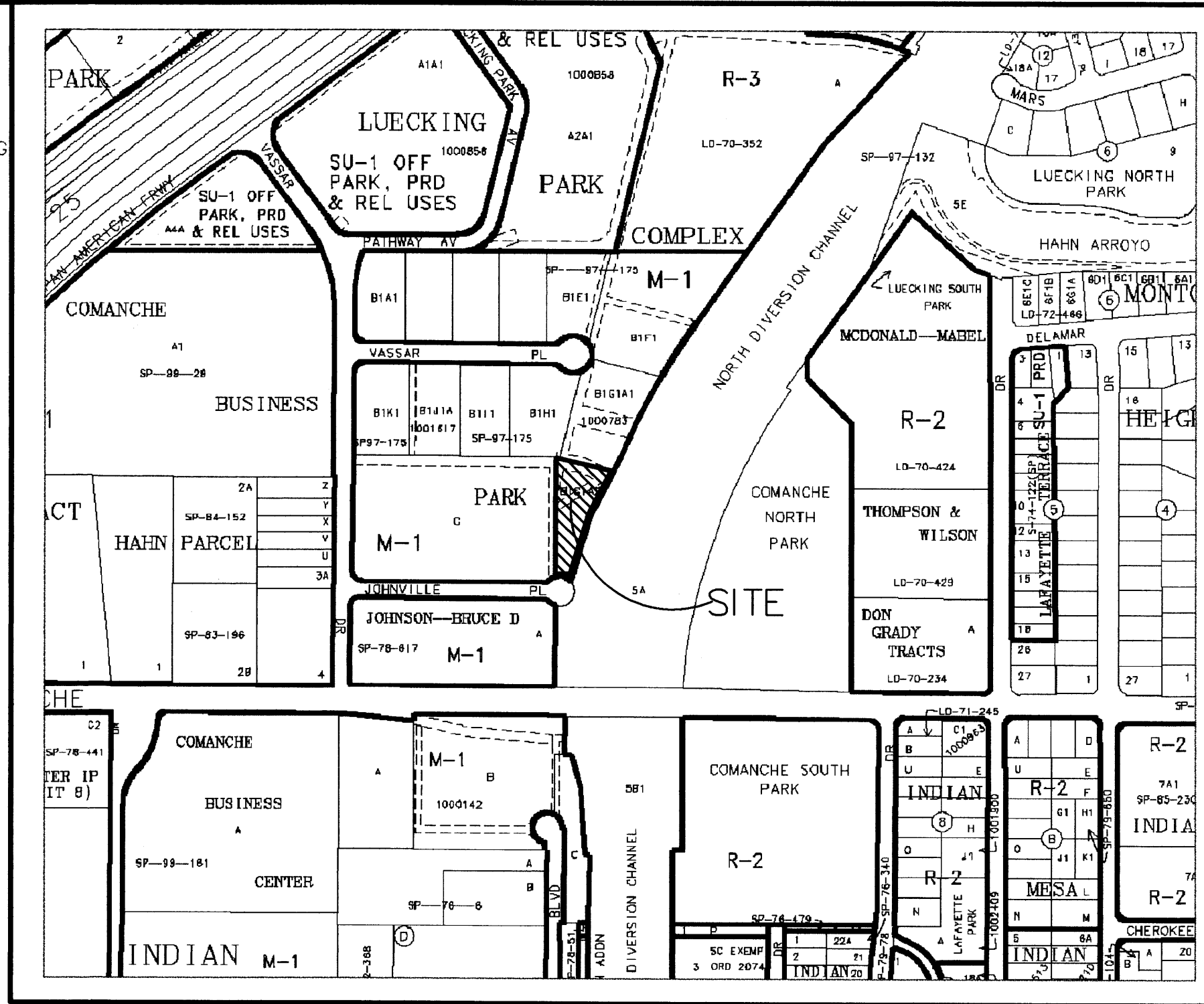
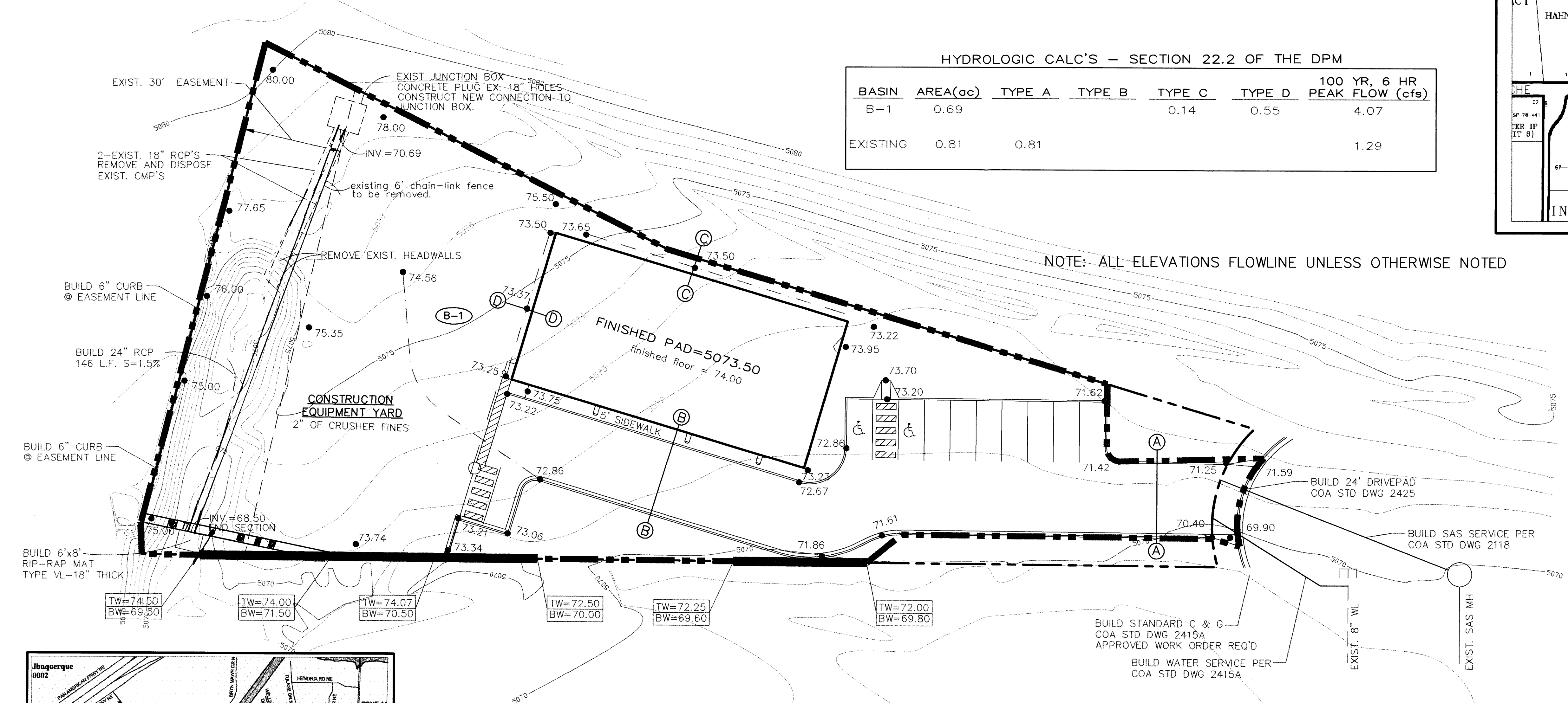


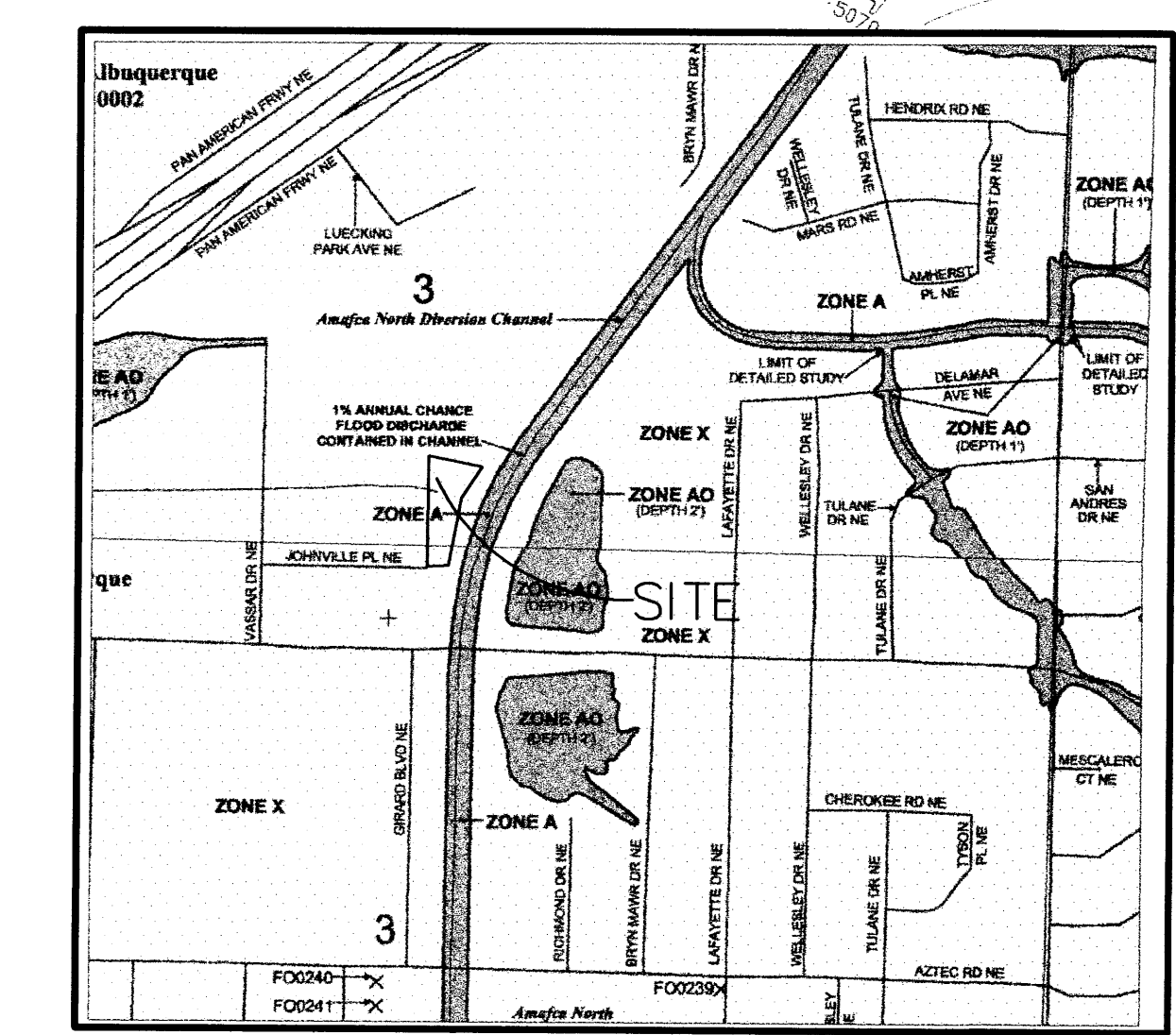
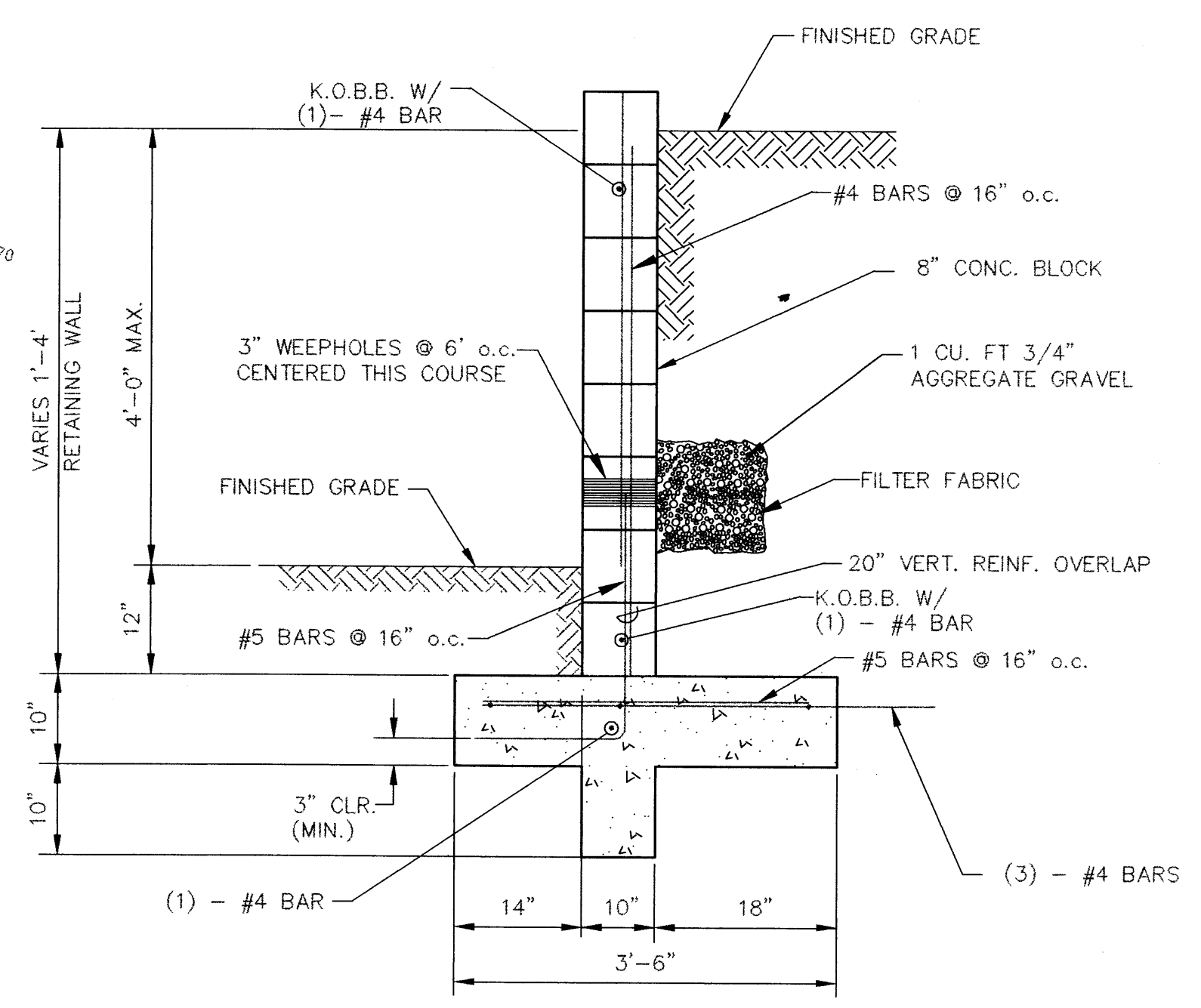
HYDROLOGIC CALC'S - SECTION 22.2 OF THE DPM

BASIN	AREA(ac)	TYPE A	TYPE B	TYPE C	TYPE D	100 YR. 6 HR PEAK FLOW (cfs)
B-1	0.69			0.14	0.55	4.07
EXISTING	0.81	0.81				1.29

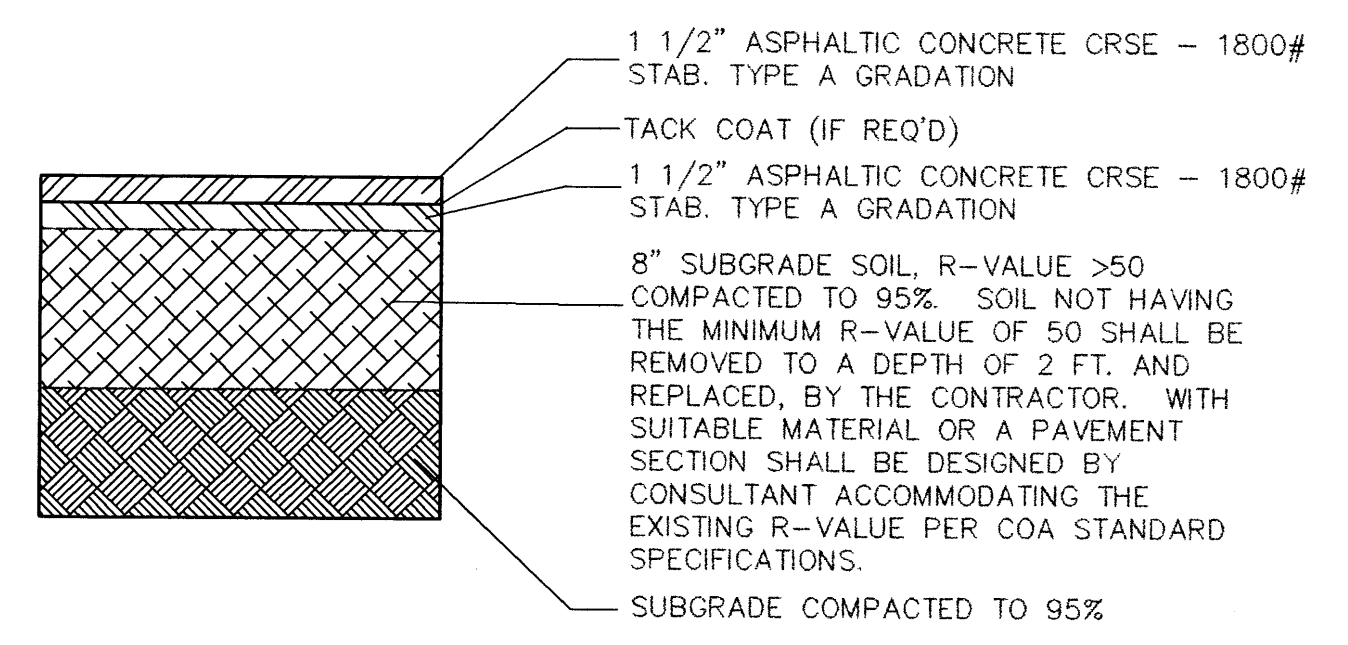


COA Vicinity Map no. G-16-Z

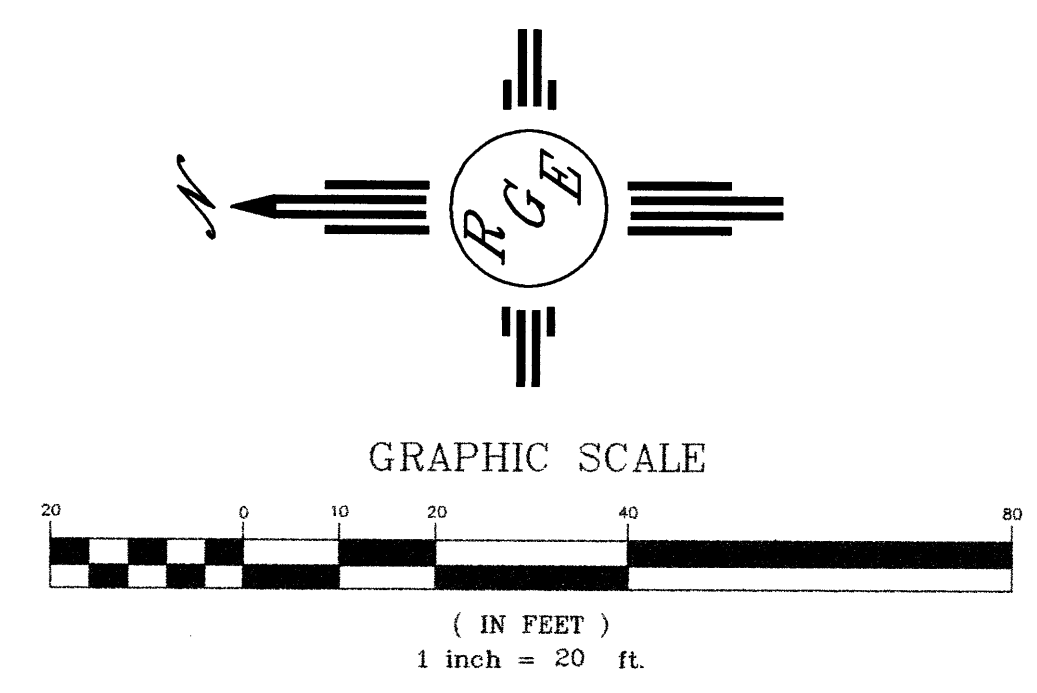
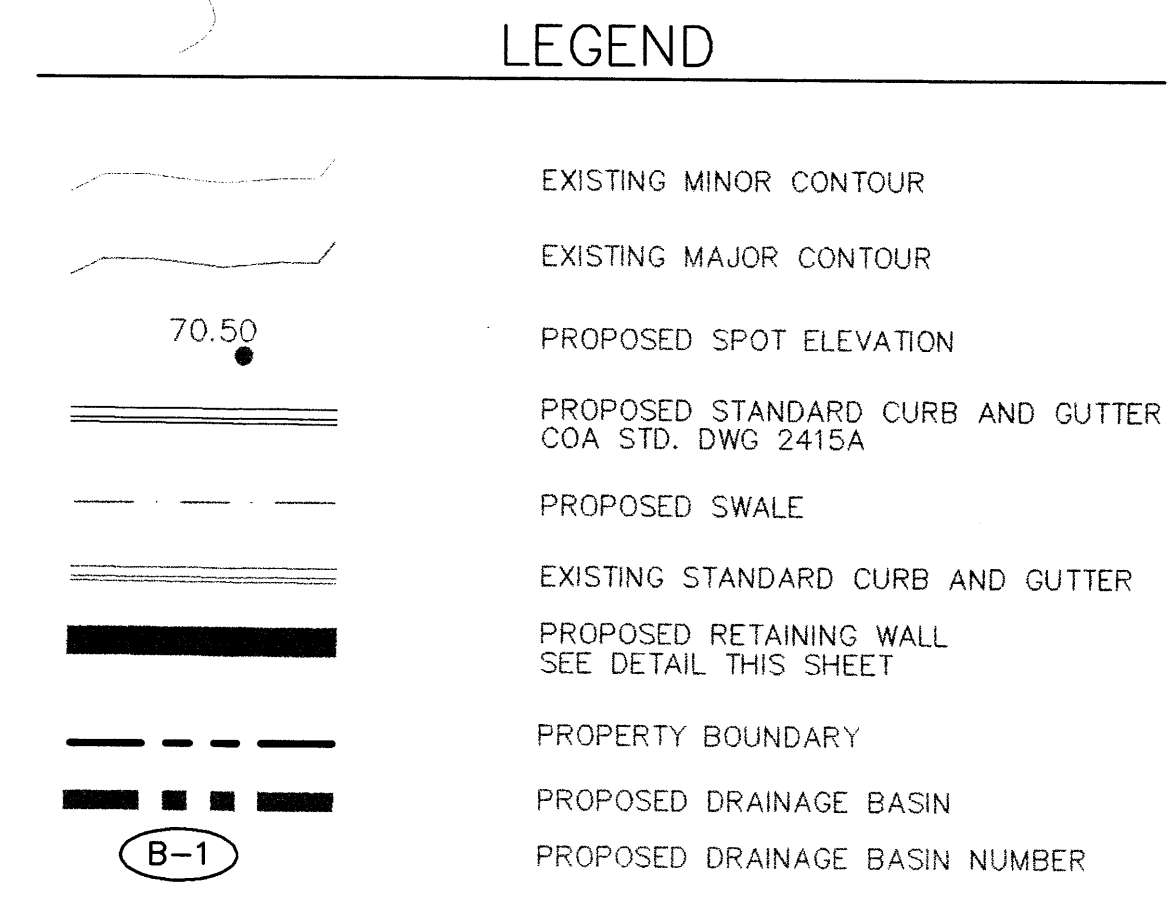
LEGAL DESCRIPTION
TRACT B-1, G-1, A-2 - COMANCHE BUSINESS PARK



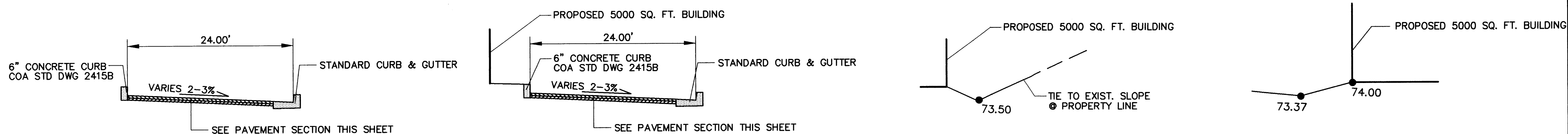
FLOOD INSURANCE RATE MAP



PAVEMENT SECTION
NTS

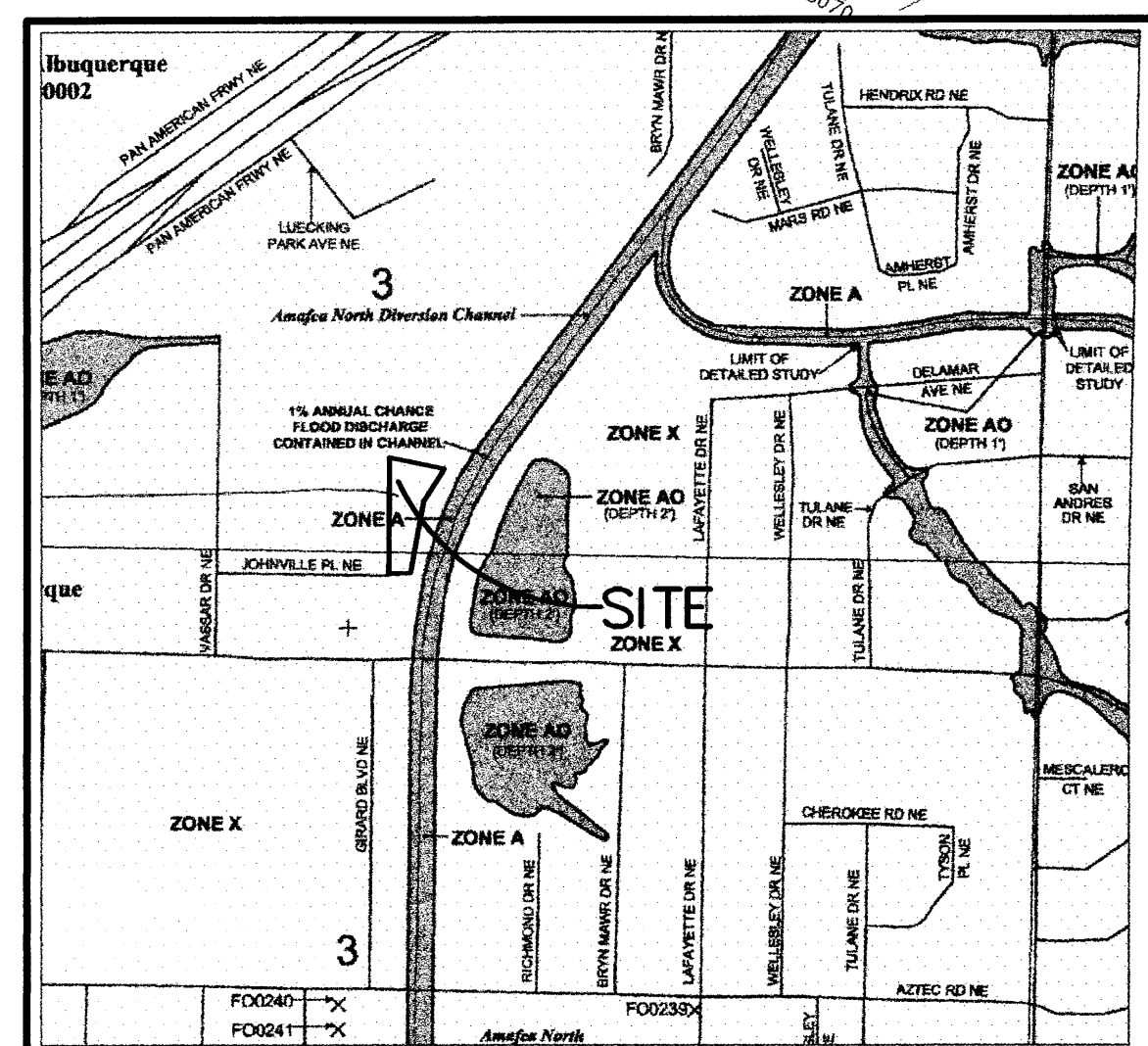
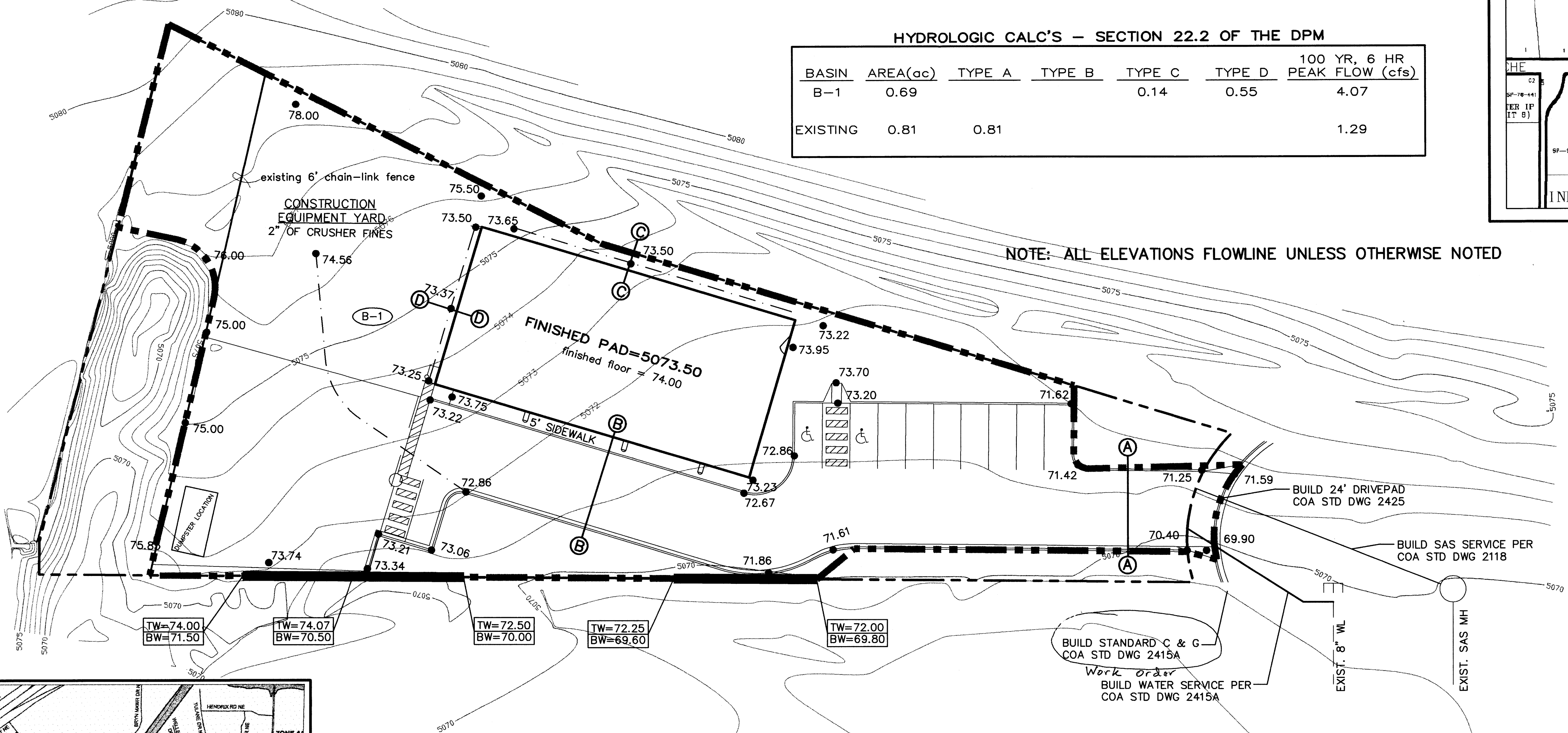


	NEW BUILDING FOR PYRAMID CONCRETE	DRAWN BY BLN
	GRADING & DRAINAGE PLAN	DATE 7-24-04
	<i>Rio Grande Engineering</i>	SHEET #
	3500 COMANCHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87107 (505) 872-0999	JOB 04-1-HTI



HYDROLOGIC CALC'S - SECTION 22.2 OF THE DPM

BASIN	AREA(ac)	TYPE A	TYPE B	TYPE C	TYPE D	100 YR. 6 HR. PEAK FLOW (cfs)
B-1	0.69			0.14	0.55	4.07
EXISTING	0.81	0.81				1.29



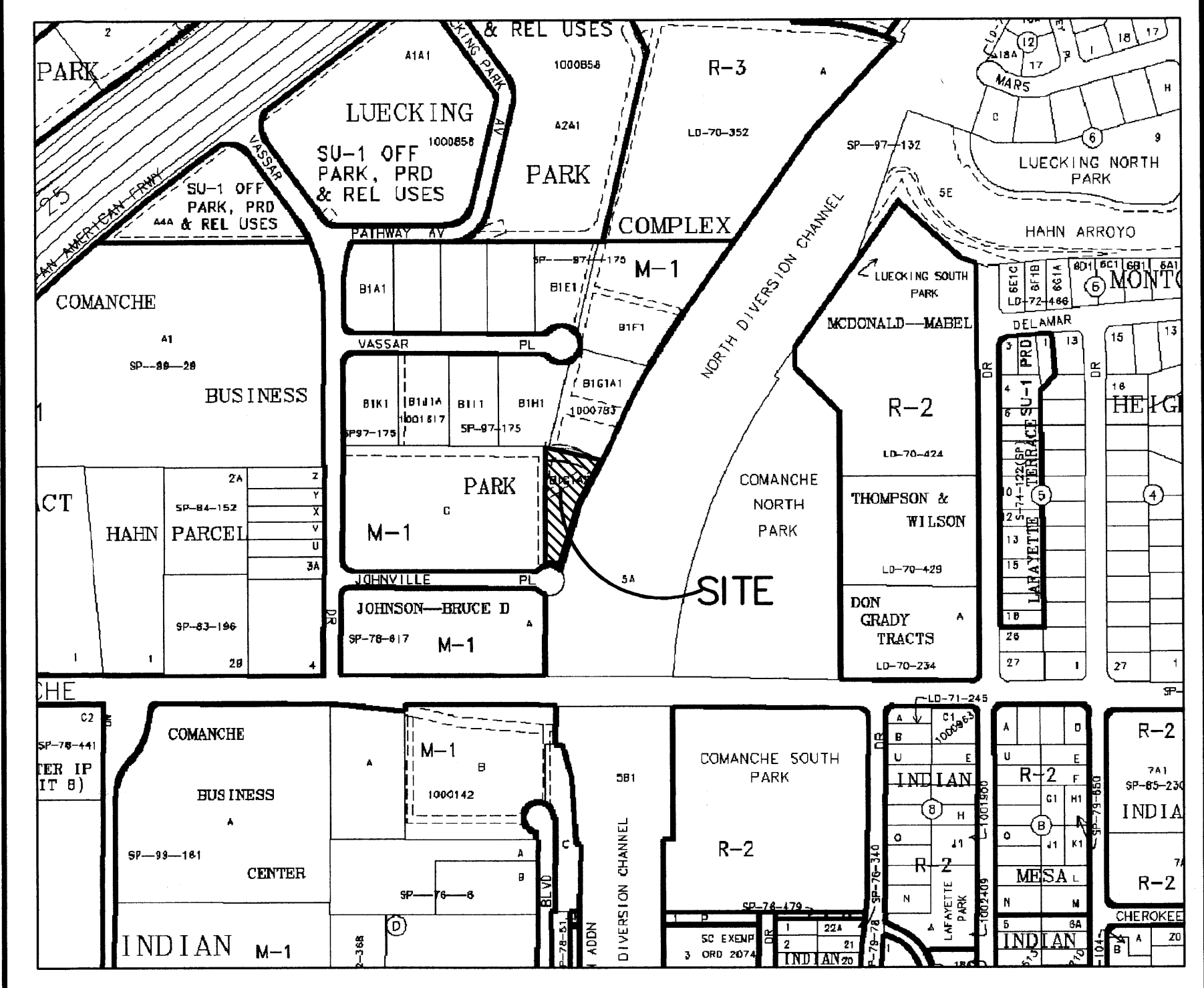
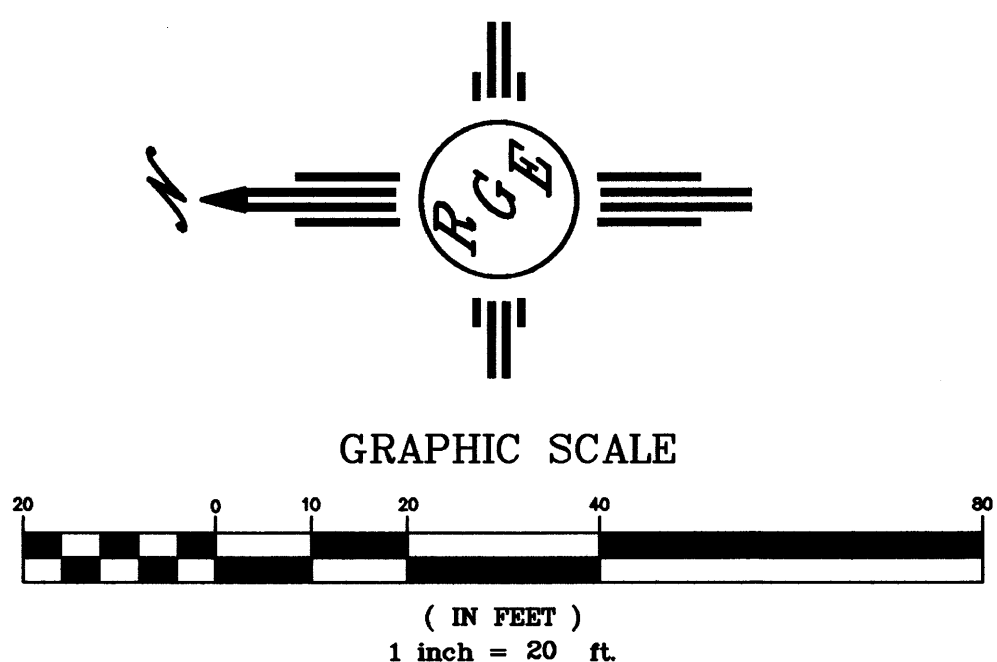
FLOOD INSURANCE RATE MAP

- 1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
TACK COAT (IF REQ'D)
1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
8" SUBGRADE SOIL, R-VALUE >50 COMPACTED TO 95%. SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FT. AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR A PAVEMENT SECTION SHALL BE DESIGNED BY CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.
SUBGRADE COMPACTED TO 95%

PAVEMENT SECTION
NTS

LEGEND

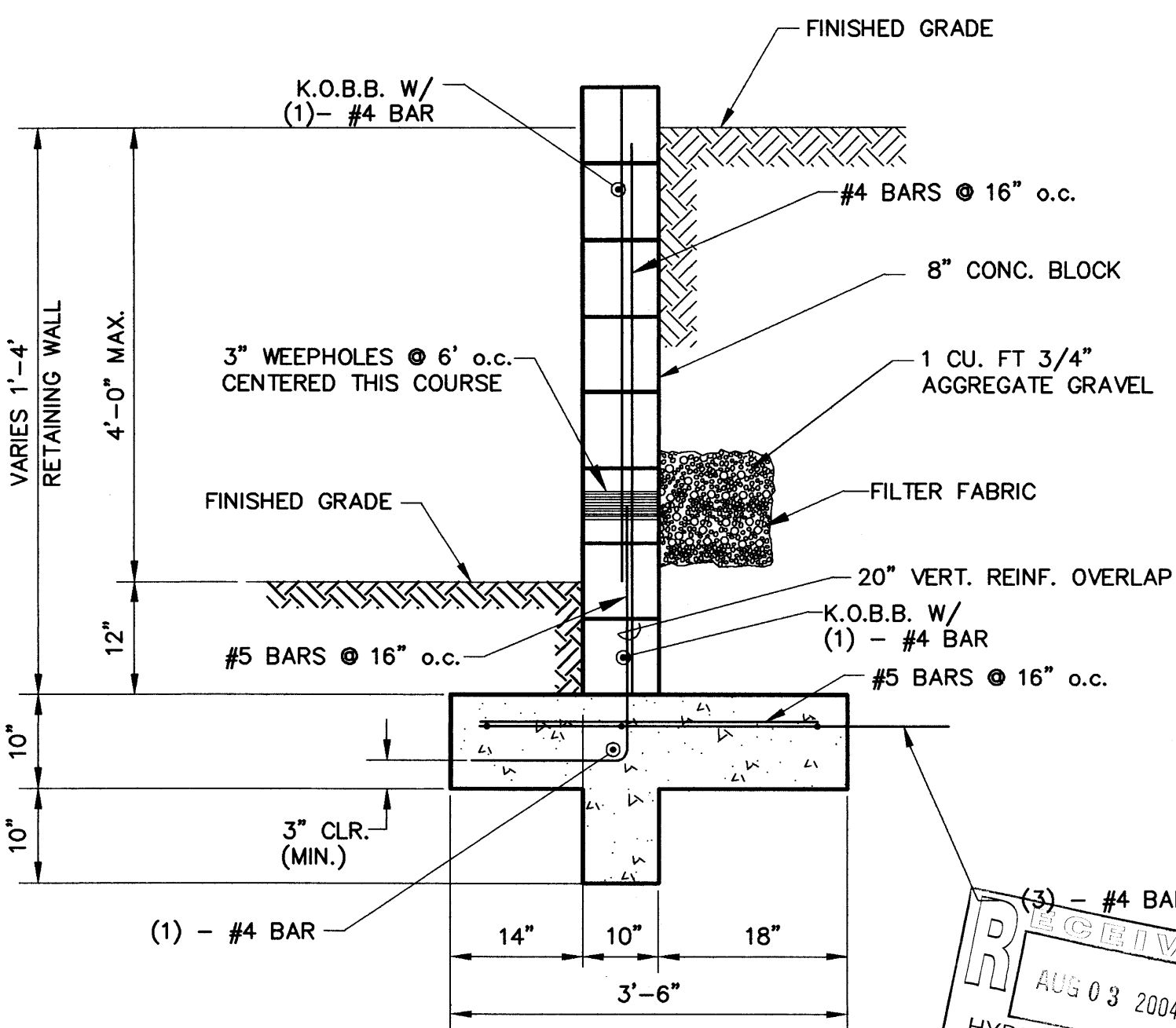
- EXISTING MINOR CONTOUR
EXISTING MAJOR CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED STANDARD CURB AND GUTTER COA STD. DWG 2415A
PROPOSED SWALE
EXISTING STANDARD CURB AND GUTTER
PROPOSED RETAINING WALL SEE DETAIL THIS SHEET
HATCHED AREA REPRESENTS LIMIT OF ASPHALT PAVING SEE PAVEMENT SECTION THIS SHEET
PROPERTY BOUNDARY
PROPOSED DRAINAGE BASIN
PROPOSED DRAINAGE BASIN NUMBER



COA Vicinity Map no. G-16-Z

LEGAL DESCRIPTION

TRACT B-1, G-1, A-2 - COMANCHE BUSINESS PARK



TYPICAL RETAINING WALL DETAIL
NOT TO SCALE

	2733 Johnville Place		DRAWN BY BLN
	NEW BUILDING FOR PYRAMID CONCRETE		DATE 7-24-04
	GRADING & DRAINAGE PLAN		BASE DWG
			SHEET #
DAVID SOULE P.E. #14522		3500 COMANCHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87110 (505) 872-0899	JOB 04-1-HTI

SITE PLAN

SCALE 1" = 30'

SITE DATA

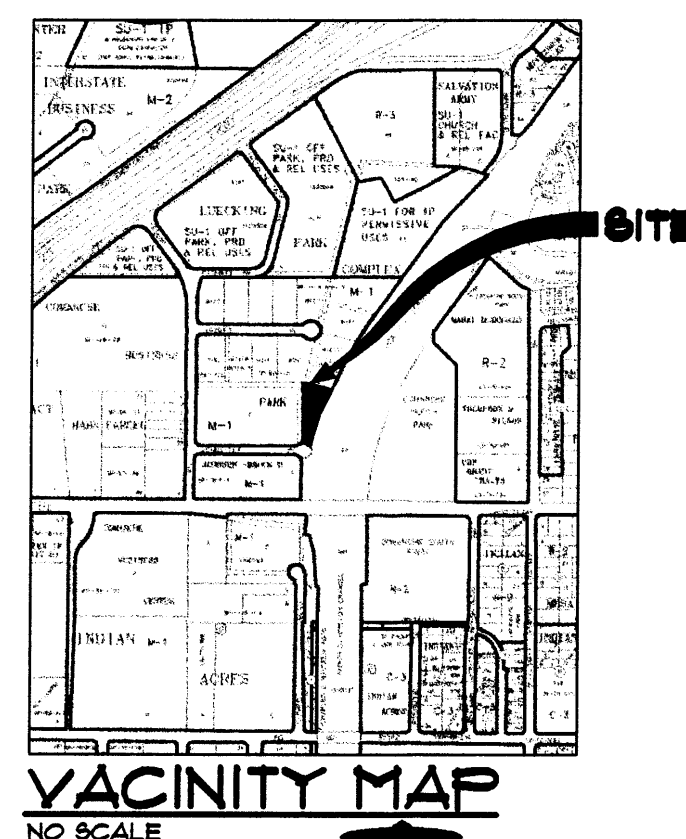
ZONE M1 LIGHT MANUFACTURING
ZONE ATLAS PAGE C-16-Z
BUILDING USE OFFICE (2018 SF)/WAREHOUSE (2982 SF)
OCCUPANT LOAD
OFFICE (2018 SF) 11 OCCUPANTS @ 1:200 SF
WAREHOUSE (2982 SF) 2 OCCUPANTS @ 1:2000 SF
TOTAL OCCUPANTS 13
PLUMBING FIXTURE COUNT
REQUIRED
1:1-15 TOILET PER SEX -- 1 LAV PER TOILET --
PROVIDED
1 TOILET AND LAV PER SEX (13 OCCUPANTS)
PARKING COUNT
REQUIRED
WAREHOUSE (2982 SF/2000) = 2 SPACES
OFFICE (2018 SF/200) = 13 SPACES
PROVIDED
21 SPACES (INCLUDING 2 VAN ACCESSIBLE)
GROSS LOT AREA apprx. 35,338 SF
LESS BUILDING apprx. 5,000 SF
NET LOT AREA apprx. 30,338 SF
REQUIRED LANDSCAPE 3,034 SF
10% OF NET LOT AREA
PROPOSED LANDSCAPE 5,542 SF
PERCENT OF NET LOT AREA 18%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

BOUNDARY TABLES					
LINE	DIRECTION	DISTANCE			
L1	N 00°28'27" E	353.32'			
L2	S 89°34'01" E	9.68'			
L3	S 75°52'01" E	164.46'			
L4	S 27°17'47" W	148.77'			
L5	S 16°51'13" W	201.25'			

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	45.00'	49.47'	47.01'	N 75°28'45" W	62°58'52"



VACINITY MAP
NO SCALE

TRACT C
COMMANCHE BUSINESS PARK
(FILED 05-04-1989, C39-34)

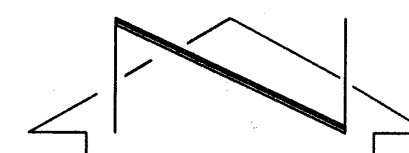
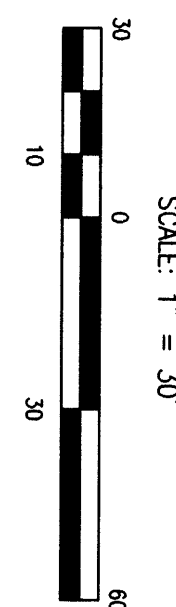
EXISTING BUILDING
BANK OF AMERICA
BUSINESS SERVICE CENTER

JOHNVILLE PLACE N.E.
(50' R.O.W.)

2733 JOHNVILLE PL. NE

TRACT B-1-C-1-A-1
COMMANCHE BUSINESS PARK
(FILED 08-02-2001, 1000-C-222)

NOTE
SEE DRAINAGE PLAN
FOR COMPLETE SITE DESCRIPTION
AND LEGAL DESCRIPTION.



Notes Specific to Sheet

- EXISTING 5' US WEST COMMUNICATIONS EASEMENT.
- EXISTING 20' PUBLIC SANITARY SEWER EASEMENT PER PLAT 93C-35
- EXISTING SAS MANHOLES. SEE SURVEY BY WAYJOHN SURVEYING INC. DATED 5/17/04.
- NOT USED.
- EXISTING 44' PUBLIC DRAINAGE EASEMENT PER EASEMENT DOCUMENT BOOK MISC. 857, PAGE 246, FILED 06-12-1981
- EXISTING 15' PRIVATE ACCESS EASEMENT GRANTED BY DOCUMENT FILED 01-25-1944, BOOK 209, PAGE 76, OFF SITE
- EXISTING 30' PUBLIC DRAINAGE EASEMENT PER PLAT B16-144, OFF SITE
- EXISTING 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT FILED 07-28-1997, 97C-233
- ASPHALT PAVING 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER COA STANDARDS.
- HANDICAP RAMP. MAXIMUM 1:12 SLOPE ON BOTH RAMP AND APRONS.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF SIDEWALK AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN.
- CONCRETE CURB AND GUTTER. (SEE DRAINAGE PLANS FOR DETAILS.)
- CONCRETE VALLEY GUTTER. (SEE DRAINAGE PLANS FOR DETAILS.)
- BLUE PAINTED HANDICAP SYMBOL.
- 3" WIDE YELLOW STRIPING. (TYPICAL)
- SEE DRAINAGE PLAN FOR STABILIZED SLOPE THIS AREA.
- LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- 6" STAND-UP CONCRETE CURB.
- CONCRETE SIDEWALK PER DIMENSION SHOWN.
- 6" TURN-DOWN CONCRETE CURB AT SIDEWALKS.
- NOT USED.
- HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE APRONS 1:10 MAXIMUM.
- 6'-0" HIGH CHAIN LINK FENCE WITH RAZOR WIRE ON TOP CONTINUOUS.
- 12' X 18" WIDE X 16'-0" HIGH CHAIN LINK GATES WITH 3 STRANDS OF BARBED WIRE ON TOP ON ROLLERS. PROVIDE CHAIN AND PAD LOCK.
- NOT USED.
- 3" WIDE BLUE STRIPING FOR HANDICAP ACCESS ROUTE 36" WIDE.

SITE PLAN

Project: Office / Warehouse for:

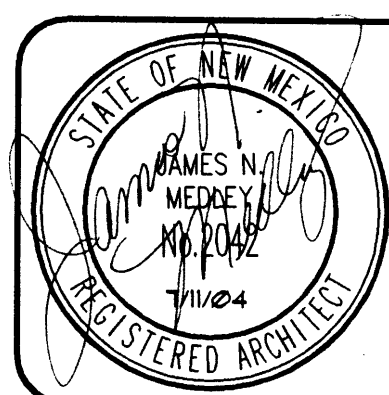


Jim Hildago
PO Box 13376
Albuquerque, NM 87192
Phone-505-843-8490

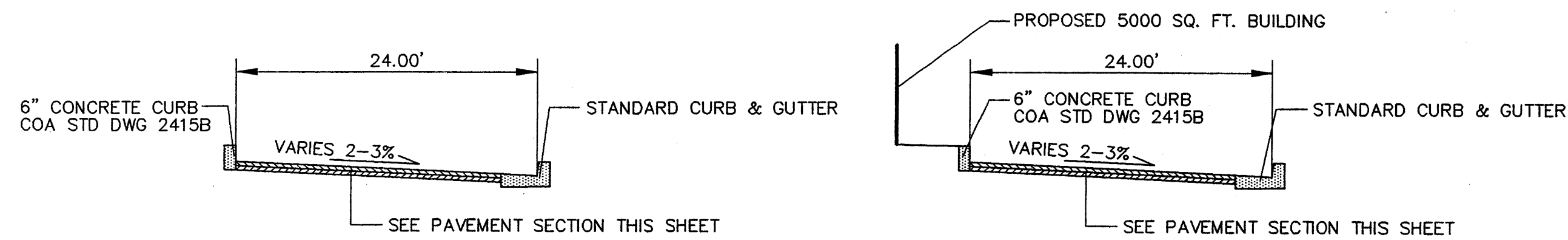
JIM MEDLEY, Architect

NCARB Certificate No. 35,895
3100 Christine N. E. Albuquerque, NM 87111

email: jmedley@jim-medley-architect.com
Phone (505) 292-3514



Date: July 04
Drawn by: JNM
Checked by: JNM
Sheet: C1



TYPICAL SECTION A-A

NOT TO SCALE

TYPICAL SECTION B-B

NOT TO SCALE

TYPICAL SECTION C-C

NOT TO SCALE

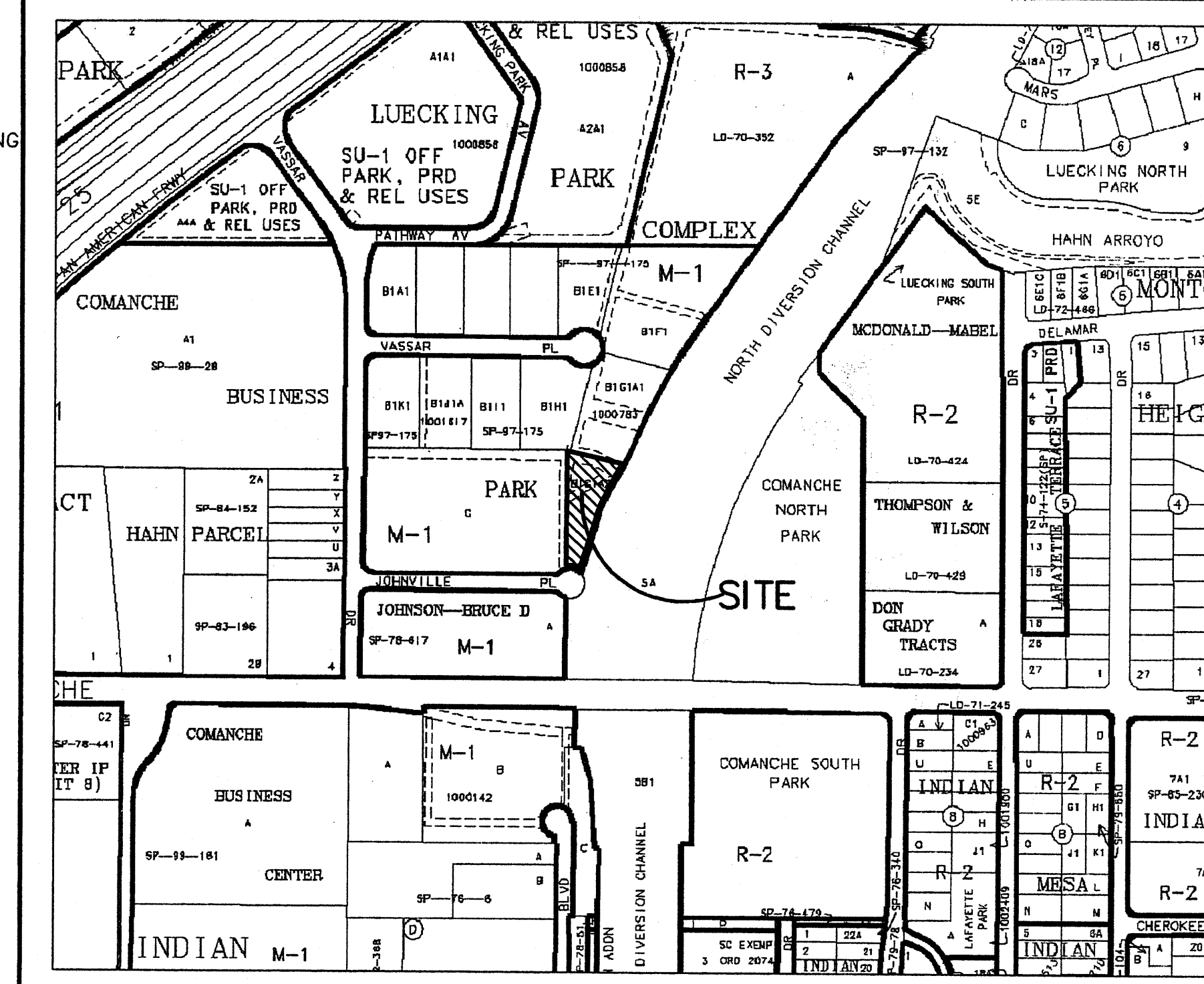
TYPICAL SECTION D-D

NOT TO SCALE

HYDROLOGIC CALC'S - SECTION 22.2 OF THE DPM

BASIN	AREA(ac)	TYPE A	TYPE B	TYPE C	TYPE D	100 YR. 6 HR PEAK FLOW (cfs)
B-1	0.69			0.14	0.55	4.07
EXISTING	0.81	0.81				1.29

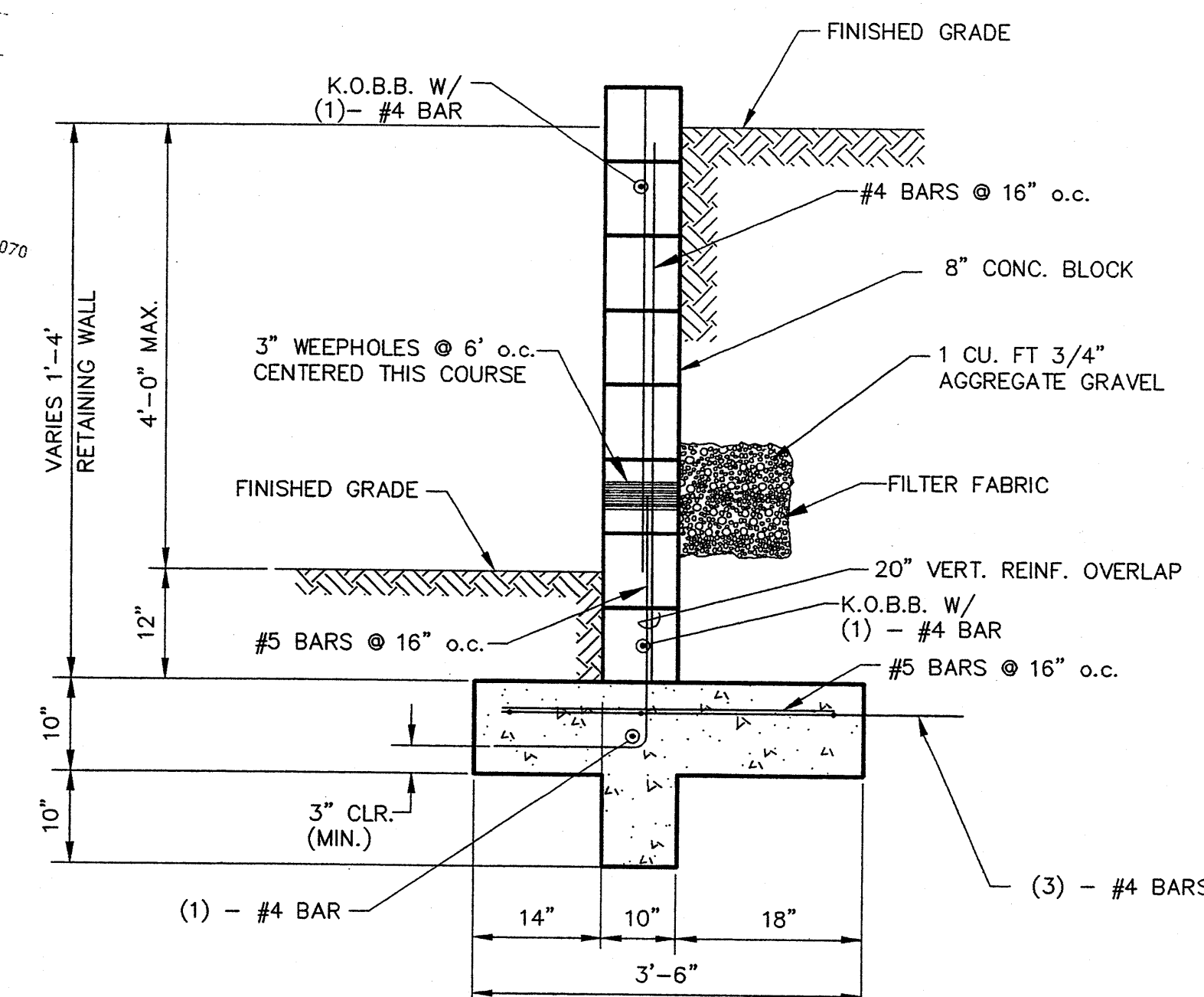
NOTE: ALL ELEVATIONS FLOWLINE UNLESS OTHERWISE NOTED



COA Vicinity Map no. G-16-Z

LEGAL DESCRIPTION

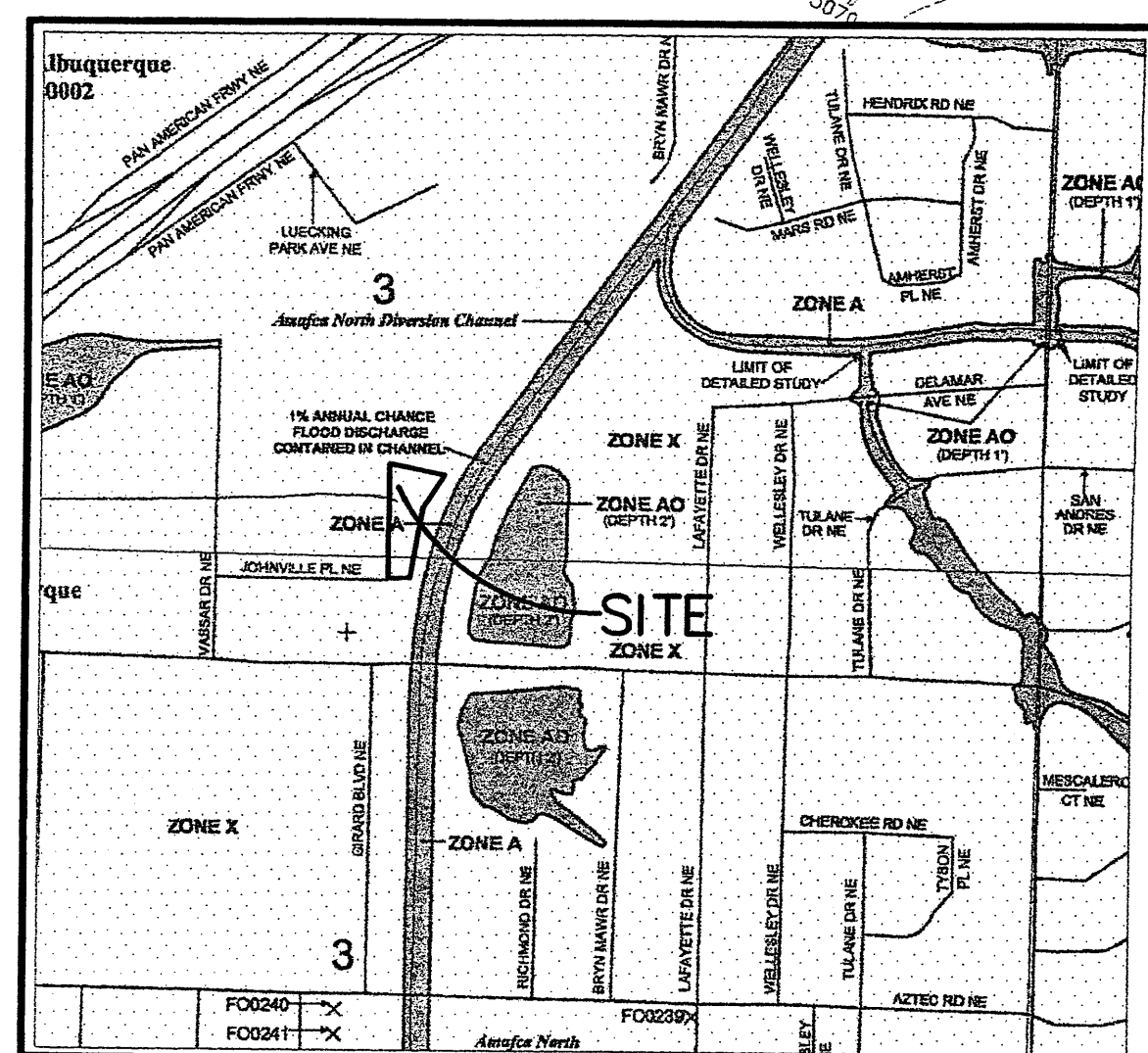
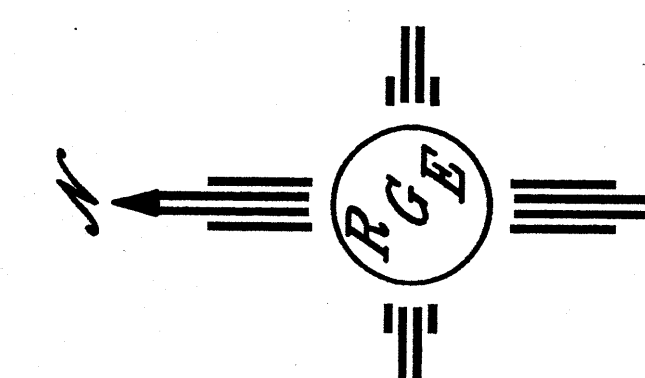
TRACT B-1, G-1, A-2 - COMANCHE BUSINESS PARK



TYPICAL RETAINING WALL DETAIL
NOT TO SCALE

LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STANDARD CURB AND GUTTER
COA STD. DWG 2415A
- PROPOSED SWALE
- EXISTING STANDARD CURB AND GUTTER
- PROPOSED RETAINING WALL
SEE DETAIL THIS SHEET
- PROPERTY BOUNDARY
- PROPOSED DRAINAGE BASIN
- PROPOSED DRAINAGE BASIN NUMBER



FLOOD INSURANCE RATE MAP

- 1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
- TACK COAT (IF REQ'D)
- 1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
- 8" SUBGRADE SOIL, R-VALUE >50 COMPACTED TO 95%. SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FT. AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR A PAVEMENT SECTION SHALL BE DESIGNED BY CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.
- SUBGRADE COMPACTED TO 95%

PAVEMENT SECTION

NTS

ENGINEER'S SEAL DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 DAVID SOULE P.E. #14522	NEW BUILDING FOR PYRAMID CONCRETE	DRAWN BY BLN
	GRADING & DRAINAGE PLAN	DATE 7-24-04
Rio Grande Engineering 3500 COMANCHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87107 (505) 872-0999	SHEET #	JOB 04-1-HTI

D:\Pyramid Concrete\CL Site.dwg, 7/27/2004 9:24:54 AM

SITE PLAN

SCALE 1" = 30'

SITE DATA

ZONE M1 LIGHT MANUFACTURING
ZONE ATLAS PAGE G-16-Z
BUILDING USE OFFICE (2018 SF)/WAREHOUSE (2982 SF)
OCCUPANT LOAD
OFFICE (2018 SF) 11 OCCUPANTS @ 1,200 SF
WAREHOUSE (2982 SF) 2 OCCUPANTS @ 1,200 SF
TOTAL OCCUPANTS 13
PLUMBING FIXTURE COUNT
REQUIRED 1:1-15 TOILET PER SEX -- 1 LAV PER TOILET --
PROVIDED 1 TOILET AND LAV PER SEX (13 OCCUPANTS)
PARKING COUNT
REQUIRED WAREHOUSE (2982 SF/2000) = 2 SPACES
OFFICE (2018 SF/200) = 13 SPACES
PROVIDED 21 SPACES (INCLUDING 2 VAN ACCESSIBLE)
GROSS LOT AREA oppr. 35,338 SF
LESS BUILDING oppr. 5,000 SF
NET LOT AREA oppr. 30,338 SF
REQUIRED LANDSCAPE 3,034 SF
10% OF NET LOT AREA
PROPOSED LANDSCAPE 5,542 SF
PERCENT OF NET LOT AREA 18%

NOTE

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PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

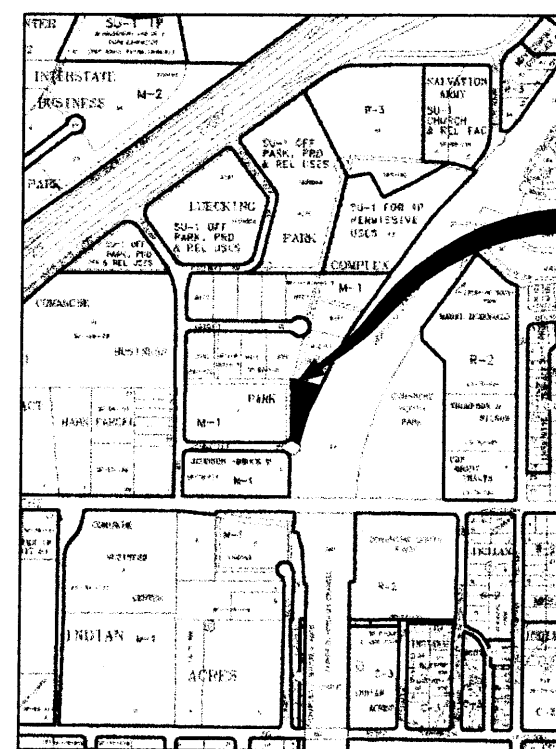
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 00°28'27" E	353.32'
L2	S 89°34'01" E	9.68'
L3	S 75°52'01" E	164.46'
L4	S 27°17'47" W	148.77'
L5	S 16°51'13" W	201.25'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	45.00'	49.47'	47.01'	N 75°28'45" W	62°58'52"

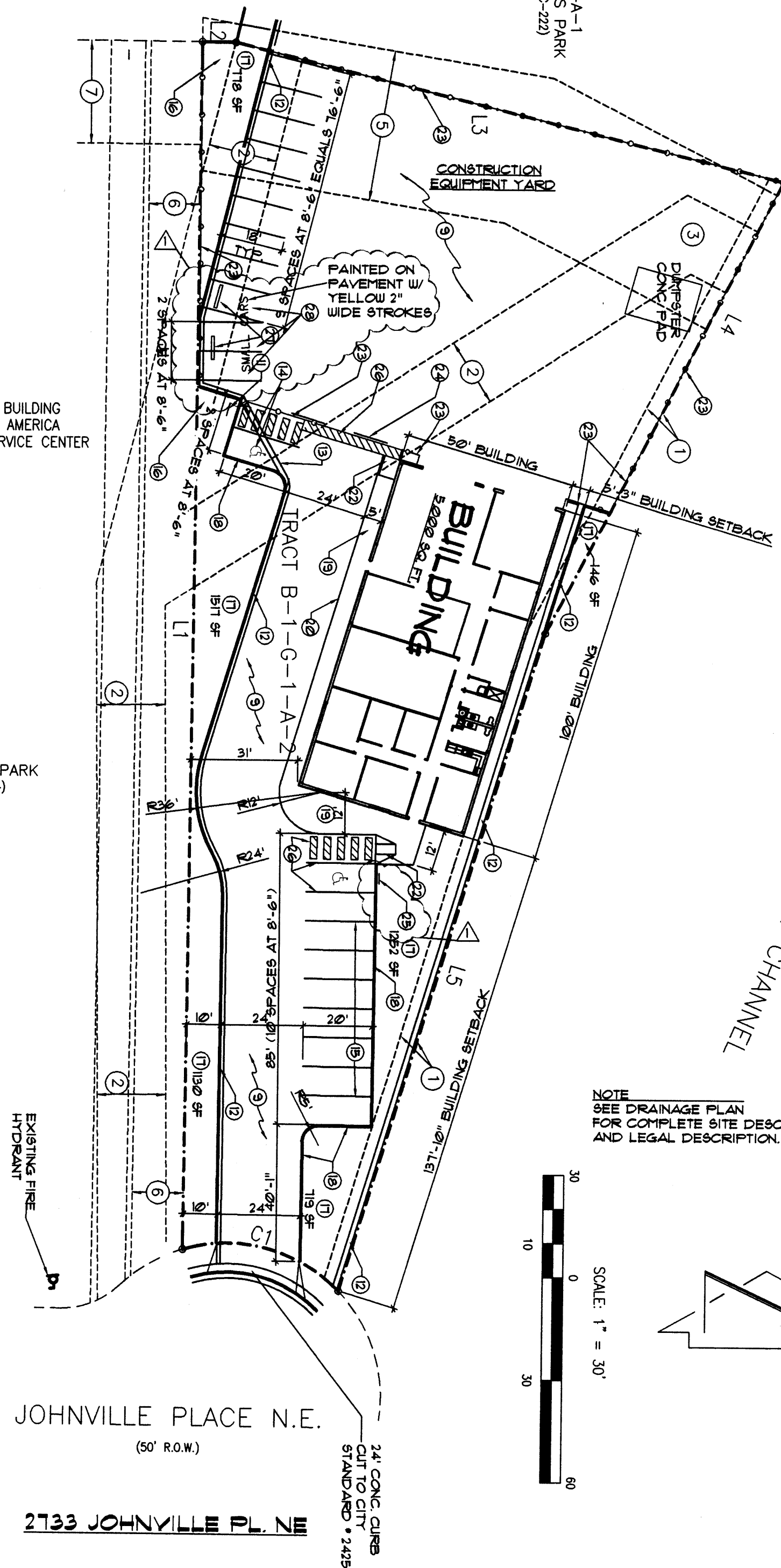


VACINITY MAP
NO SCALE

TRACT C
COMMANCHE BUSINESS PARK
(FILED 05-04-1989, C39-34)

EXISTING BUILDING
BANK OF AMERICA
BUSINESS SERVICE CENTER

TRACT B-1-G-1-A-1
COMMANCHE BUSINESS PARK
(FILED 08-02-2001, 2001C-222)



NOTE
SEE DRAINAGE PLAN
FOR COMPLETE SITE DESCRIPTION
AND LEGAL DESCRIPTION.

TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature] 7/29/04
Signed Date

RECEIVED
JUL 27 2004
HYDROLOGY SECTION

Notes Specific to Sheet

- EXISTING 5' US WEST COMMUNICATIONS EASEMENT.
- EXISTING 20' PUBLIC SANITARY SEWER EASEMENT PER PLAT 93C-35
- EXISTING SAS MANHOLES. SEE SURVEY BY WAYJOHN SURVEYING INC. DATED 5/17/04.
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- EXISTING 44' PUBLIC DRAINAGE EASEMENT PER EASEMENT DOCUMENT BOOK MISC. 857, PAGE 246, FILED 06-12-1981
- EXISTING 15' PRIVATE ACCESS EASEMENT GRANTED BY DOCUMENT FILED 01-25-1944, BOOK 209, PAGE 76, OFF SITE
- EXISTING 30' PUBLIC DRAINAGE EASEMENT PER PLAT B16-144, OFF SITE
- EXISTING 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT FILED 07-28-1997, 97C-233
- ASPHALT PAVING 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER COA STANDARDS.
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- 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF CURB AND 60" A.F.G. TO BOTTOM OF SIGN.
- CONCRETE CURB AND GUTTER. (SEE DRAINAGE PLANS FOR DETAILS.)
- CONCRETE VALLEY GUTTER. (SEE DRAINAGE PLANS FOR DETAILS.)
- BLUE PAINTED HANDICAP SYMBOL.
- 3" WIDE YELLOW STRIPING. (TYPICAL.)
- SEE DRAINAGE PLAN FOR STABILIZED SLOPE THIS AREA.
- LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- 6" STAND-UP CONCRETE CURB.
- CONCRETE SIDEWALK PER DIMENSION SHOWN.
- 6" TURN-DOWN CONCRETE CURB AT SIDEWALKS.
- NOT USED.
- HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE APRONS 1:10 MAXIMUM.
- 6'-0" HIGH CHAIN LINK FENCE WITH RAZOR WIRE ON TOP CONTINUOUS.
- (2) 10' WIDE X 6'-0" HIGH CHAIN LINK GATES WITH 3 STRANDS OF BARBED WIRE ON TOP ON ROLLERS. PROVIDE CHAIN AND PAD LOCK.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. INSTALL 24" BEHIND EDGE OF SIDEWALK AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN.
- 3" WIDE BLUE STRIPING FOR HANDICAP ACCESS ROUTE 36" WIDE.
- 6' LONG PRE-CAST CONCRETE BUMPERS W/ 48" LONG NO. 6 REBARS EACH END.
- SMALL CAR PARKING SPACES.

SITE PLAN

Project: Office / Warehouse for:



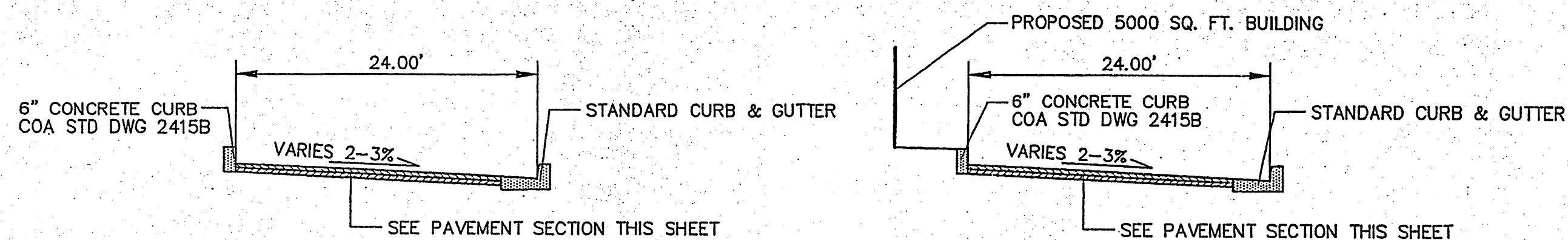
Jim Hildago
P.O. Box 13376
Albuquerque, NM 87192
Phone-505-843-8490

JIM MEDLEY, Architect

NCARB Certificate No. 35,895
3100 Christine N. E. Albuquerque, NM 87111

email: jmedley@jmm-medley-architect.com
Phone (505) 292-3514

	Date:	July 2004
	Drawn by:	JMM
	Checked by:	JMM
	Sheet:	C1



TYPICAL SECTION A-A
NOT TO SCALE

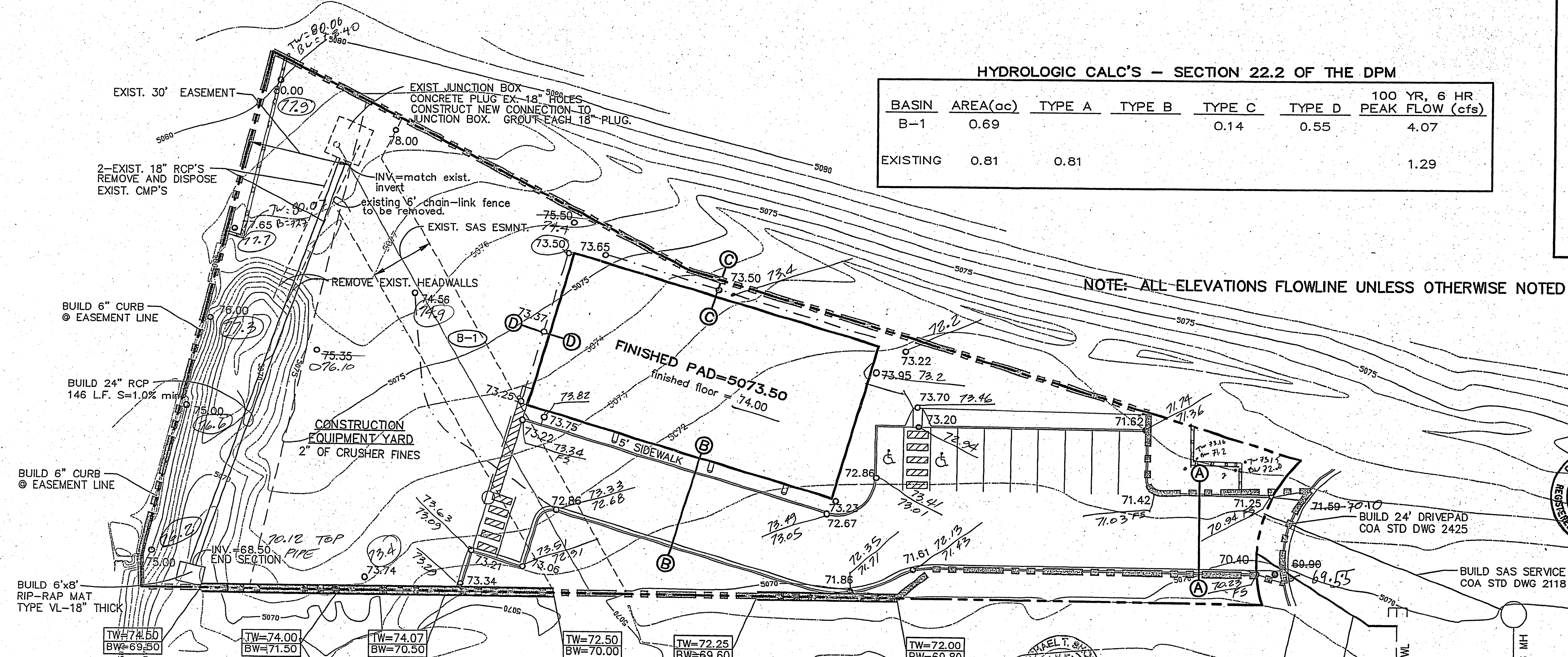
TYPICAL SECTION B-B
NOT TO SCALE

TYPICAL SECTION C-C
NOT TO SCALE

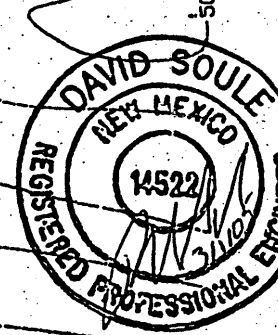
TYPICAL SECTION D-D
NOT TO SCALE

HYDROLOGIC CALC'S - SECTION 22.2 OF THE DPM

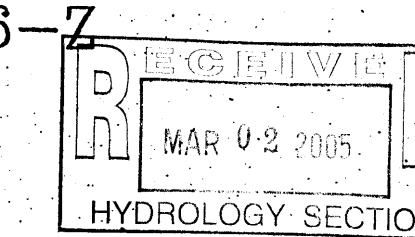
BASIN	AREA(ac)	TYPE A	TYPE B	TYPE C	TYPE D	100 YR. 6 HR. PEAK FLOW (cfs)
B-1	0.69			0.14	0.55	4.07
EXISTING	0.81	0.81				1.29



NOTE: ALL ELEVATIONS FLOWLINE UNLESS OTHERWISE NOTED



COA Vicinity Map no. G-16-Z

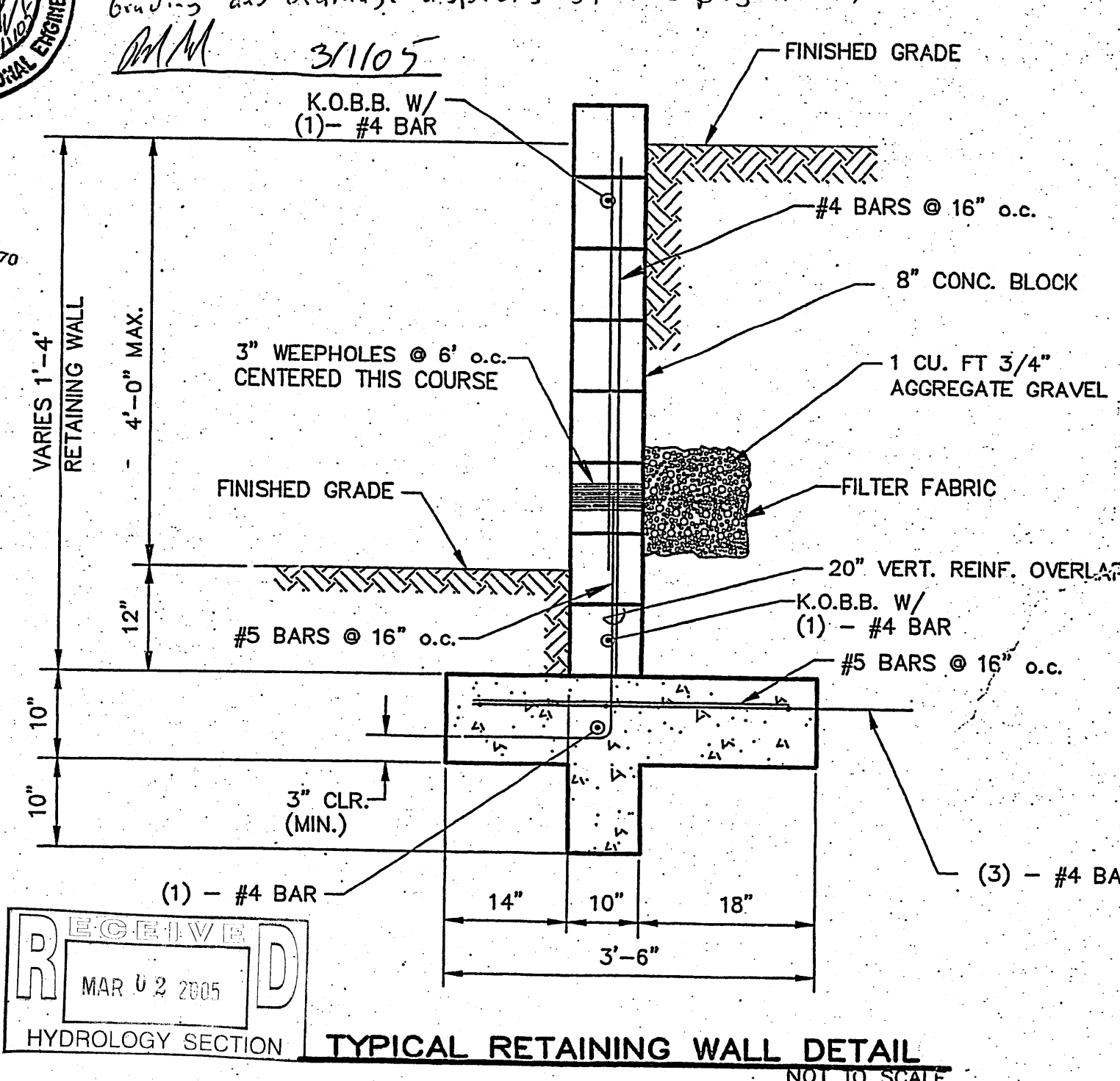


LEGAL DESCRIPTION

TRACT B-1, G-1, A-2 - COMANCHE BUSINESS PARK

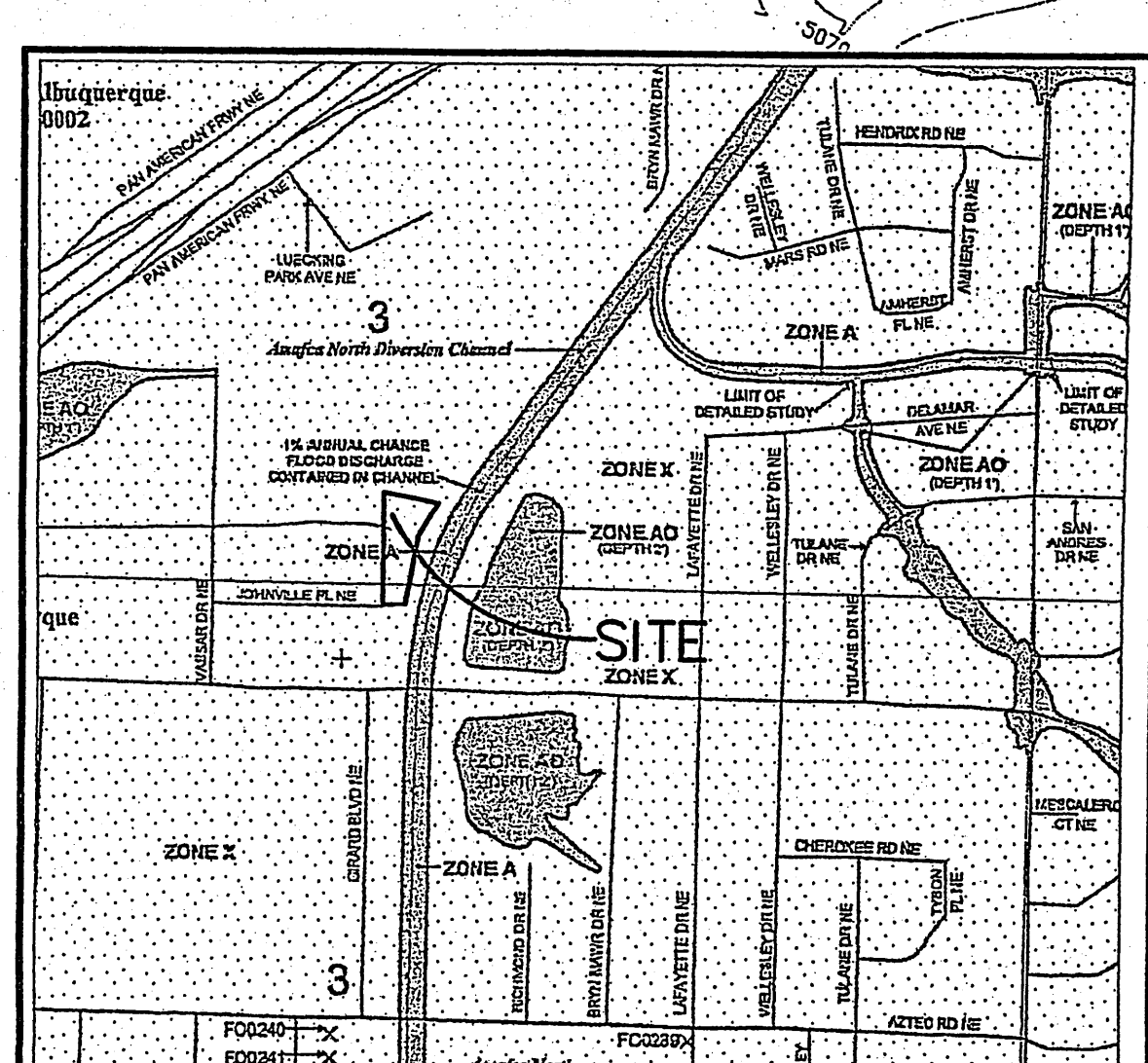
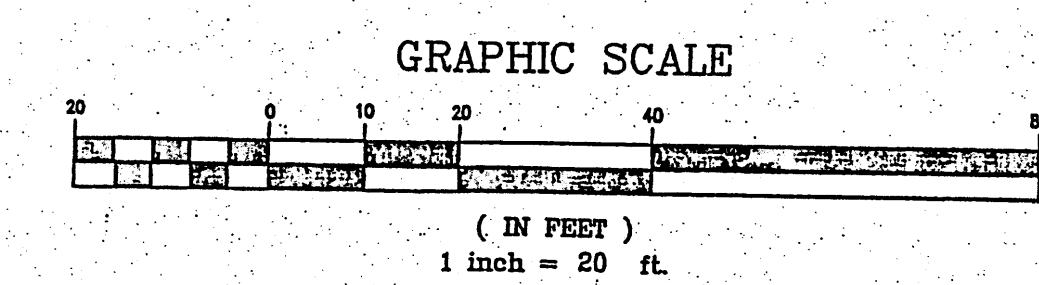
I, David Soule, NMPE # 14522, of the Firm Rio Grande Engineering hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the Design Intent of the approved plan dated 11/12/04. The record information edited onto the original Design Document was provided by Michael Shook NMAS # 13240. This record information is intended to verify substantial compliance of grading and drainage aspects of this project only.

3/11/05



LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STANDARD CURB AND GUTTER COA STD. DWG 2415A
- PROPOSED SWALE
- EXISTING STANDARD CURB AND GUTTER
- PROPOSED RETAINING WALL SEE DETAIL THIS SHEET
- PROPERTY BOUNDARY
- PROPOSED DRAINAGE BASIN
- PROPOSED DRAINAGE BASIN NUMBER



FLOOD INSURANCE RATE MAP

- 1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
- TACK COAT (IF REQ'D)
- 1 1/2" ASPHALTIC CONCRETE CRSE - 1800# STAB. TYPE A GRADATION
- 8" SUBGRADE SOIL, R-VALUE >50 COMPACTED TO 95%. SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FT. AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR A PAVEMENT SECTION SHALL BE DESIGNED BY CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.
- SUBGRADE COMPACTED TO 95%

PAVEMENT SECTION

NTS

DAVID SOULE P.E. #14522	ENGINEER'S SEAL NEW BUILDING FOR PYRAMID CONCRETE GRADING & DRAINAGE PLAN <i>Rio Grande Engineering</i> 3500 COMANCHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87117 (505) 872-0999	DRAWN BY BLN DATE 7-24-04 BASED ON SHEET # JOB 04-1

SITE PLAN

SCALE 1" = 30'

SITE DATA

ZONE	M1 LIGHT MANUFACTURING
ZONE ATLAS PAGE	G-16-Z
BUILDING USE	OFFICE (2018 SF)/WAREHOUSE (2982 SF)
OCCUPANT LOAD	
OFFICE (2018 SF)	11 OCCUPANTS @ 1,200 SF
WAREHOUSE (2982 SF)	2 OCCUPANTS @ 1,200 SF
TOTAL OCCUPANTS	13
PLUMBING FIXTURE COUNT	
REQUIRED	1:1-15 TOILET PER SEX -- 1 LAV PER TOILET --
PROVIDED	1 TOILET AND LAV PER SEX (13 OCCUPANTS)
PARKING COUNT	
REQUIRED	WAREHOUSE (2982 SF/2000) = 2 SPACES
OFFICE (2018 SF/2000) = 13 SPACES	
PROVIDED	21 SPACES (INCLUDING 2 VAN ACCESSIBLE)
GROSS LOT AREA	appr. 35,338 SF
LESS BUILDING	appr. 5,000 SF
NET LOT AREA	appr. 30,338 SF
REQUIRED LANDSCAPE	3,034 SF
10% OF NET LOT AREA	
PROPOSED LANDSCAPE	5,542 SF
PERCENT OF NET LOT AREA	18%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

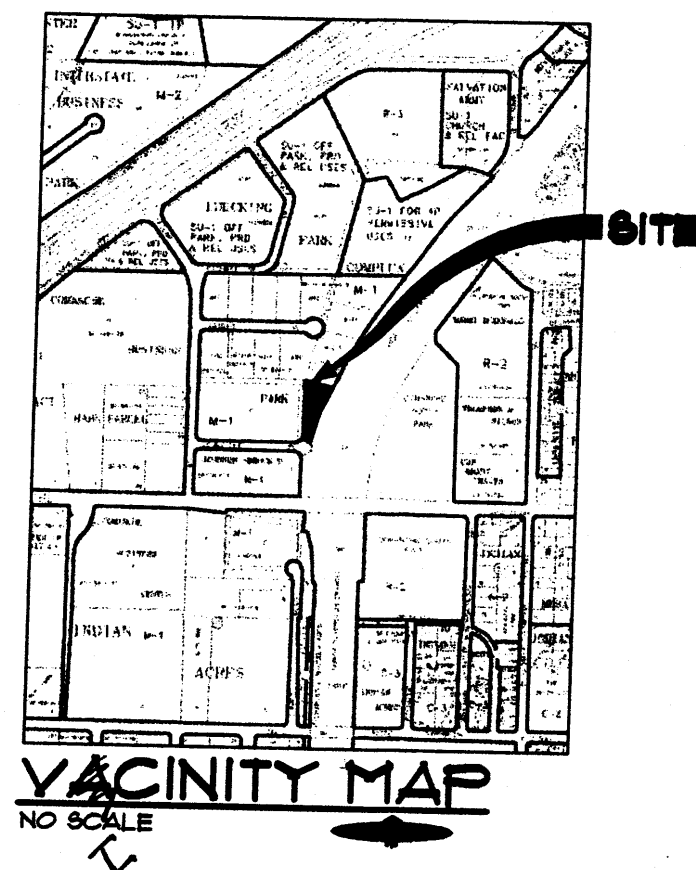
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 00°28'27" E	353.32'
L2	S 89°34'01" E	9.68'
L3	S 75°52'01" E	164.46'
L4	S 27°17'47" W	148.77'
L5	S 16°51'13" W	201.25'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	45.00'	49.47'	47.01'	N 75°28'45" W	62°58'52"



EXISTING BUILDING
BANK OF AMERICA
BUSINESS SERVICE CENTER

TRACT C
COMMANCHE BUSINESS PARK
(FILED 05-04-1989, C39-34)

JOHNVILLE PLACE N.E.
(50' R.O.W.)

2733 JOHNVILLE PL. NE

TRACT B-1-G-1-A-1
COMMANCHE BUSINESS PARK
(FILED 06-16-2001, 2001-222)

SCALE: 1" = 30'

NOTE
SEE DRAINAGE PLAN
FOR COMPLETE SITE DESCRIPTION
AND LEGAL DESCRIPTION.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed: *ZAL* Date: 7/21/04

RECEIVED
JUL 21 2004
HYDROLOGY SECTION

Notes Specific to Sheet

- EXISTING 5' US WEST COMMUNICATIONS EASEMENT.
- EXISTING 20' PUBLIC SANITARY SEWER EASEMENT PER PLAT 93C-35
- EXISTING SAS MANHOLES. SEE SURVEY BY WAYJOHN SURVEYING INC. DATED 5/17/04.
- NOT USED.
- EXISTING 44' PUBLIC DRAINAGE EASEMENT PER EASEMENT DOCUMENT BOOK MISC. 857, PAGE 246, FILED 06-12-1981
- EXISTING 15' PRIVATE ACCESS EASEMENT GRANTED BY DOCUMENT FILED 01-25-1944, BOOK 209, PAGE 76, OFF SITE
- EXISTING 30' PUBLIC DRAINAGE EASEMENT PER PLAT 816-144, OFF SITE
- EXISTING 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT FILED 07-28-1997, 97C-233
- ASPHALT PAVING, 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER COA STANDARDS.
- HANDICAP RAMP, MAXIMUM 1:12 SLOPE ON BOTH RAMP AND APRONS.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF CURB AND 60" A.F.G. TO BOTTOM OF SIGN.
- CONCRETE CURB AND GUTTER. (SEE DRAINAGE PLANS FOR DETAILS)
- CONCRETE VALLEY GUTTER. (SEE DRAINAGE PLANS FOR DETAILS)
- BLUE PAINTED HANDICAP SYMBOL.
- 3" WIDE YELLOW STRIPING. (TYPICAL)
- SEE DRAINAGE PLAN FOR STABILIZED SLOPE THIS AREA.
- LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- 6" STAND-UP CONCRETE CURB.
- CONCRETE SIDEWALK PER DIMENSION SHOWN.
- 6" TURN-DOWN CONCRETE CURB AT SIDEWALKS.
- NOT USED.
- HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE APRONS 1:10 MAXIMUM.
- 6'-0" HIGH CHAIN LINK FENCE WITH RAZOR WIRE ON TOP CONTINUOUS.
- (2) 10' WIDE X 6'-0" HIGH CHAIN LINK GATES WITH 3 STRANDS OF BARBED WIRE ON TOP ON ROLLERS. PROVIDE CHAIN AND PAD LOCK.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. INSTALL 24" BEHIND EDGE OF SIDEWALK AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN.
- 3" WIDE BLUE STRIPING FOR HANDICAP ACCESS ROUTE 36" WIDE.
- 6' LONG PRE-CAST CONCRETE BUMPERS W/ 48" LONG NO. 6 REBARS EACH END.
- SMALL CAR PARKING SPACES.

REVISOR PER CITY TRAFFIC DEPT.

No. Revision / Issue Date:

SITE PLAN

Project: Office / Warehouse for:

Jim Hildago
PO Box 13376
Albuquerque, NM 87192
Phone-505-843-8490

JIM MEDLEY, Architect

NCARB Certificate No. 35,895

3100 Christine N. E. Albuquerque, NM 87111

email: jmedley@jim-medley-architect.com
Phone (505) 292-3514

Date: July 24
Drawn by: JNM
Checked by: JNM
Sheet: C1

SITE PLAN

SCALE 1" = 30'

AUTHORITY: Building and Inspection Department
City of Albuquerque
Code Administration

CODE: IBC - 2003, UPC - 2003
UPC - 2003, UPC - 2003
NEC - 2009

SITE DATA

ZONE	M1 LIGHT MANUFACTURING
ZONE ATLAS PAGE	0-16-2
BUILDING USE	OFFICE (2018 SF) WAREHOUSE (2982 SF)
BUILDING TYPE	VB
OCCUPANT LOAD	21 OCCUPANTS @ 1:100 SF
OFFICE (2018 SF)	4 OCCUPANTS @ 1:500 SF
WAREHOUSE (2982 SF)	
TOTAL OCCUPANTS	25
PLUMBING FIXTURE COUNT	
REQUIRED	1:1-15 TOILET PER SEX --- 1 LAV PER TOILET ---
PROVIDED	1 TOILET AND LAV PER SEX (13 OCCUPANTS)
PARKING COUNT	
REQUIRED	WAREHOUSE (2982 SF/2000) = 2 SPACES
OFFICE (2018 SF/200)	= 13 SPACES
TOTAL REQUIRED	= 15 SPACES
PROVIDED	
14 SPACES (INCLUDING 2 VAN ACCESSIBLE) PLUS 4 INSIDE GARAGES	
GROSS LOT AREA	appr. 35,338 SF
LESS BUILDING	appr. 5,000 SF
NET LOT AREA	appr. 30,338 SF
REQUIRED LANDSCAPE	4,551 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	4,608 SF
PERCENT OF NET LOT AREA	15.2%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP
IRRIGATION SYSTEM

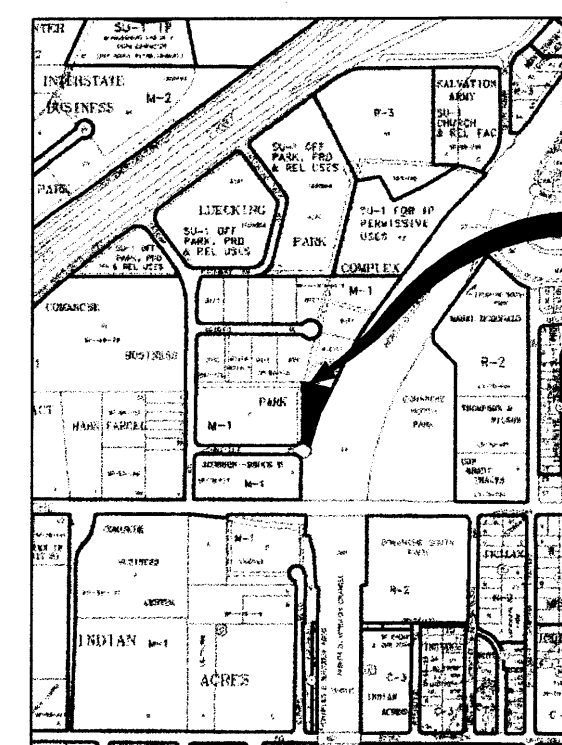
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GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

BOUNDARY TABLES

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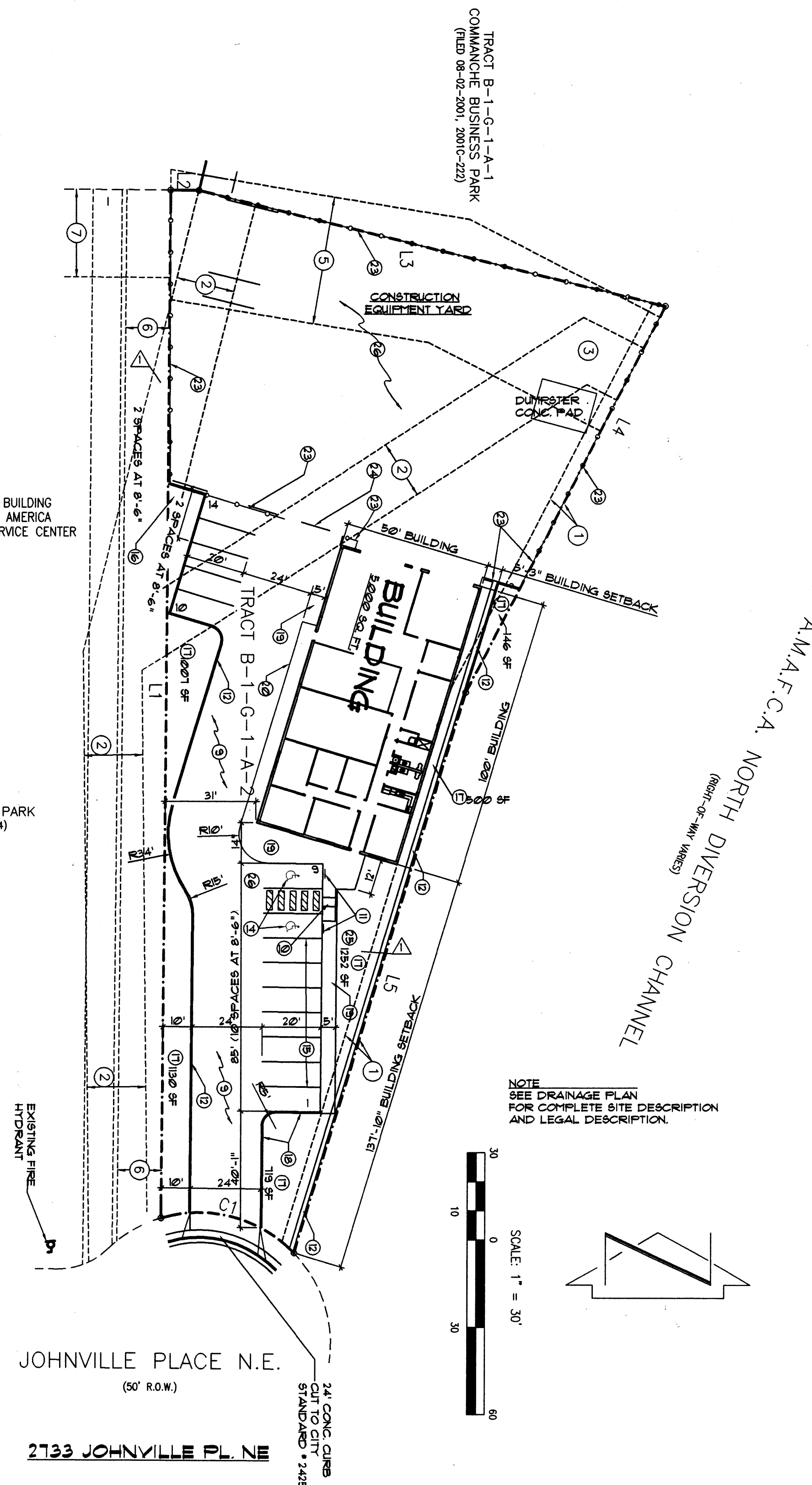
VACINITY MAP
NO SCALE

TRACT C
COMMANCHE BUSINESS PARK
(FILED 05-04-1989, C39-34)

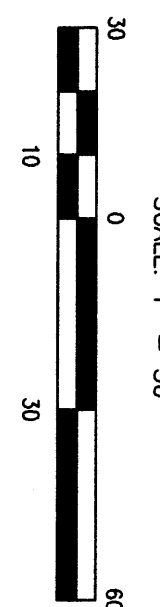
EXISTING BUILDING
BANK OF AMERICA
BUSINESS SERVICE CENTER

JOHNVILLE PLACE N.E.
(50' R.O.W.)

2733 JOHNVILLE PL. NE



NOTE
SEE DRAINAGE PLAN
FOR COMPLETE SITE DESCRIPTION
AND LEGAL DESCRIPTION.



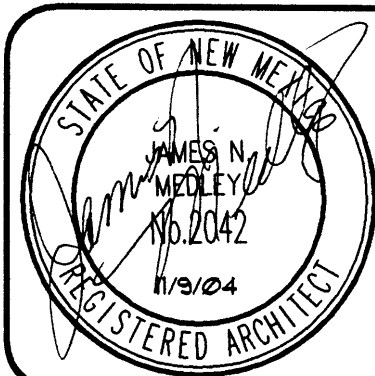
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- HANDICAP RAMP MAXIMUM 1:12 SLOPE ON BOTH RAMP AND APRONS.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN ON ONE SIGN) INSTALL 24" BEHIND EDGE OF CURB AND 60" AFG. TO BOTTOM OF SIGN.
- CONCRETE CURB AND GUTTER (SEE DRAINAGE PLANS FOR DETAILS)
- OMITTED (NUMBER NOT USED)
- BLUE PAINTED HANDICAP SYMBOL.
- 3" WIDE YELLOW STRIPING (TYPICAL)
- SEE DRAINAGE PLAN FOR STABILIZED SLOPE THIS AREA.
- LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- 6" STAND-UP CONCRETE CURB.
- CONCRETE SIDEWALK PER DIMENSION SHOWN.
- 6" TURN-DOWN CONCRETE CURB AT SIDEWALKS.
- NOT USED.
- HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE APRONS 1:12 MAXIMUM.
- 6'-0" HIGH CHAIN LINK FENCE WITH RAZOR WIRE ON TOP CONTINUOUS.
- (2) 10' WIDE X 6'-0" HIGH CHAIN LINK GATES WITH 3 STRANDS OF BARBED WIRE ON TOP ON ROLLERS. PROVIDE CHAIN AND PAD LOCK.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN. INSTALL 24" BEHIND EDGE OF SIDEWALK AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN.
- 4" THICK GRADED GRAVEL GROUND COVER IN STORAGE LOT AREA.

Sheet Description	
SITE PLAN	
Project: Office / Warehouse for:	
	
Jim Hildago PO Box 13376 Albuquerque, NM 87192 Phone-505-843-8490	

JIM MEDLEY, Architect	
NCARB Certificate No. 35,895	
3100 Christine N. E. Albuquerque, NM 87111	
email: jmedley@jim-medley-architect.com	
Phone (505) 292-3514	

	Date:	November '04
	Drawn by:	Checked by:
	JNM	JNM
Sheet:		C1