY LINE WHICH APPEARS TO POSSIBLY FLOW INTO THE LANDSCAPE

THE SURVEY IS NOT SUFFICIENTLY DETAILED TO ACCURATELY CALCULATE

OFF-SITE FLOW QUANTITIES. HOWEVER, THIS FLOW IS ACCEPTED INTO THE LANDSCAPING AREA.

A FIELD INVESTIGATION WAS MADE ON JUNE 17, 2003 TO DETERMINE THE EXTENT OF THE OFF-SITE FLOW AREA. IT APPEARS THAT THE OFF-SITE FLOW INDICATED BY THE CONTOURS ON THE PLAN IS ACTUALLY INTERCEPTED BY AN EXISTING SWALE THAT WAS CREATED WHEN THE SANITARY SEWER WAS CONSTRUCTED. THIS SWALE WOULD APPEAR TO DIRECT ANY FLOW FROM THIS AREA INTO ALEXANDER BOULEVARD BEFORE IT REACHES THE SITE.

CAPACITY OF CONCRETE RUNDOWNS INTO EXISTING CONCRETE CHANNEL:

USE MANNING'S EQUATION, $Q = A (1.486/N) (R^{2/3}) (S^{1/2})$

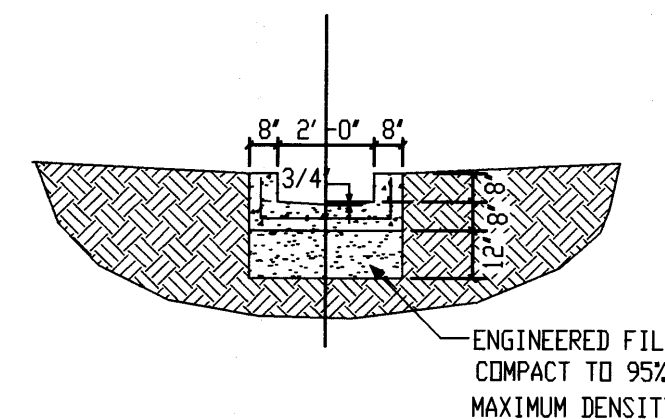
CHANNEL IS 2' WIDE. ASSUME 6" DEEP. $a = 0.5 \times 2 = 1.0$

$P = 2 \times 0.5 + 2.0 = 3.00'$ $R = A/P = (1.00 / 3.00) = 0.3333333$

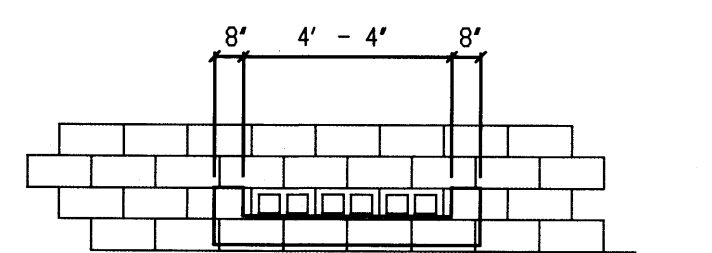
$S = 0.0100 \text{ FT/FT}$ $N = 0.015 \text{ (CONCRETE)}$

$Q = (1.00) (1.486 / 0.015) (0.33333)^{2/3} (0.0100)^{1/2} = 4.76 \text{ CFS}$

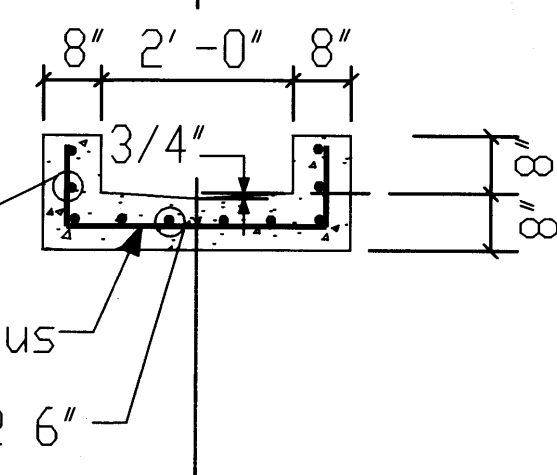
4.76 CFS > 3.62 CFS (ADEQUATE)



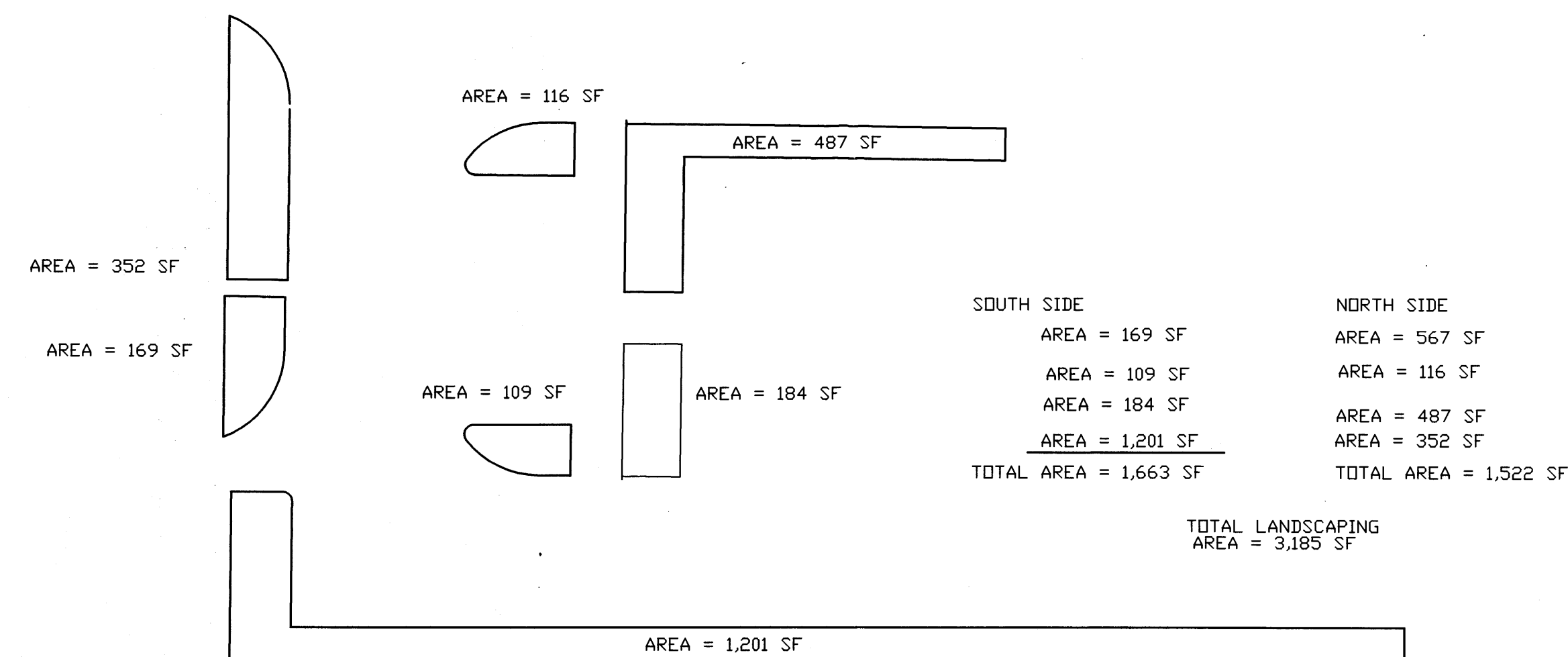
SECTION A-A
1/4" = 1' - 0"



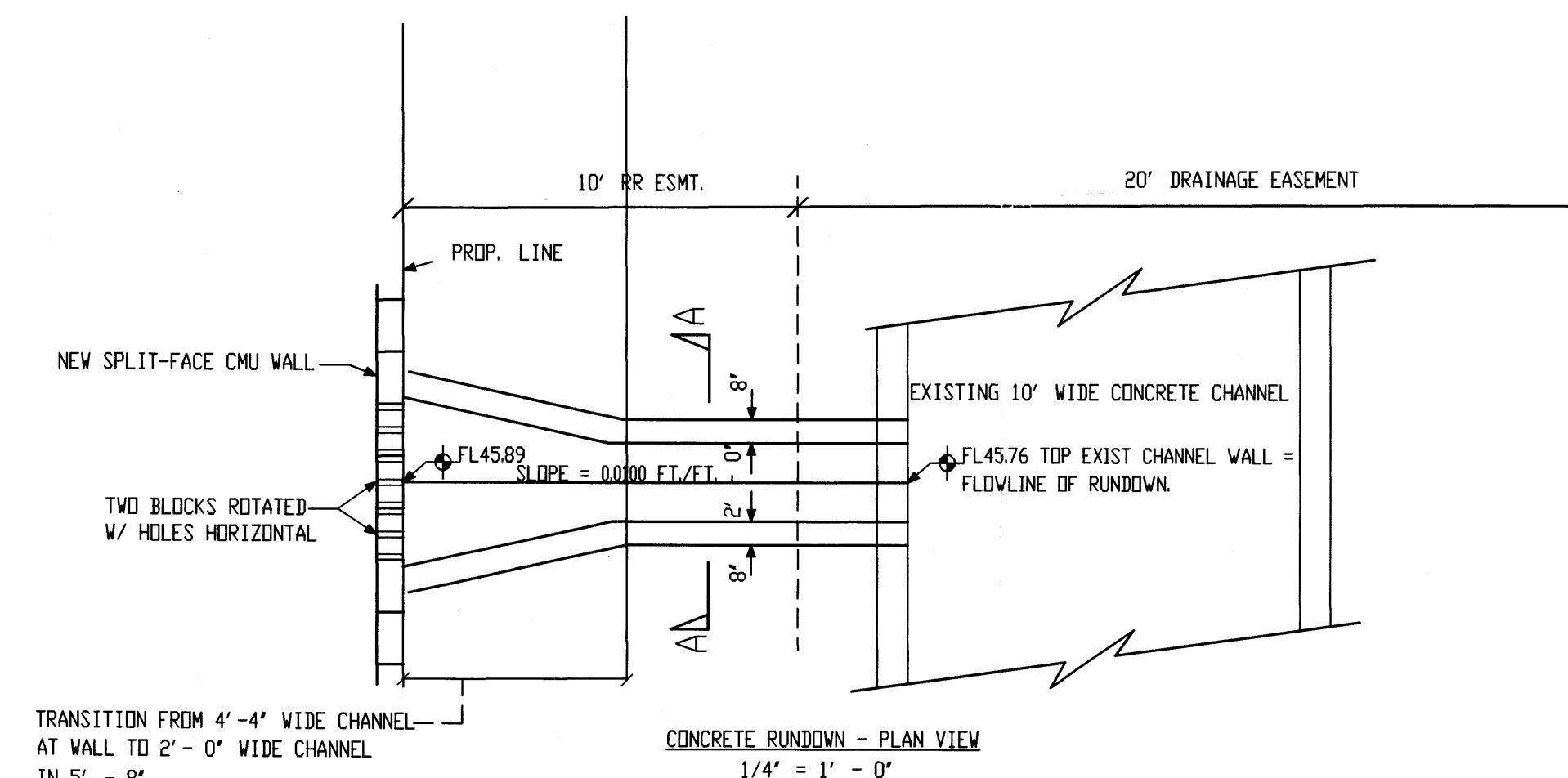
SECTION A-A @ BLOCK WALL
1/4" = 1' - 0"



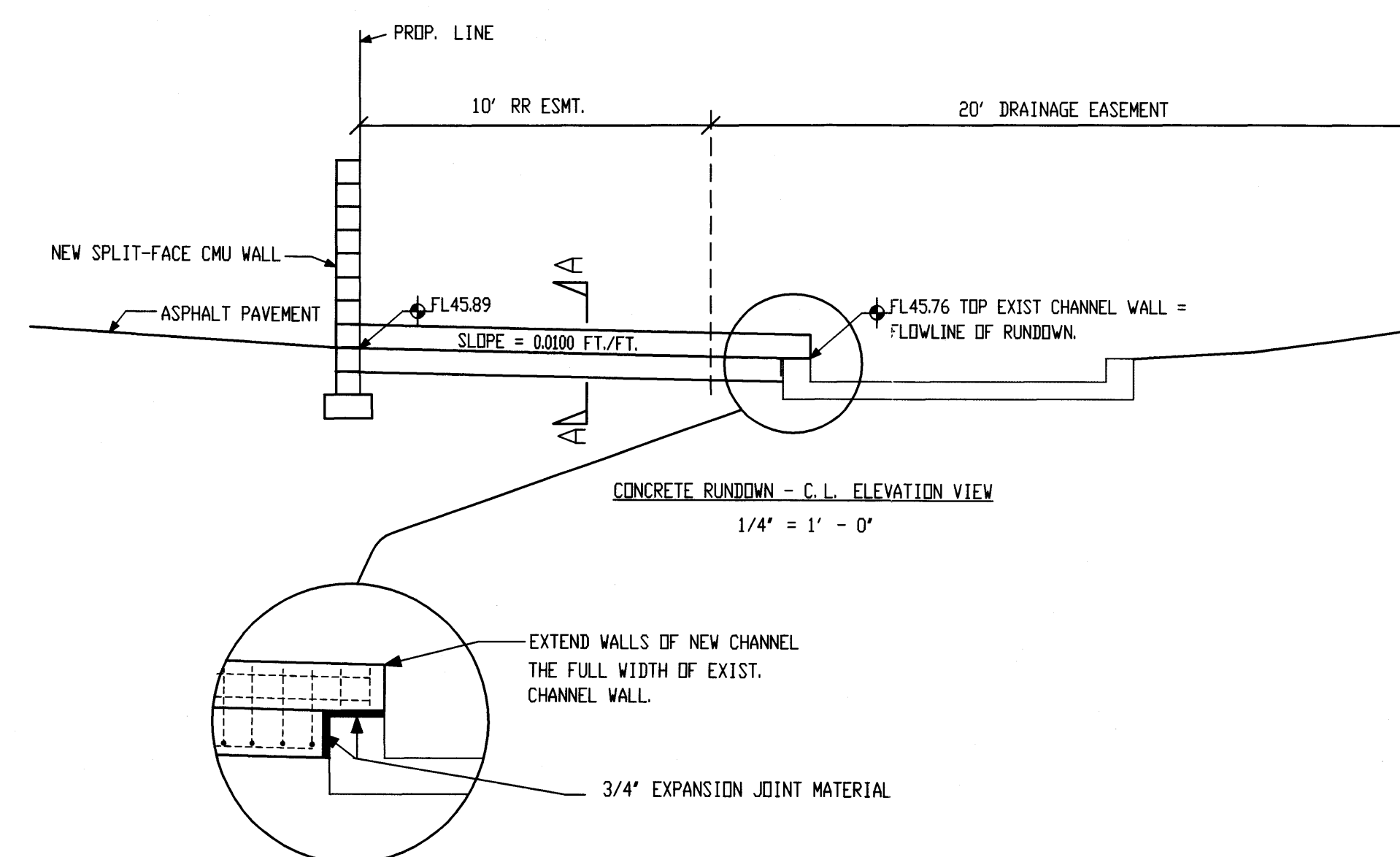
REINFORCING DETAIL
1/2" = 1' - 0"



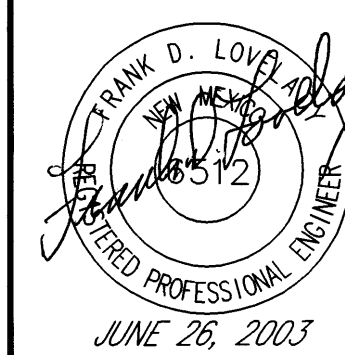
CALCULATION OF LANDSCAPING AREAS



CONCRETE RUNDOWN - PLAN VIEW
1/4" = 1' - 0"



CONCRETE RUNDOWN - C.L. ELEVATION VIEW
1/4" = 1' - 0"

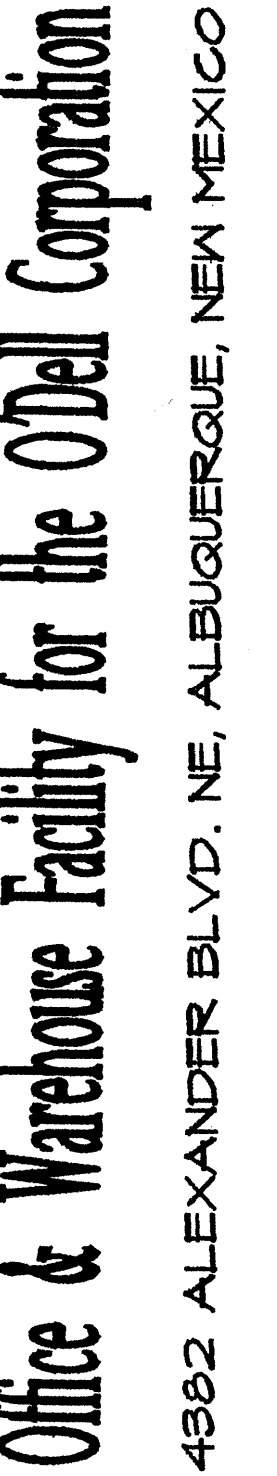


CERTIFIED DRAINAGE CALCULATIONS
Office & Warehouse Facility for the O'Dell Corporation
ALEXANDER BLVD. NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
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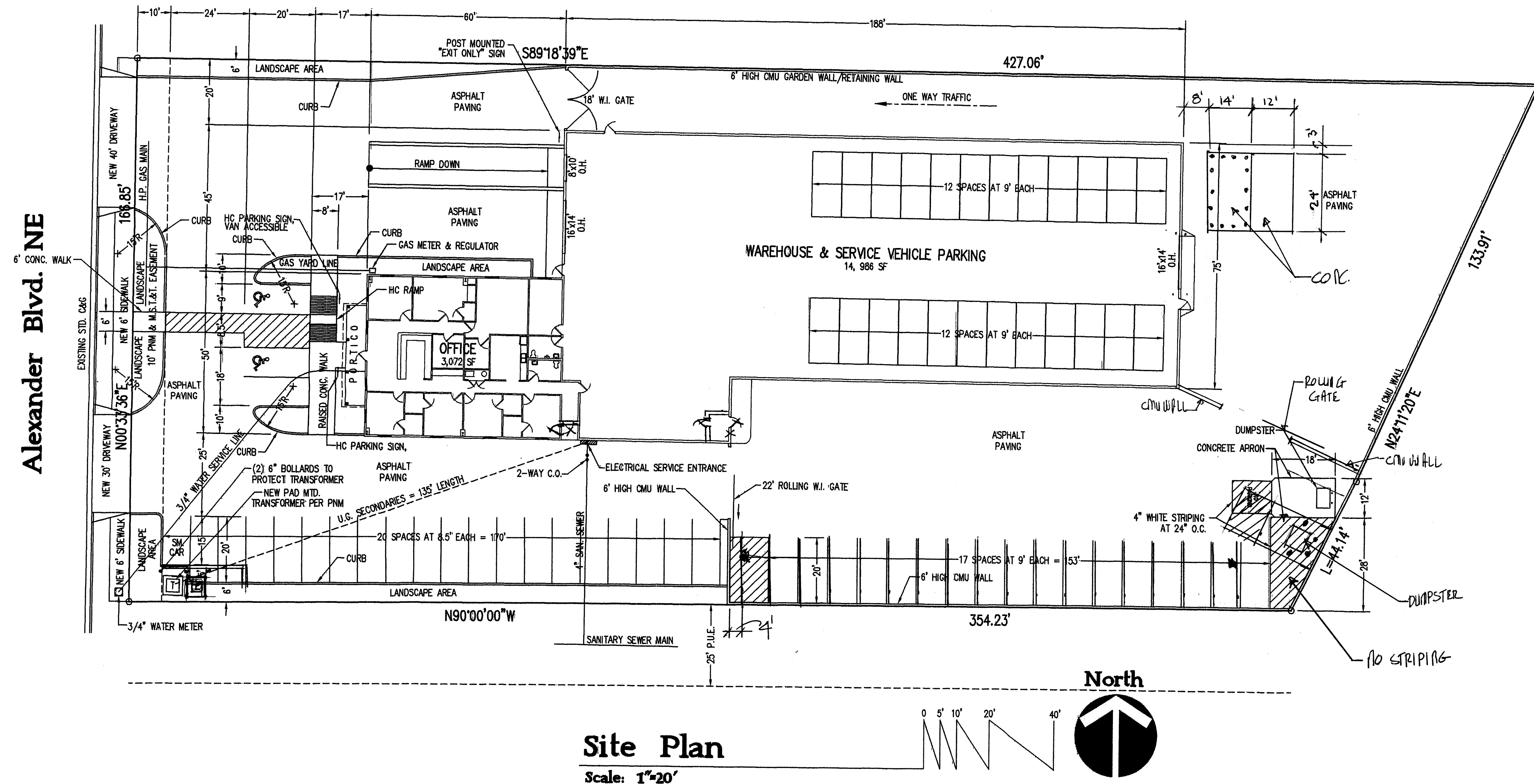


KEH HOVEY, ARCHITECT

 (505) 251-8458 • 3808 51MM5 AVENUE SE • ALEXANDERQUE, NM • 87708

OBJ NO:	0304
DATE:	28 AUGUST 2003
REVISIONS	

C.1



Legal Description

TRACT 4,
INTERSTATE BUSINESS PARK,
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY,
NEW MEXICO

Design Criteria:

ZONE ATLAS MAP: C-16
ZONING: M-2
BUILDING CODE: UBC, 1997 EDITION
TYPE OF OCCUPANCY:
OFFICE: GROUP B
WAREHOUSE: GROUP S, DIVISION 1
SERVICE VEHICLE PARKING: GROUP S, DIVISION 3
TYPE OF CONSTRUCTION: II-N (NON-COMBUSTIBLE)
FIRE SPRINKLERED: NO

UBC BUILDING AREAS:

OFFICE:	3,072 SQ. FT.
WAREHOUSE/SERVICE VEHICLE PARKING:	14,986 SQ. FT.
TOTAL FLOOR AREA:	18,058 SQ. FT.

ALLOWABLE FLOOR AREA: 12,000 SQ. FT.

ALLOWABLE AREA INCREASE:
BASED ON SEPARATION ON THREE SIDES, THE AREA MAY BE INCREASED
BY 2-1/2 PERCENT FOR EACH FOOT BY WHICH THE MINIMUM WIDTH
EXCEEDS 20 FEET. THE MINIMUM WIDTH IS 51 FEET, THUS 31 FEET x
2-1/2 PERCENT = 77.5 PERCENT INCREASE TO 21,300 SQ. FT.

BUILDING AREAS BY USE TO CALCULATE PARKING REQUIRED:

OFFICE:	3,072 SQ. FT.
WAREHOUSE/SERVICE VEHICLE PARKING:	14,986 SQ. FT.

OFF-STREET PARKING REQUIRED:
OFFICE/200 + WAREHOUSE/2,000 =
3,072/200 + 14,986/2,000 = 23 SPACES

OFF-STREET PARKING PROVIDED: 23 SPACES (INCLUDES 2 HANDICAP SPACES)

TRAFFIC CIRCULATION LAYOUT
APPROVED

Bruce B. B. 7/31/07
Signed Date

Date _____
 RECEIVED
 AUG 29 2003
 HYDROLOGY SECTION
 RECEIVED
 AUG 29 2003
 HYDROLOGY SECTION

DB NO: 0304

DATE: 28 AUGUST 2003

DISCUSSION

AUG 29 2003

HYDROLOGY SECTION NO.