

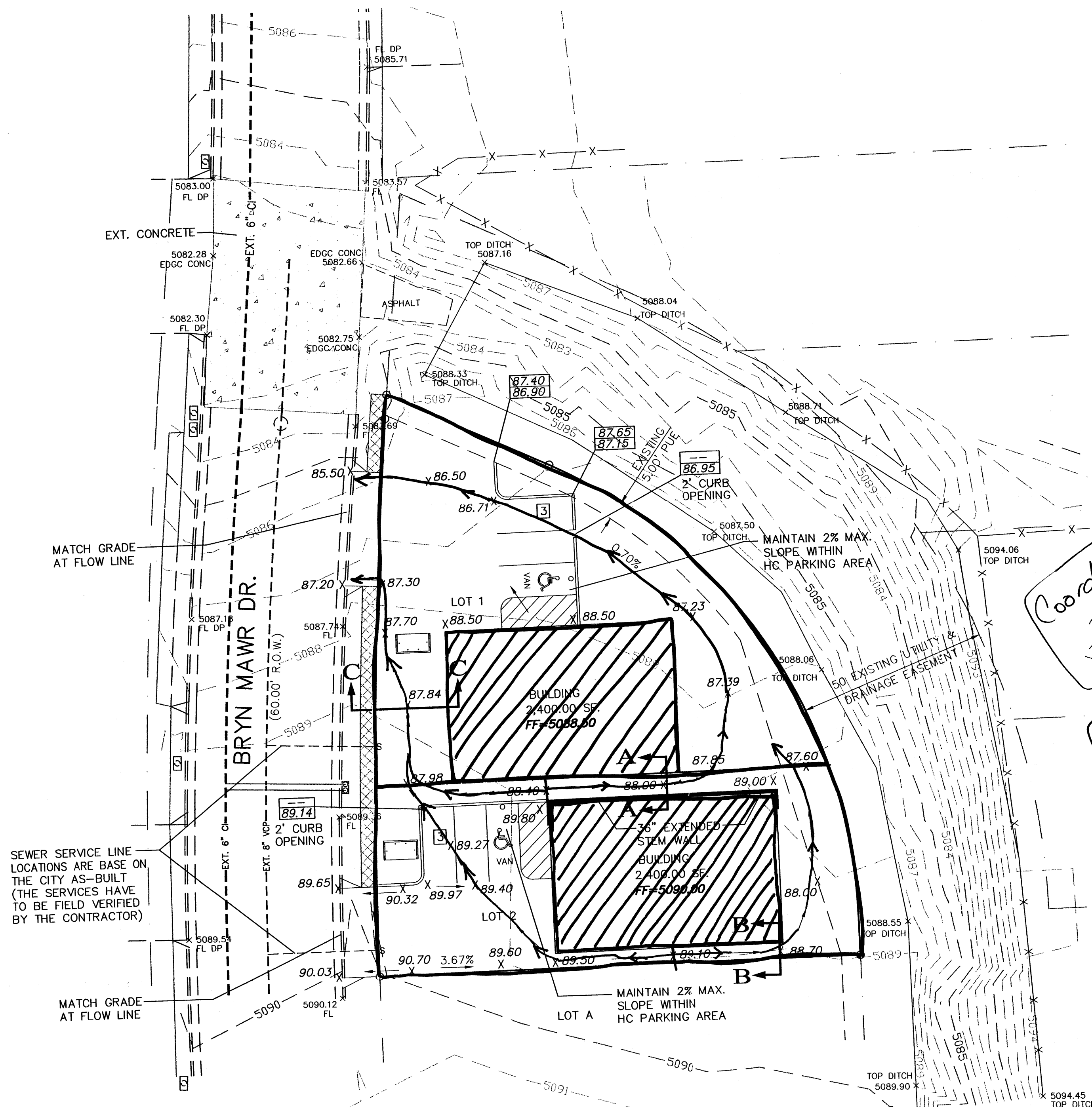
- GENERAL NOTES:**
1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-P-225 HAVING AN ELEVATION OF 5099.957 (NGVD 29) FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

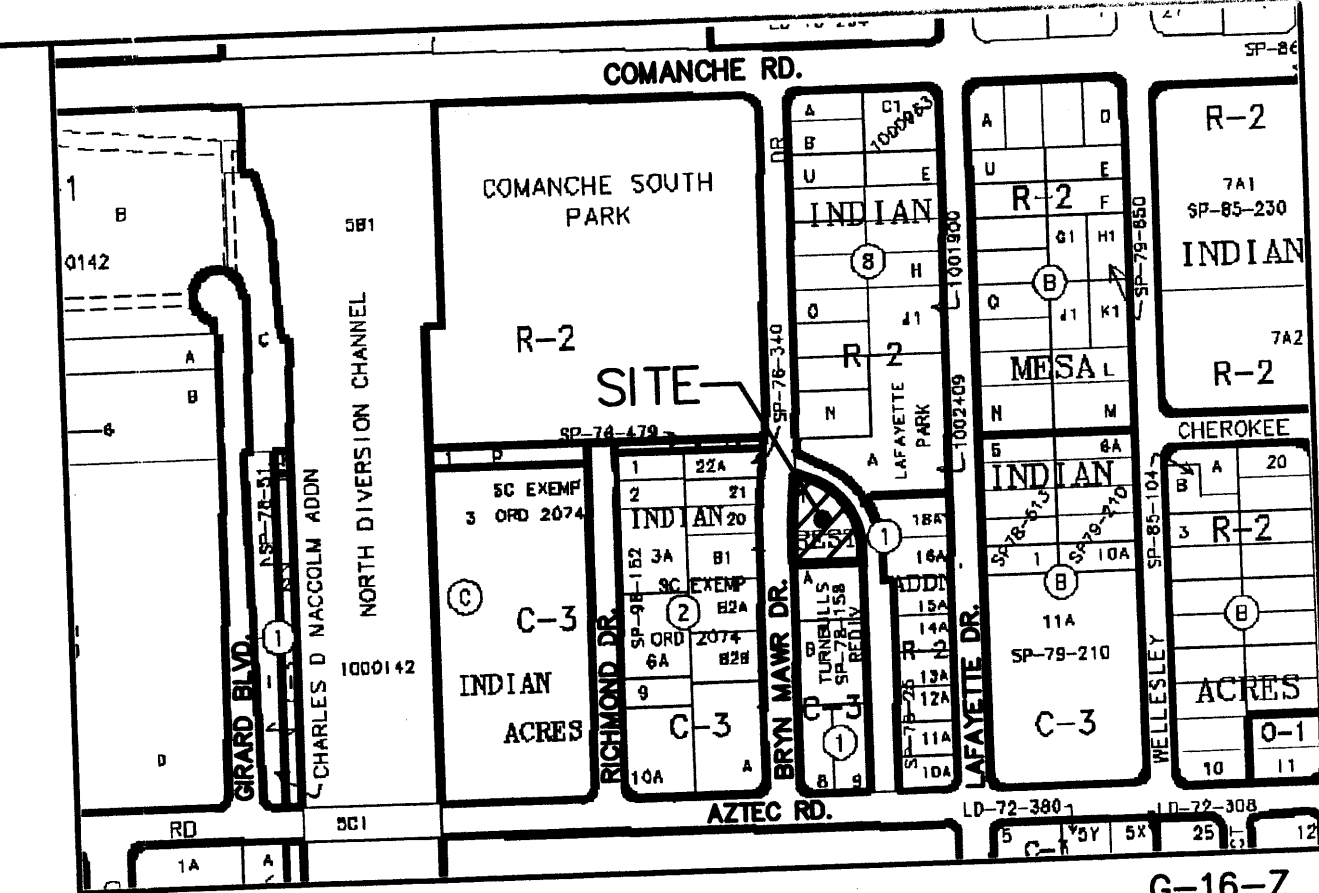
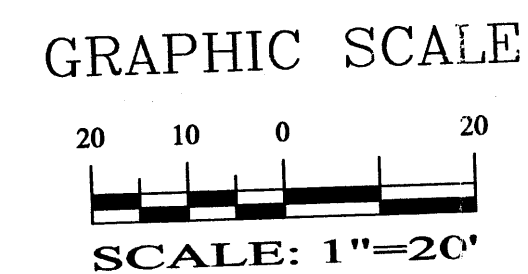
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING 8" SAS
	EXISTING 16" WL
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	SINGLE "A" INLET
	DOUBLE "A" INLET



Coordinate w/Chuck Camso
Proposed box culvert
in area
Cross lot drainage
easement
Call out location
of swales

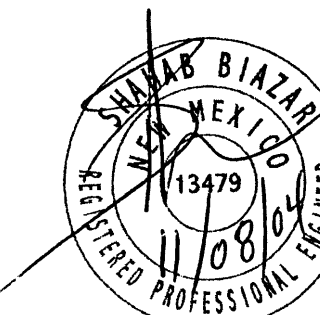


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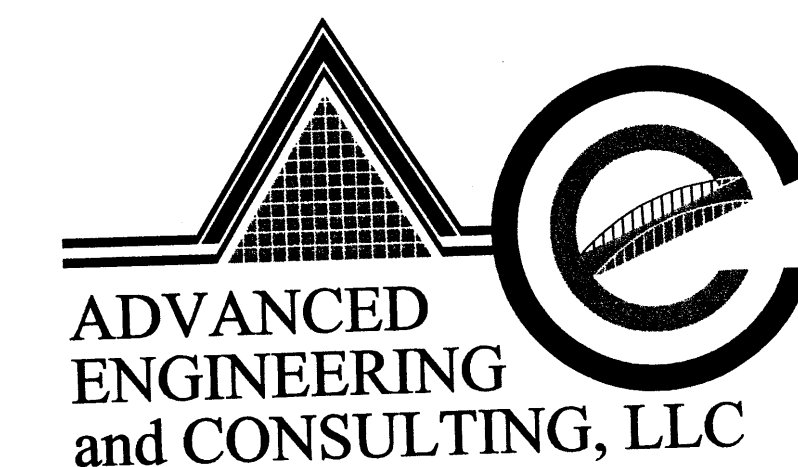
LOTS 1 AND 2, BLOCK 1, INDIAN REST
CONTAINING 14,271.00 SQUARE FEET (0.3276 ACRES)
MORE OR LESS.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



SHAHAB BLAZAR
P.E. #13479



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

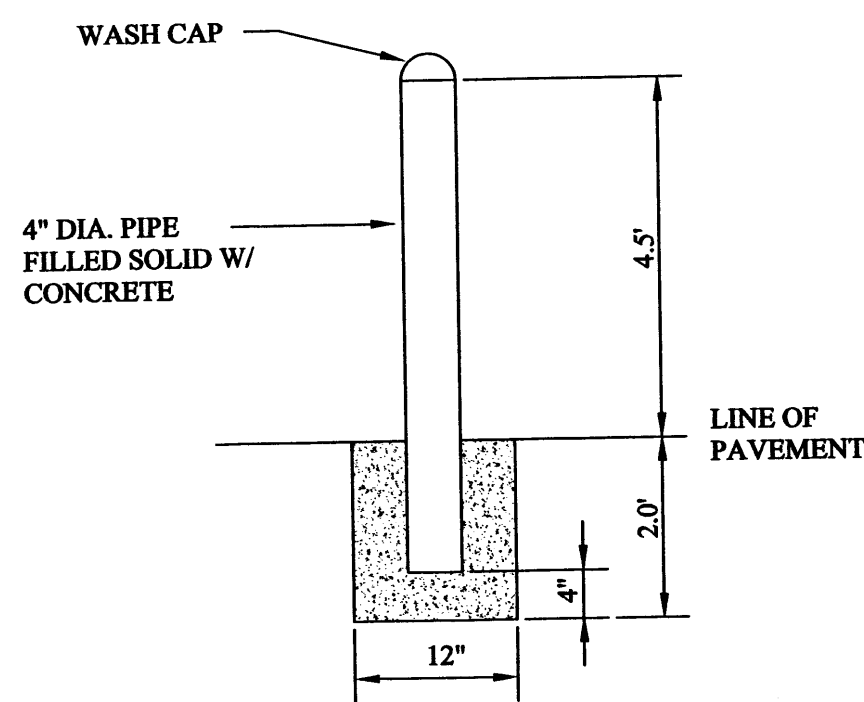
**LOTS 1 & 2, BLOCK 1, INDIAN REST
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200447-GR.DWG	SHH	11-02-2004	1 OF 1

ROUGH GRADING APPROVAL

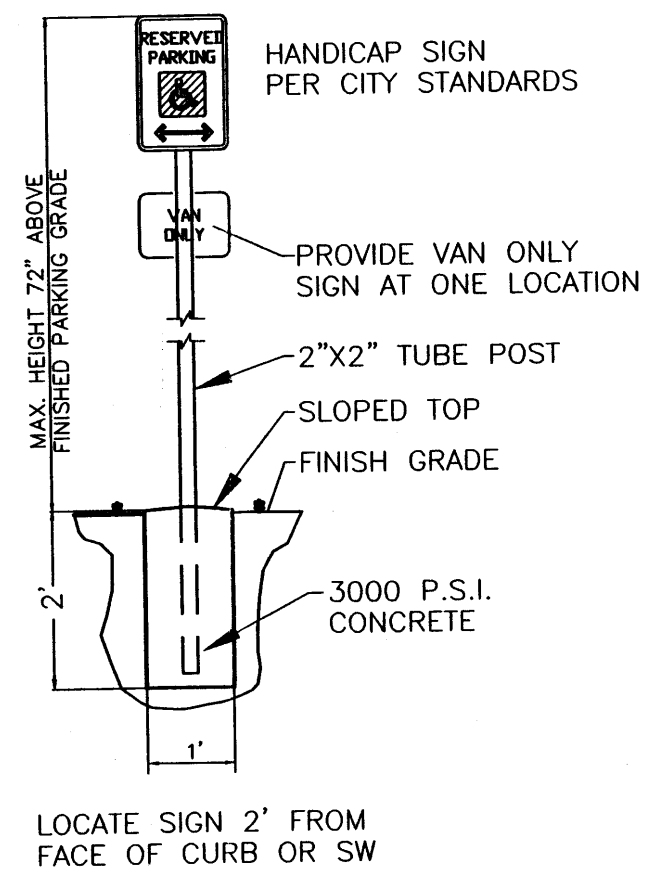
DATE

LAST REVISION: 11-02-2004



PIPE POST DETAIL

NTS

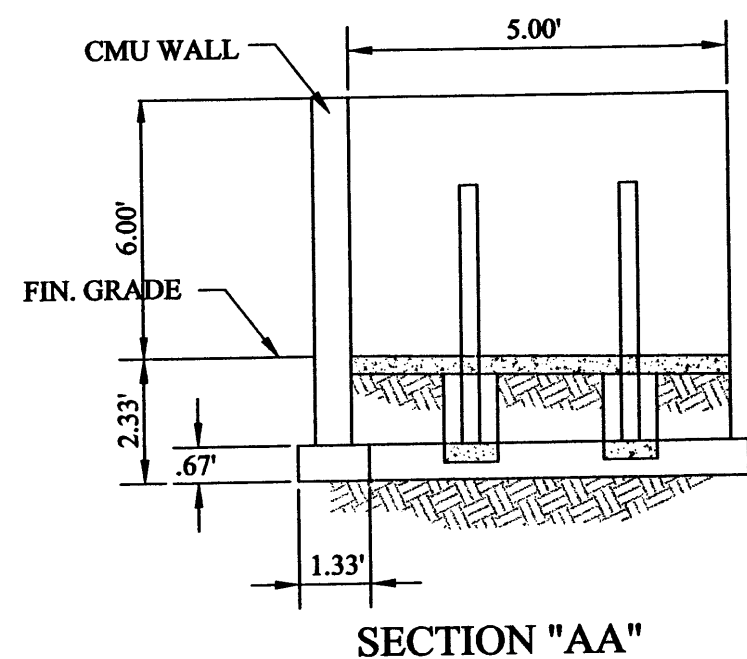


HANDICAP SIGN DETAIL

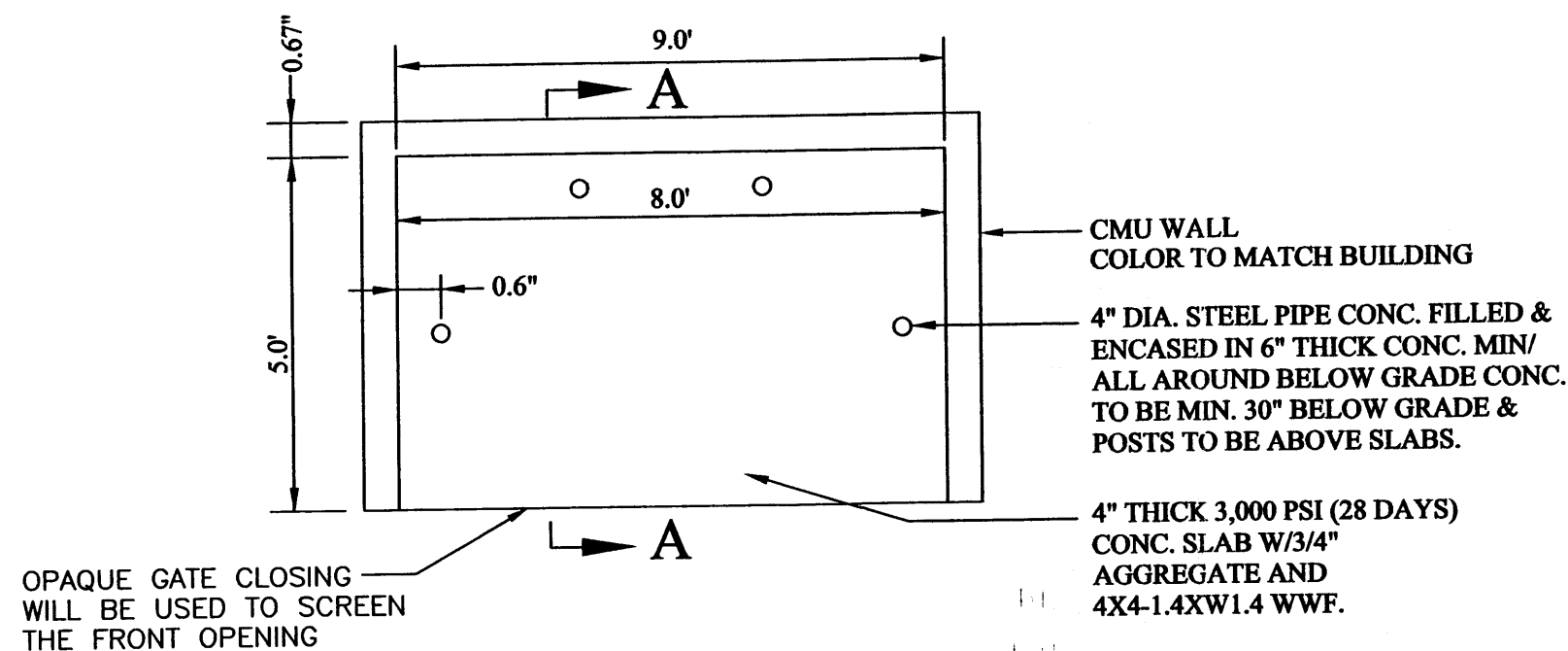
NTS

LEGEND

---	BOUNDARY LINE
---	PROPOSED BUILDING
---	EXISTING EASEMENT
---	PROPOSED CURB ON SITE
---	EXISTING CURB & GUTTER
---	NUMBER OF PROPOSED PARKING



SECTION "AA"



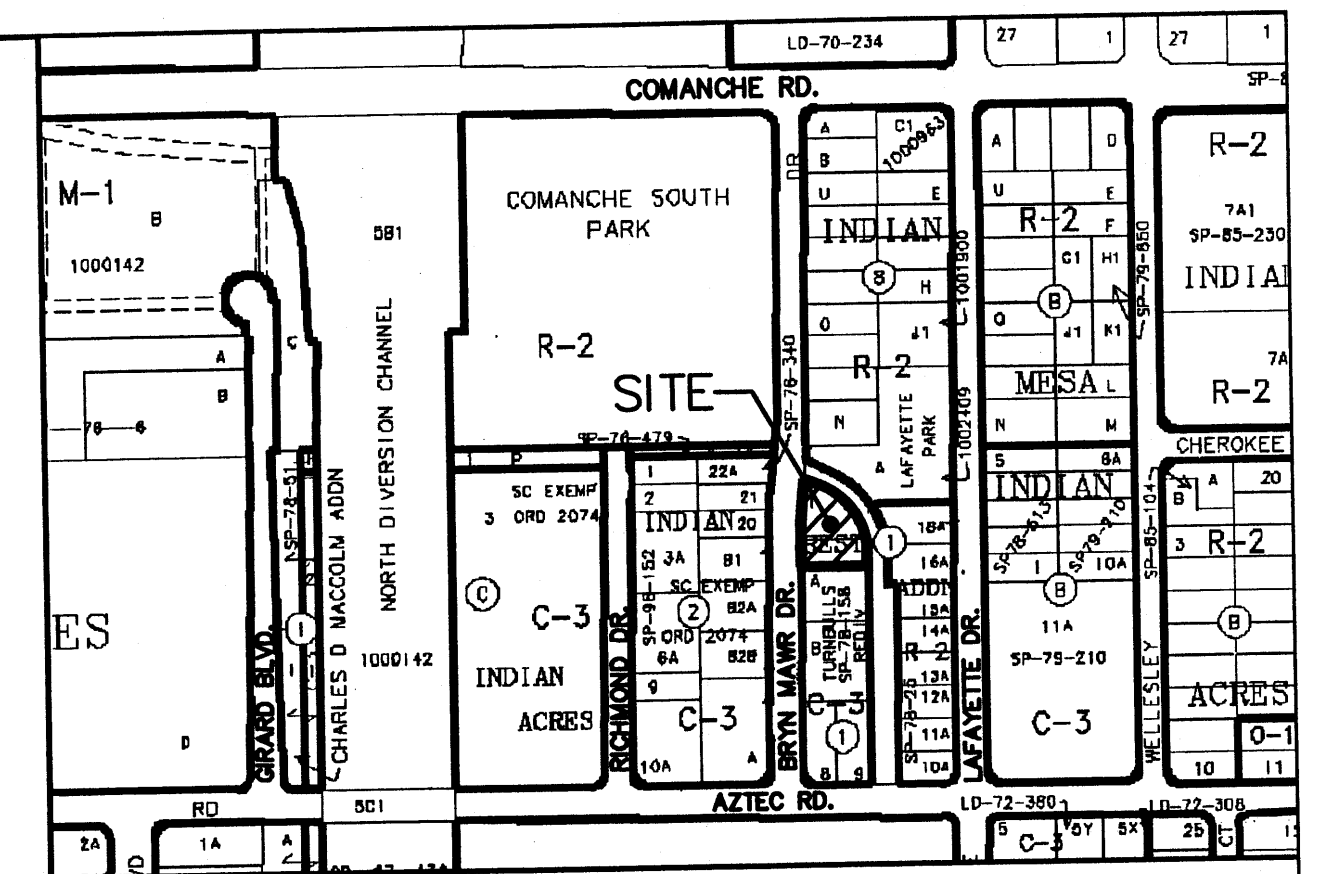
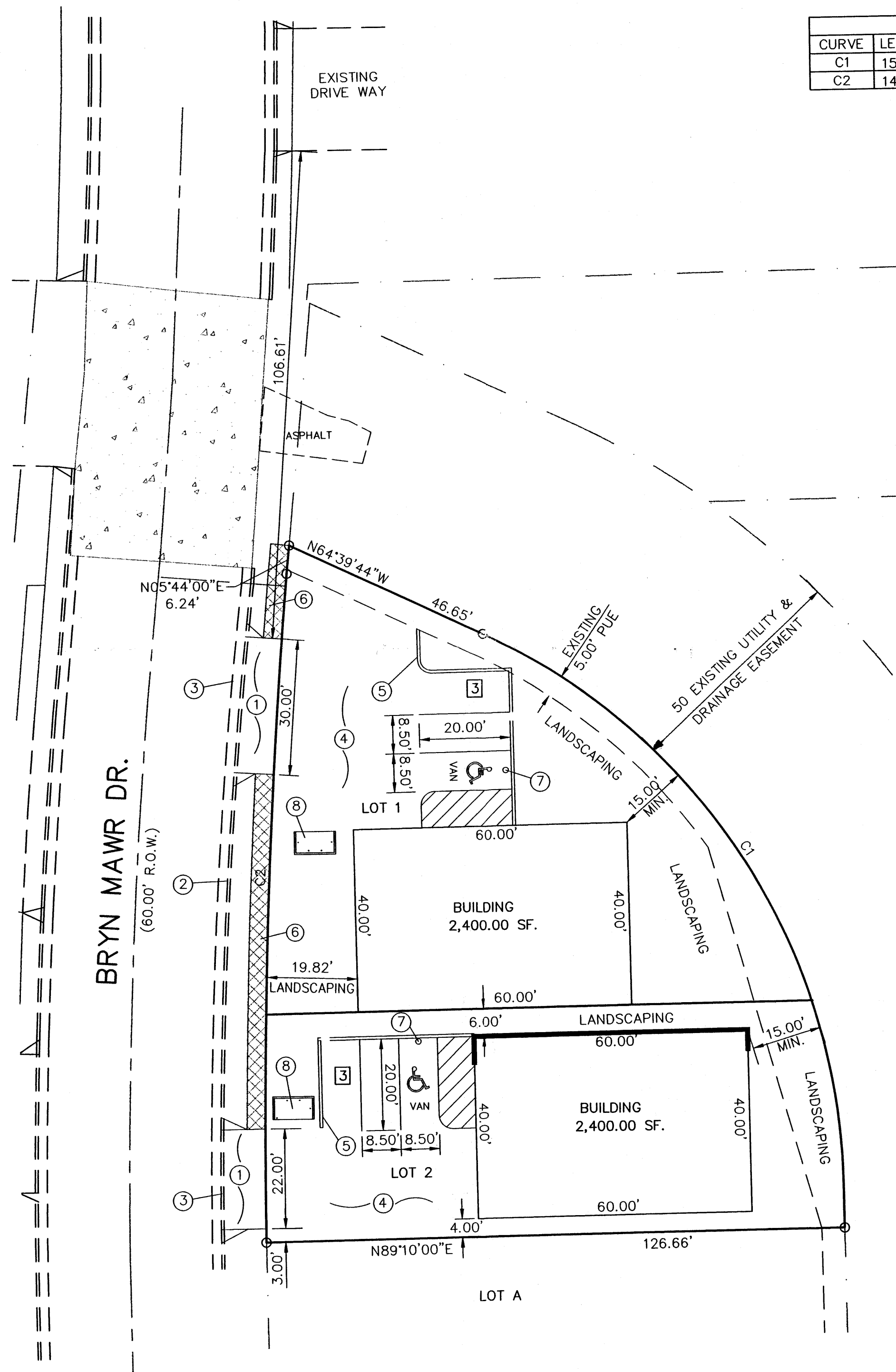
RULE UP DUMPSTER ENCLOSURE DETAIL

NTS

NOTES:

1. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW 4' SIDEWALK.
7. INSTALL HANDICAP SIGN (SEE DETAIL THIS SHEET).
8. TRASH ENCLOSURE (SEE DETAIL THIS SHEET).

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	151.76'	136.81	63°33'25"	84.75	144.10	N32°36'42"W
C2	147.16'	1510.95	05°34'49"	73.64	147.10	S02°21'27"W



VICINITY MAP:

G-16-Z

LEGAL DESCRIPTION:

LOTS 1 AND 2, BLOCK 1, INDIAN REST, CONTAINING 14,271.00 SF. (0.3276 AC.)
ZONING: C-3

SITE DATA

LOT 1:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 8,039.60 SF. (0.1846 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:

NET LOT AREA 5,639.60 SF ±
LANDSCAPING REQUIRED: 845.00 SF ±
15% OF 5,639 SF

PARKING CALCULATIONS:

PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

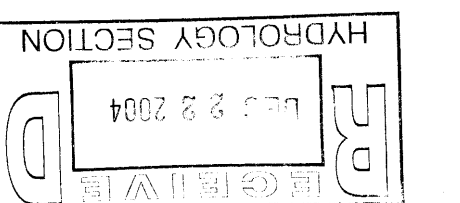
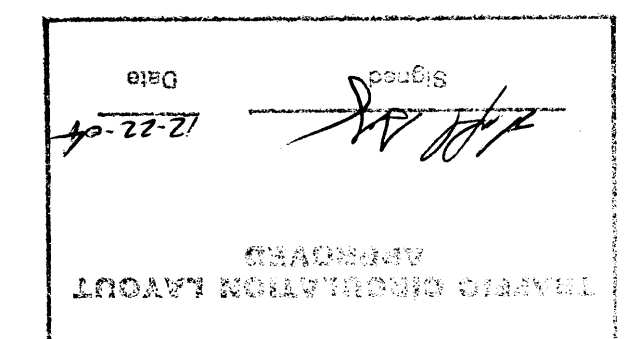
LOT 2:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 6,231.40 SF. (0.1431 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:

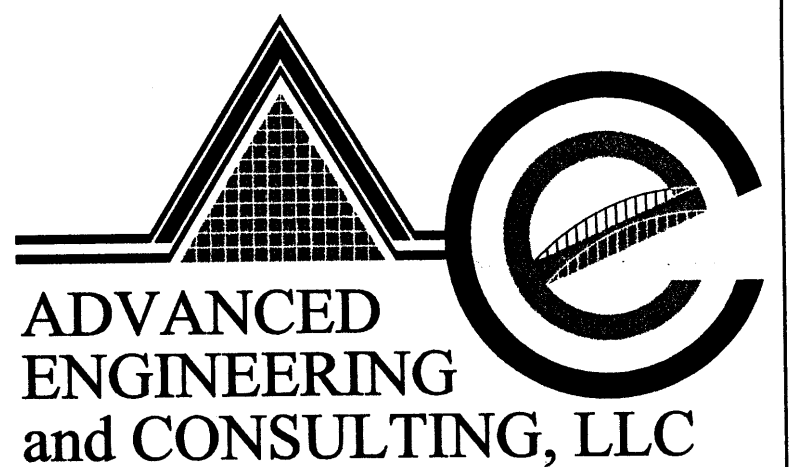
NET LOT AREA 3,831.40 SF ±
LANDSCAPING REQUIRED: 575.00 SF ±
15% OF 3,831 SF

PARKING CALCULATIONS:

PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

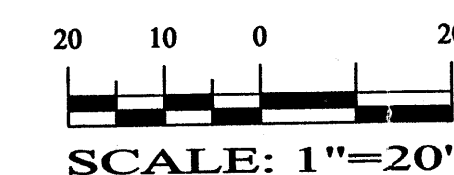


SHAHAB BIAZAR
P.E. #13479



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

GRAPHIC SCALE



SCALE: 1"=20'

LAST REVISION: 12-21-2004

LOTS 1 & 2, BLOCK 1, INDIAN REST SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200447-ST.DWG	SHH	10-28-2004	1 OF 1

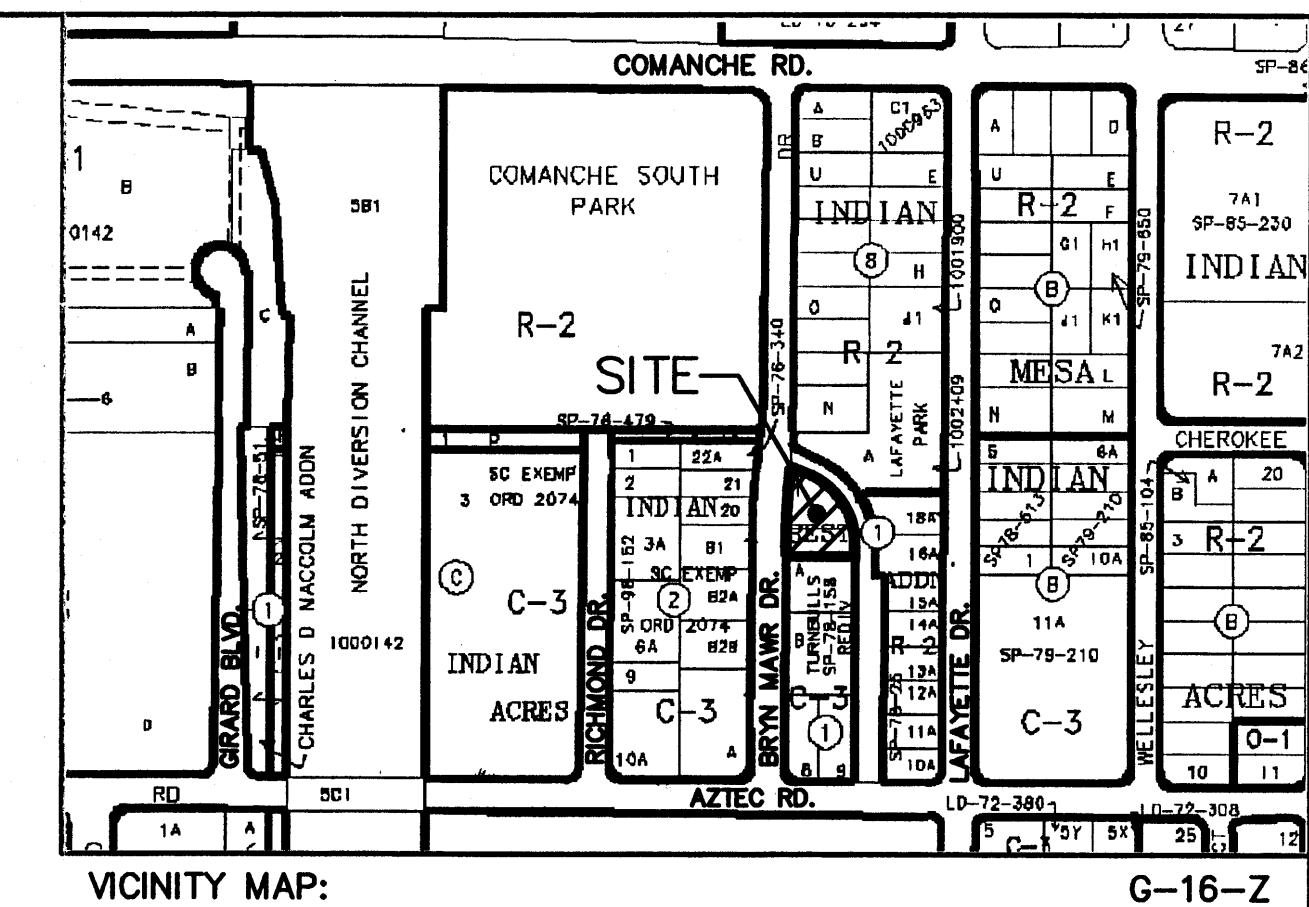
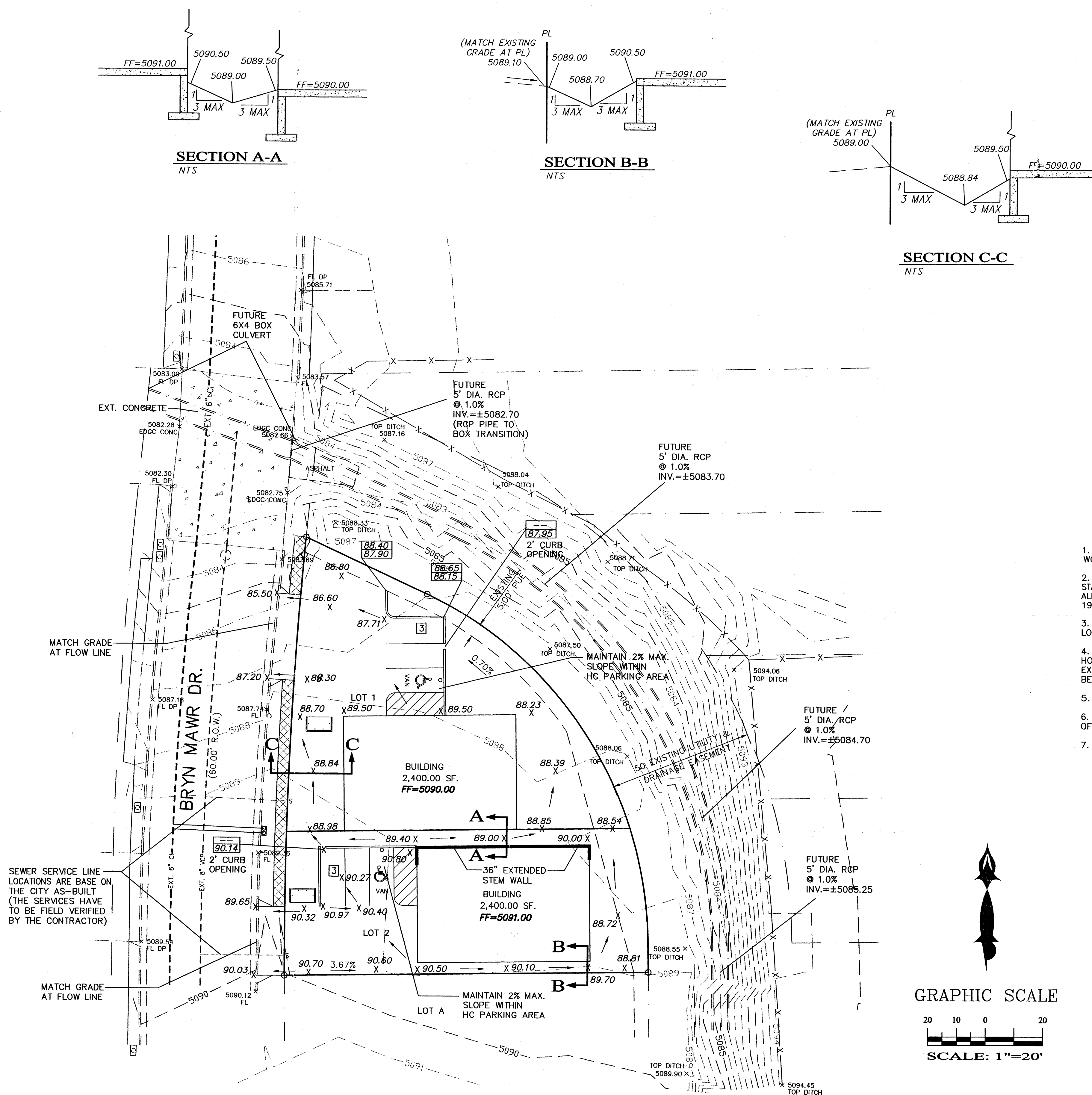
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EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

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6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- | | |
|--|---------------------------------|
| | EXISTING SAS MANHOLE |
| | EXISTING METER |
| | EXISTING VALVE W/BOX |
| | EXISTING FIRE HYDRANT |
| | EXISTING 8" SANITARY SEWER LINE |
| | EXISTING 16" WATER LINE |
| | EXISTING CURB & GUTTER |
| | PROPOSED CURB & GUTTER |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | BOUNDARY LINE |
| | EASEMENT |
| | LIMITS OF TOP OF EXISTING SLOPE |
| | PROPOSED SIDEWALK |
| | PROPOSED GRADE |
| | PROPOSED SPOT ELEVATION |
| | EXISTING GRADE |
| | EXISTING POWER LINES |
| | EXISTING FENCE |
| | PROPOSED RETAINING WALL |
| | PROPOSED EXTENDED STEM WALL |
| | TOP OF RETAINING WALL |
| | TOP OF FOOTING |
| | TOP OF EXTENDED STEM WALL |
| | TOP OF FOOTING |
| | SINGLE "A" INLET |
| | DOUBLE "A" INLET |

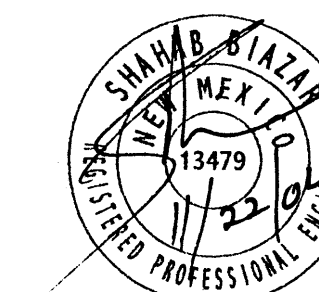
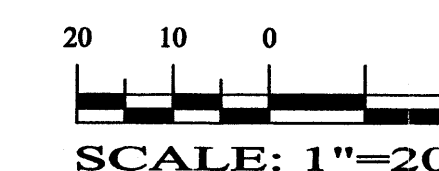


LEGAL DESCRIPTION:
 LOTS 1 AND 2, BLOCK 1, INDIAN REST
 CONTAINING 14,271.00 SQUARE FEET (0.3276 ACRES)
 MORE OR LESS.

NOTICE TO CONTRACTORS

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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRAPHIC SCALE



SHAHAB BAZAR
 P.E. #13479

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 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

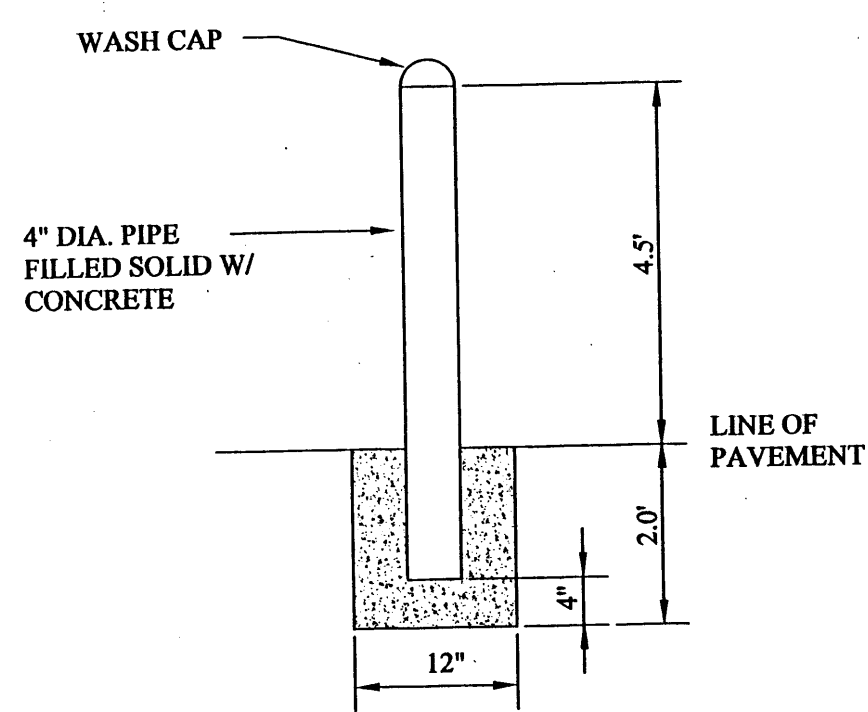
**LOTS 1 & 2, BLOCK 1, INDIAN REST
 GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200447-GR.DWG	SHH	11-02-2004	1 OF 1

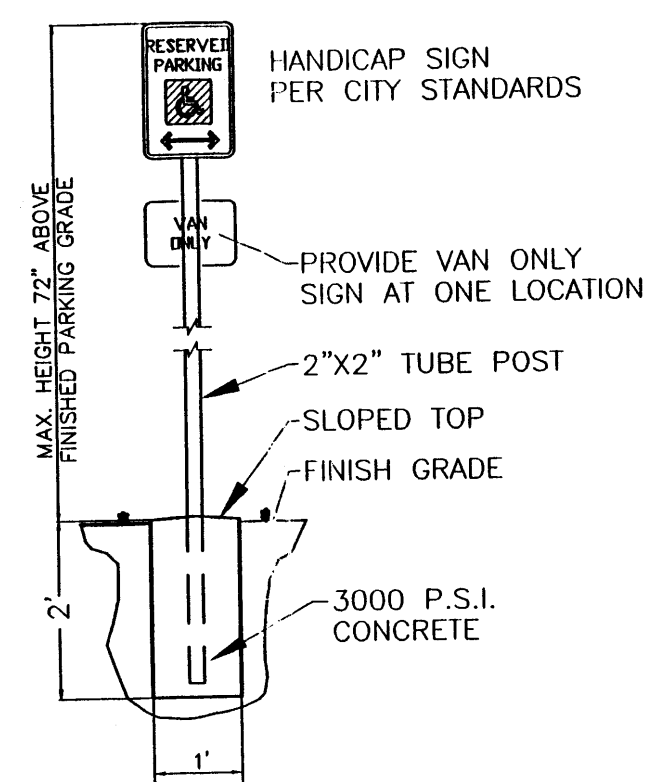
ROUGH GRADING APPROVAL

DATE

LAST REVISION: 11-22-2011



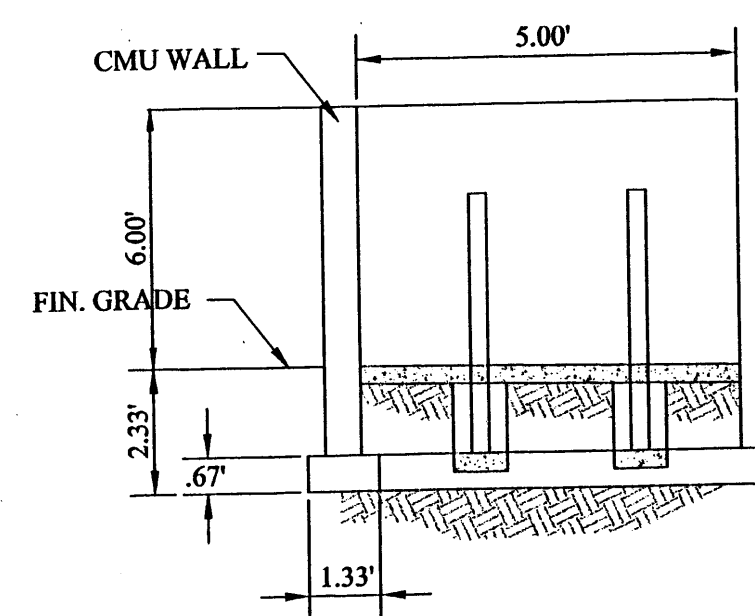
PIPE POST DETAIL
NTS



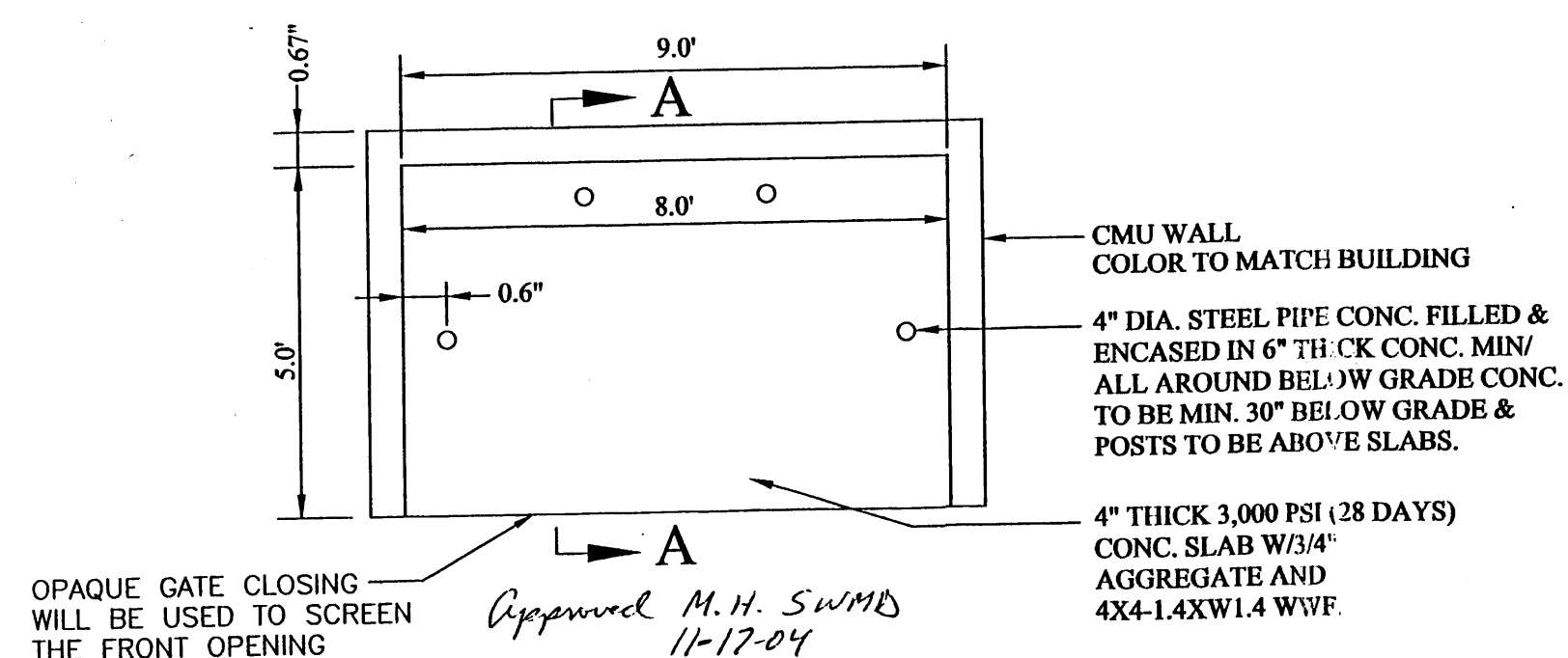
HANDICAP SIGN DETAIL
NTS

LEGEND

---	BOUNDARY LINE
---	PROPOSED BUILDING
---	EXISTING EASEMENT
---	PROPOSED CURB ON SITE
---	EXISTING CURB & GUTTER
[3]	NUMBER OF PROPOSED PARKING



SECTION "AA"

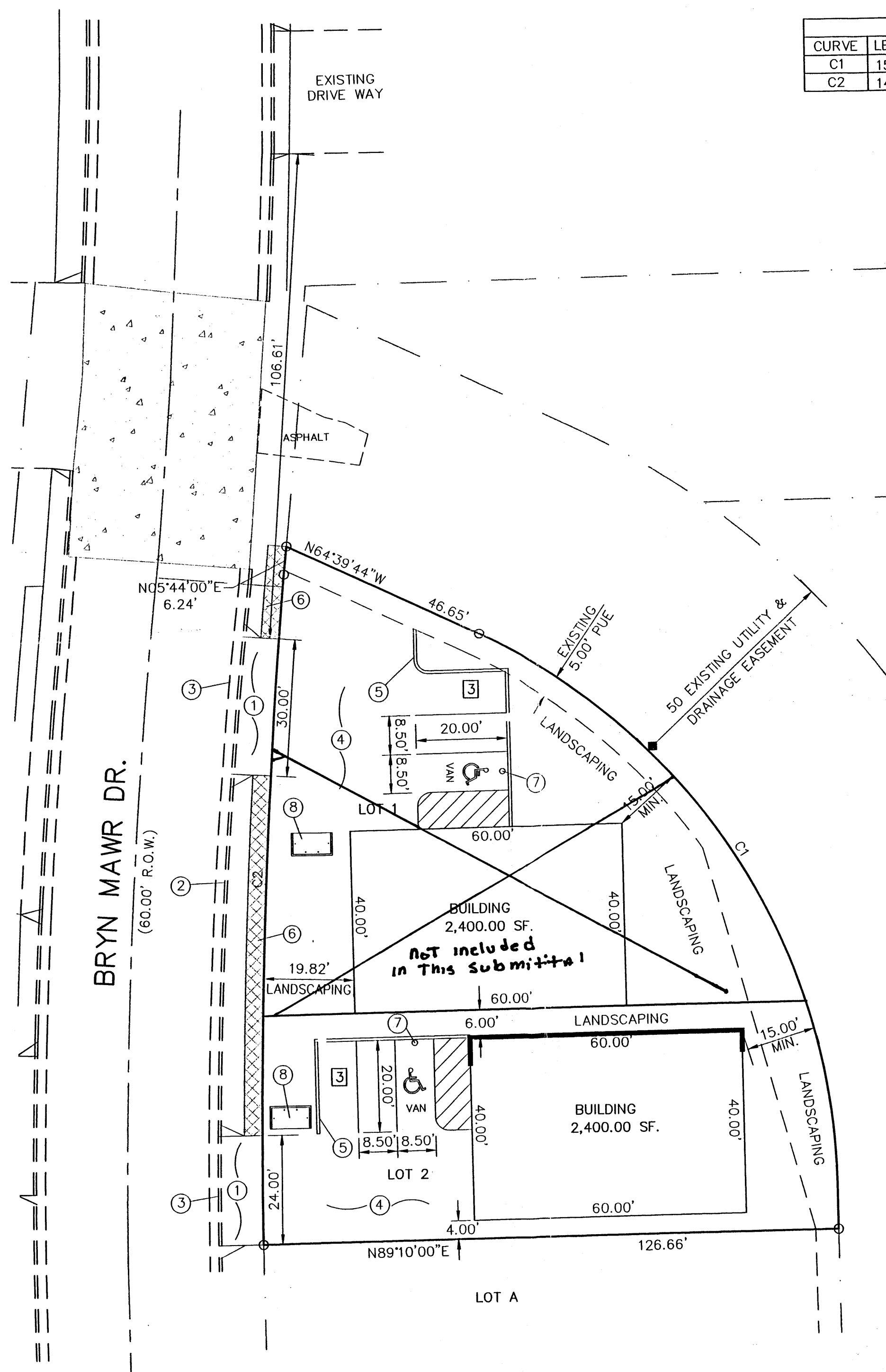


RULE UP DUMPSTER ENCLOSURE DETAIL
NTS

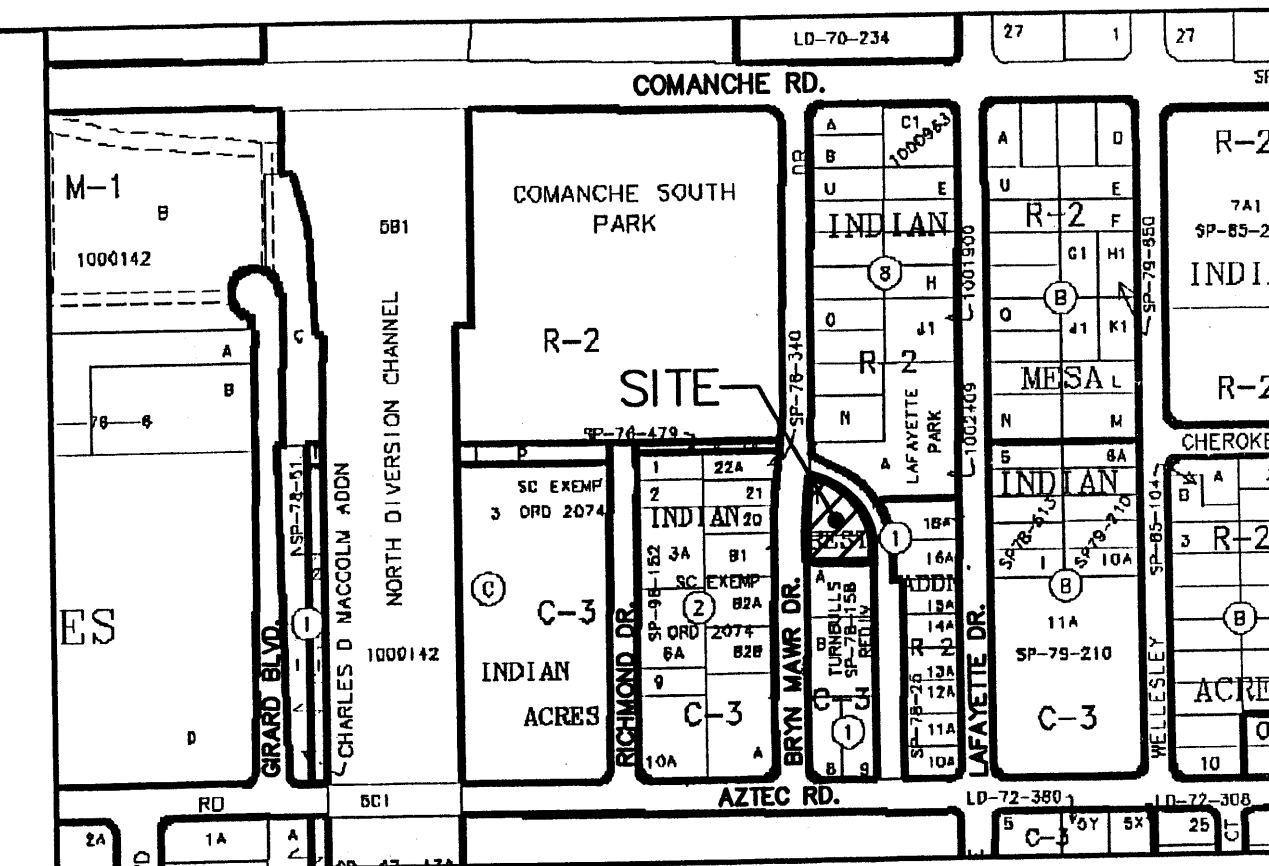
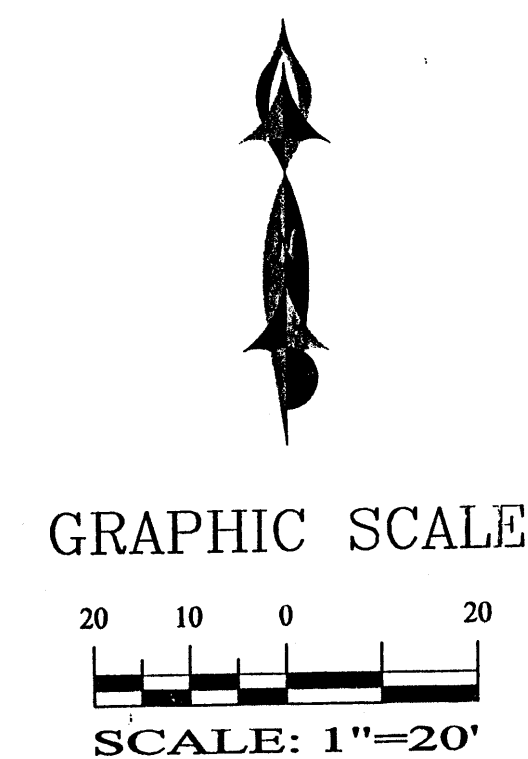
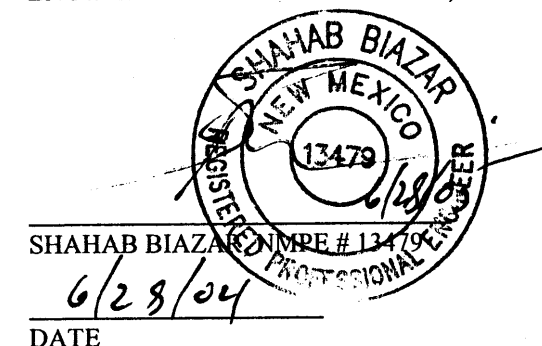
NOTES:

1. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW 4' SIDEWALK.
7. INSTALL HANDICAP SIGN (SEE DETAIL THIS SHEET).
8. TRASH ENCLOSURE (SEE DETAIL THIS SHEET).

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	151.76'	136.81	63°33'25"	84.75	144.10	N32°36'42"W
C2	147.16'	1510.95	05°34'49"	73.64	147.10	S02°21'27"W



I SHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED SITE PLAN (BY CITY TRANSPORTATION) DATED NOVEMBER 17, 2004. THE SITE WAS INSPECTED ON BEHALF OF PATRICK APODACA BY ADVANCED ENGINEERING AND CONSULTING, LLC ON JUNE 24, 2005.



LEGAL DESCRIPTION:

LOTS 1 AND 2, BLOCK 1, INDIAN REST, CONTAINING 14,271.00 SF. (0.3276 AC.)
ZONING: C-3

SITE DATA

LOT 1:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 8,039.60 SF. (0.1846 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTIBLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:
NET LOT AREA: 5,639.60 SF ±
LANDSCAPING REQUIRED: 845.00 SF ±
15% OF 5,639 SF

PARKING CALCULATIONS:

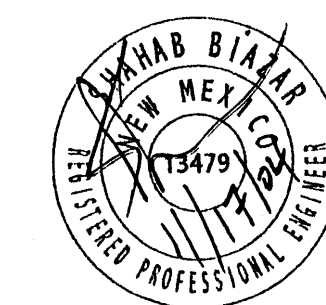
PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

LOT 2:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 6,231.40 SF. (0.1431 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTIBLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:
NET LOT AREA: 3,831.40 SF ±
LANDSCAPING REQUIRED: 575.00 SF ±
15% OF 3,831 SF

PARKING CALCULATIONS:

PARKING REQUIRED:
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TOTAL PARKING PROVIDED: 3 SPACES
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SHAHAB BIAZAR
P.E. #13479

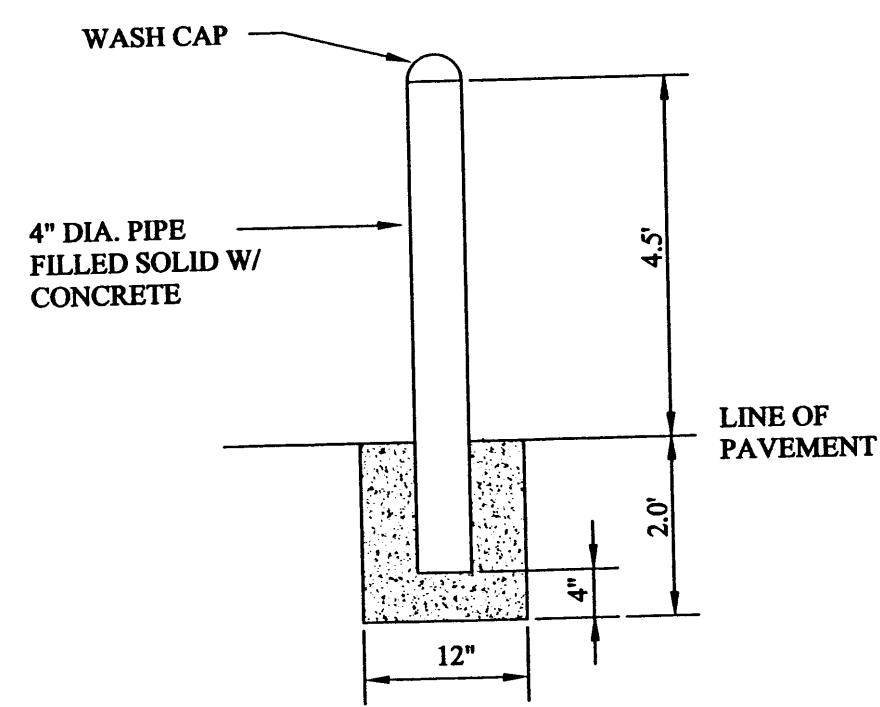


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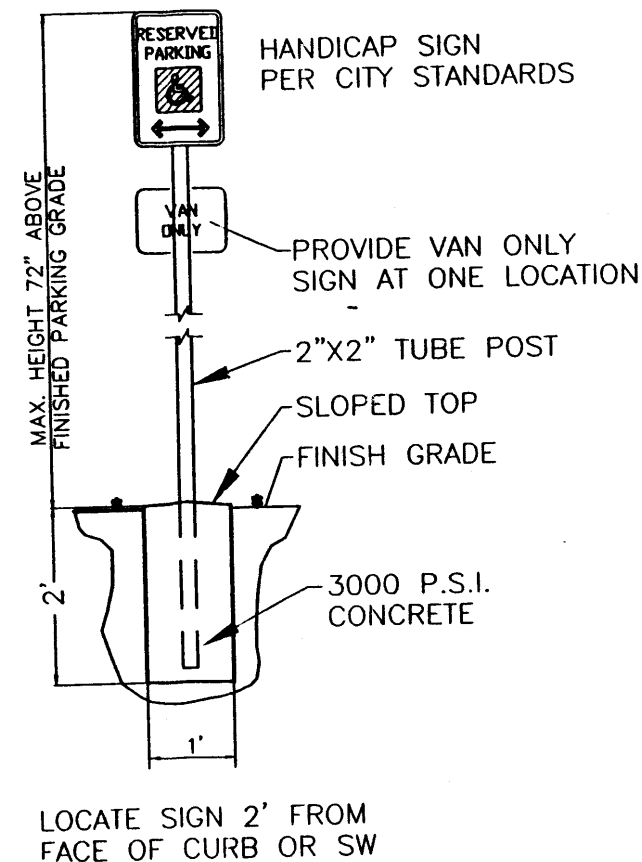
LOTS 1 & 2, BLOCK 1, INDIAN REST SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200447-ST.DWG	SHH	10-28-2004	1 OF 1

LAST REVISION: 11-16-2004



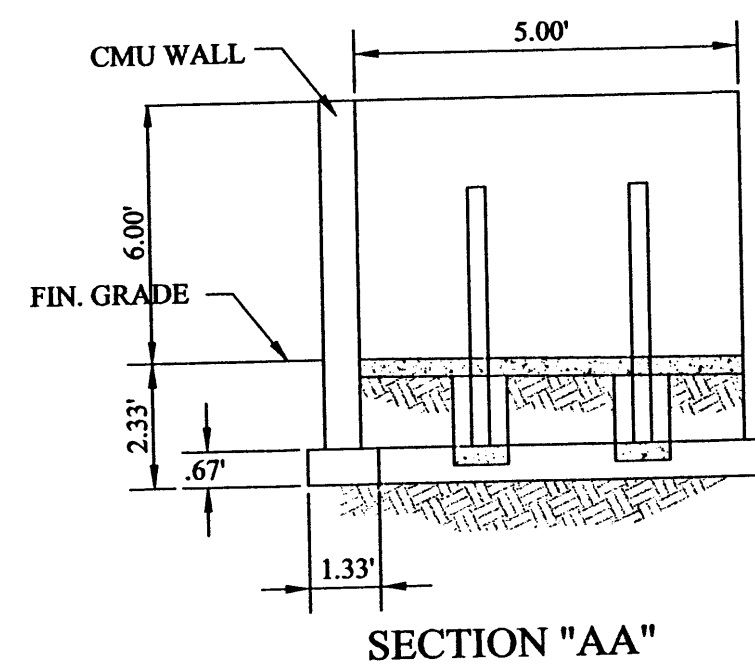
PIPE POST DETAIL
NTS



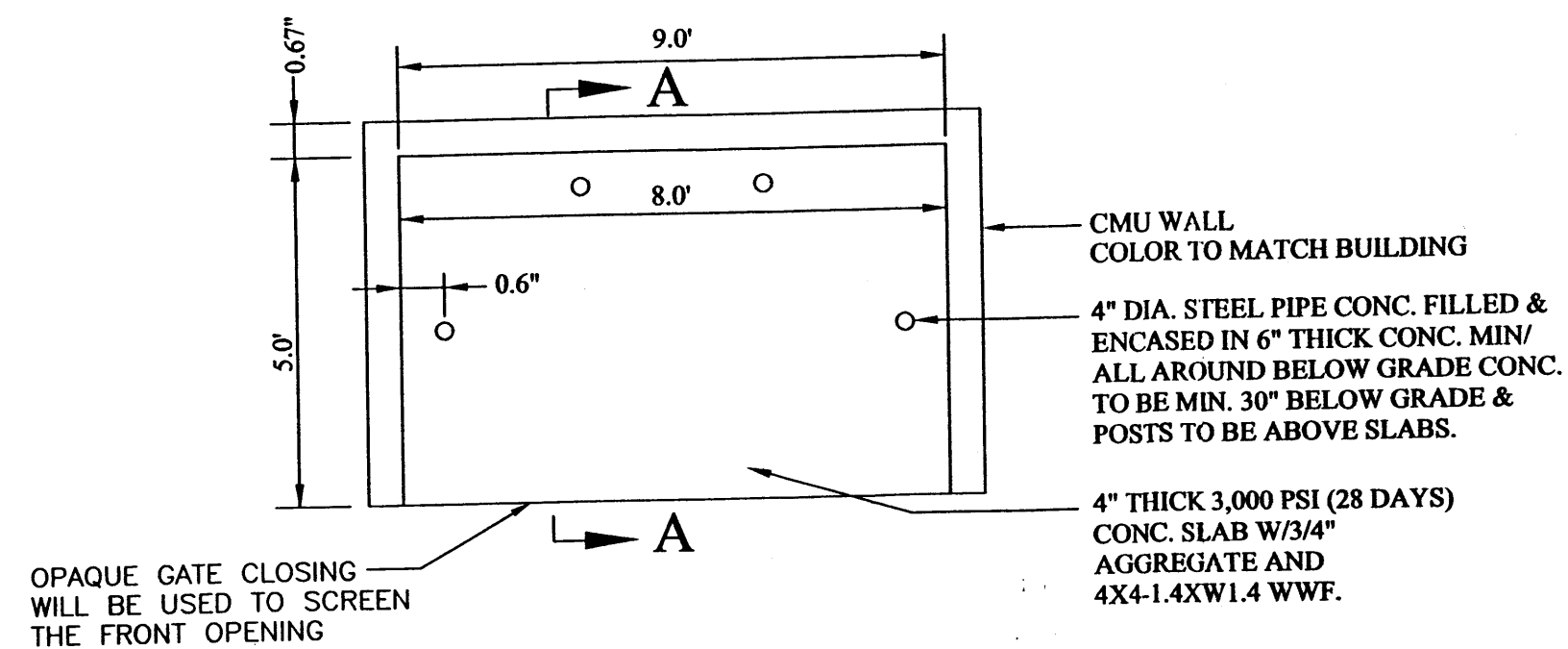
HANDICAP SIGN DETAIL
NTS

LEGEND

—	BOUNDARY LINE
—	PROPOSED BUILDING
- - -	EXISTING EASEMENT
—	PROPOSED CURB ON SITE
==	EXISTING CURB & GUTTER
[3]	NUMBER OF PROPOSED PARKING



SECTION "AA"

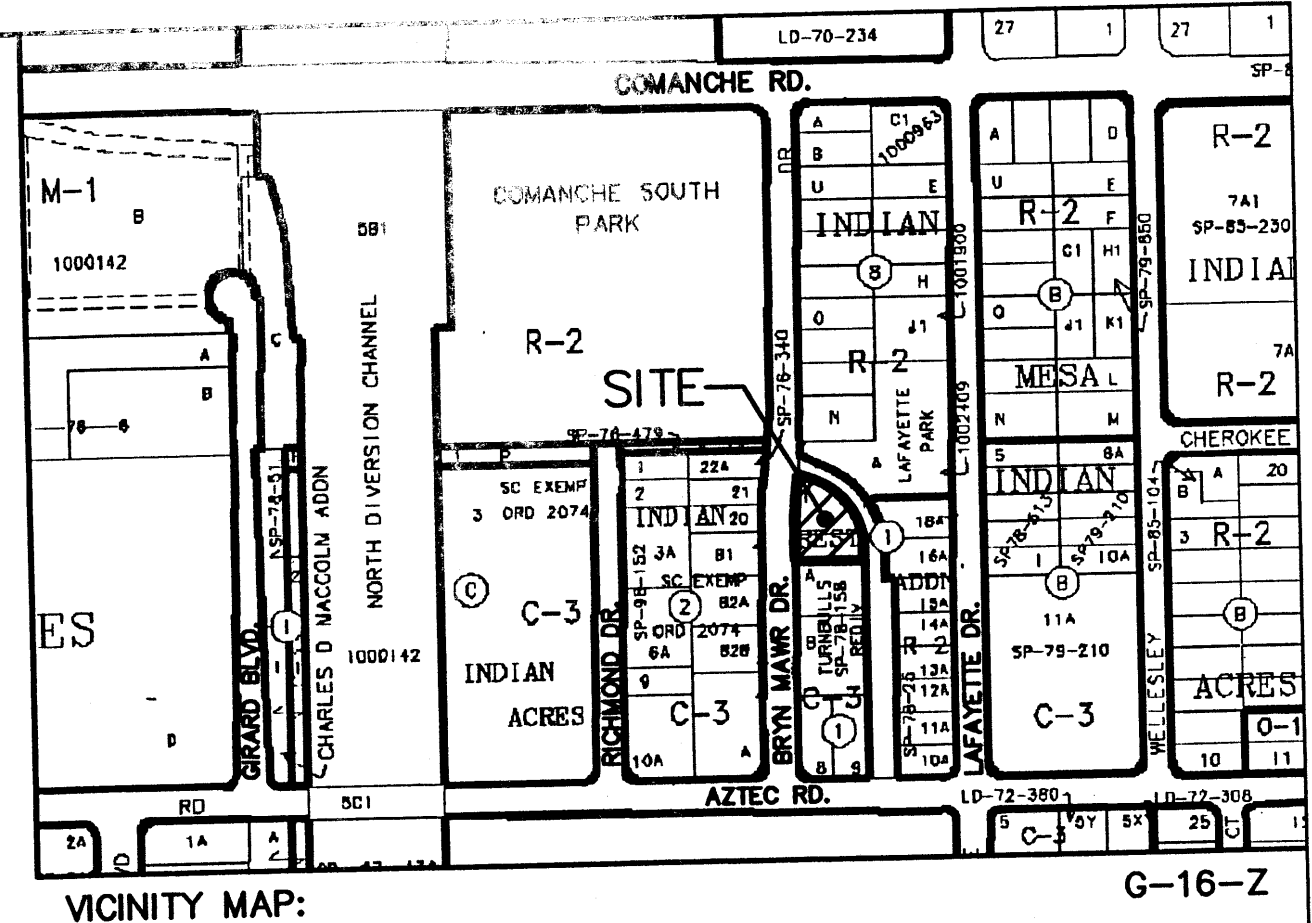
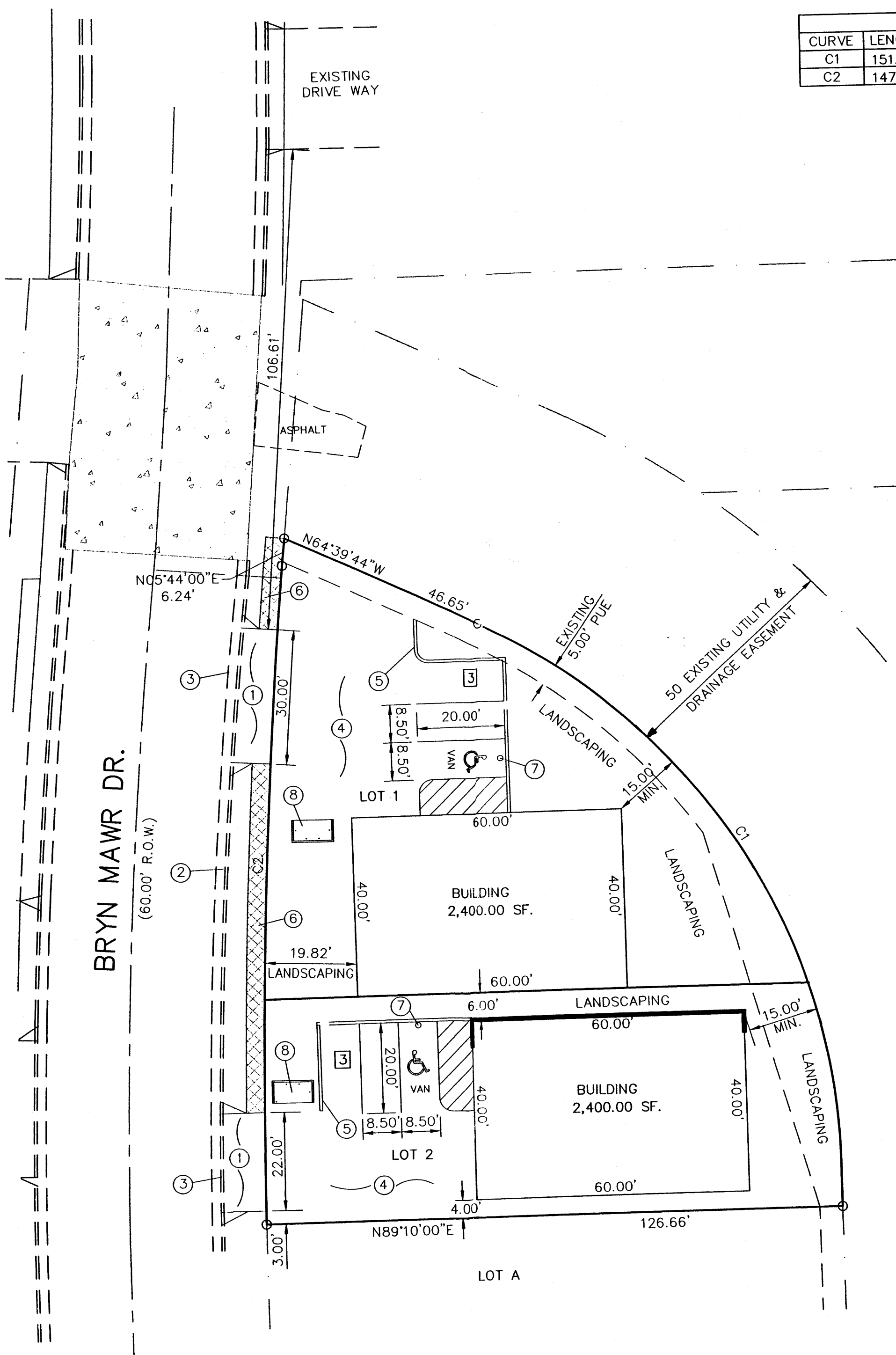


RULE UP DUMPSTER ENCLOSURE DETAIL
NTS

NOTES:

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2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW 4' SIDEWALK.
7. INSTALL HANDICAP SIGN (SEE DETAIL THIS SHEET).
8. TRASH ENCLOSURE (SEE DETAIL THIS SHEET).

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	151.76'	136.81	63°33'25"	84.75	144.10	N32°36'42"W
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LEGAL DESCRIPTION:

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ZONING: C-3

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GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:
NET LOT AREA: 5,639.60 SF ±
LANDSCAPING REQUIRED: 845.00 SF ±
15% OF 5,639 SF

PARKING CALCULATIONS:

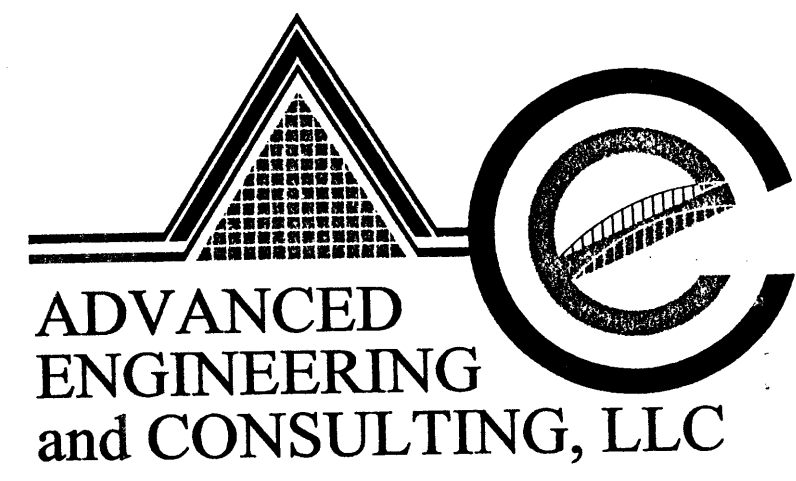
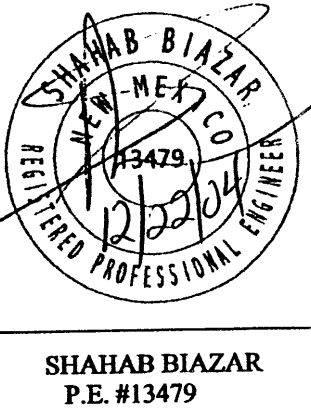
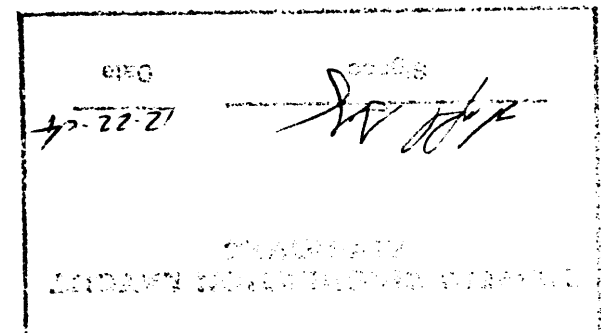
PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

LOT 2:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 6,231.40 SF. (0.1431 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:
NET LOT AREA: 3,831.40 SF ±
LANDSCAPING REQUIRED: 575.00 SF ±
15% OF 3,831 SF

PARKING CALCULATIONS:

PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

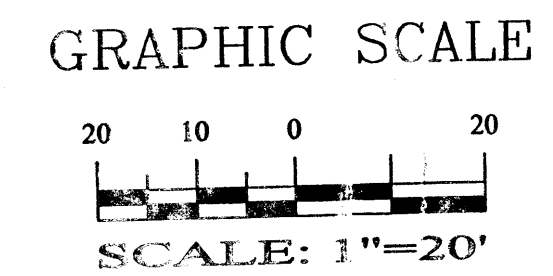


SHAHAB BIAZAR
P.E. #13479

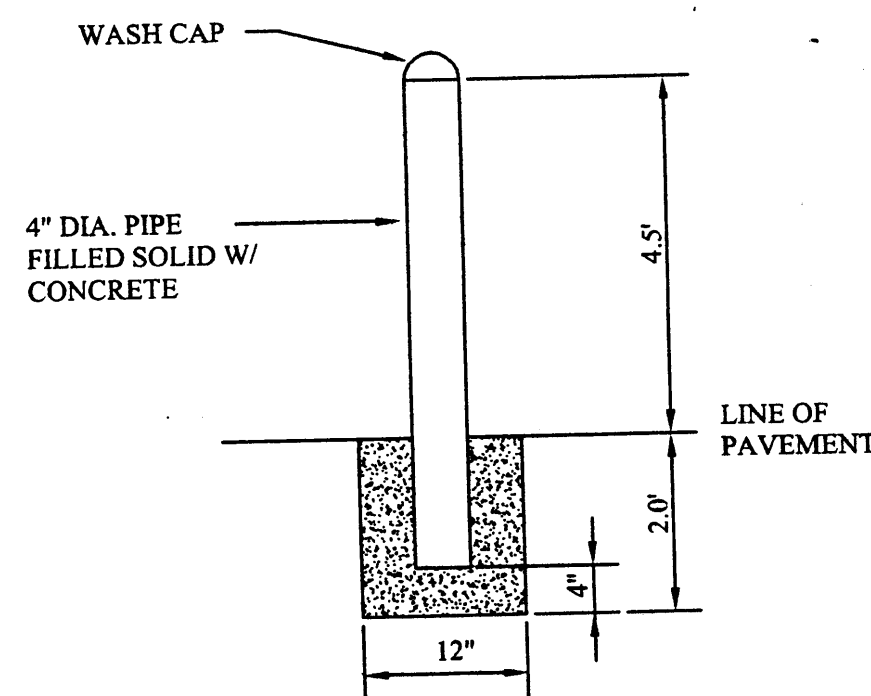
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

LOTS 1 & 2, BLOCK 1, INDIAN REST SITE PLAN

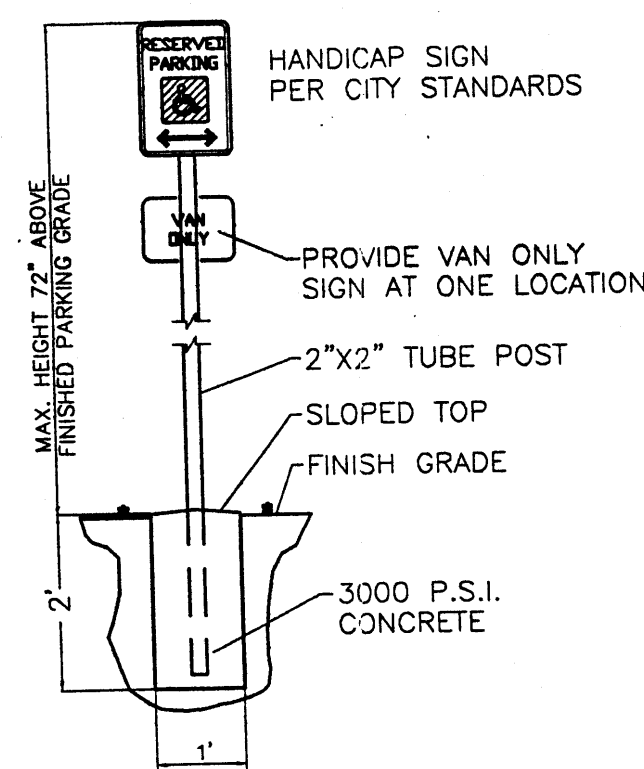
DRAWING:	DRAWN BY:	DATE:	SHEET #
200447-ST.DWG	SHH	10-28-2004	1 OF 1



LAST REVISION: 12-31-2004



PIPE POST DETAIL
NTS

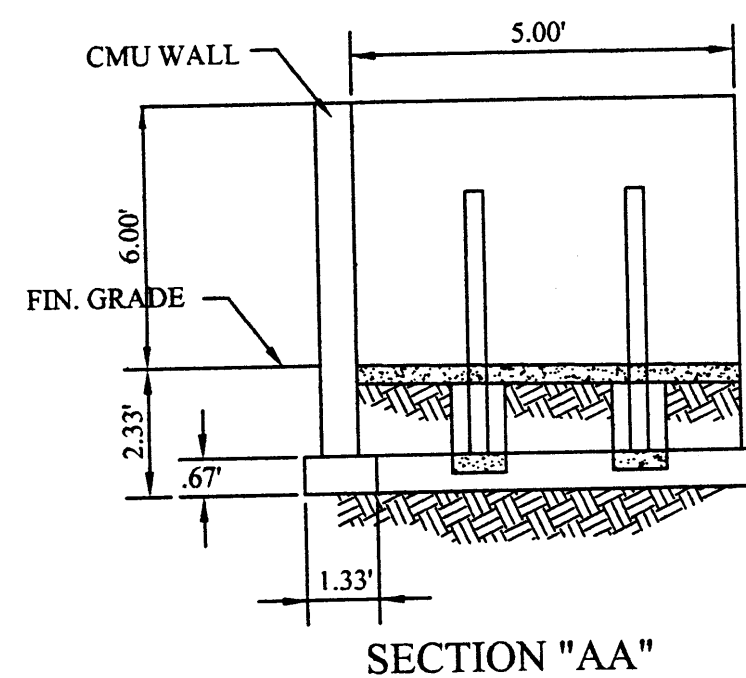


LOCATE SIGN 2' FROM
FACE OF CURB OR SW

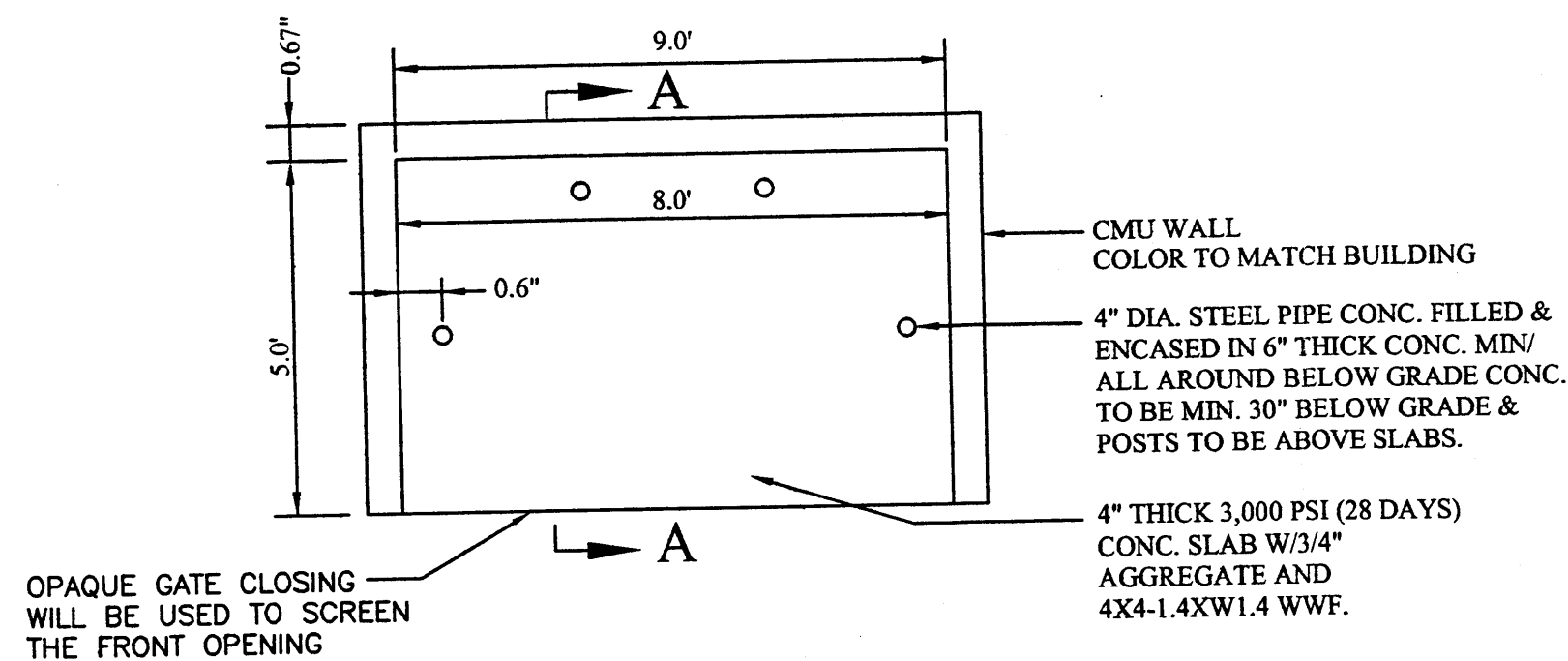
HANDICAP SIGN DETAIL
NTS

LEGEND

- BOUNDARY LINE
- PROPOSED BUILDING
- - - EXISTING EASEMENT
- PROPOSED CURB ON SITE
- == EXISTING CURB & GUTTER
- 3 NUMBER OF PROPOSED PARKING



SECTION "AA"

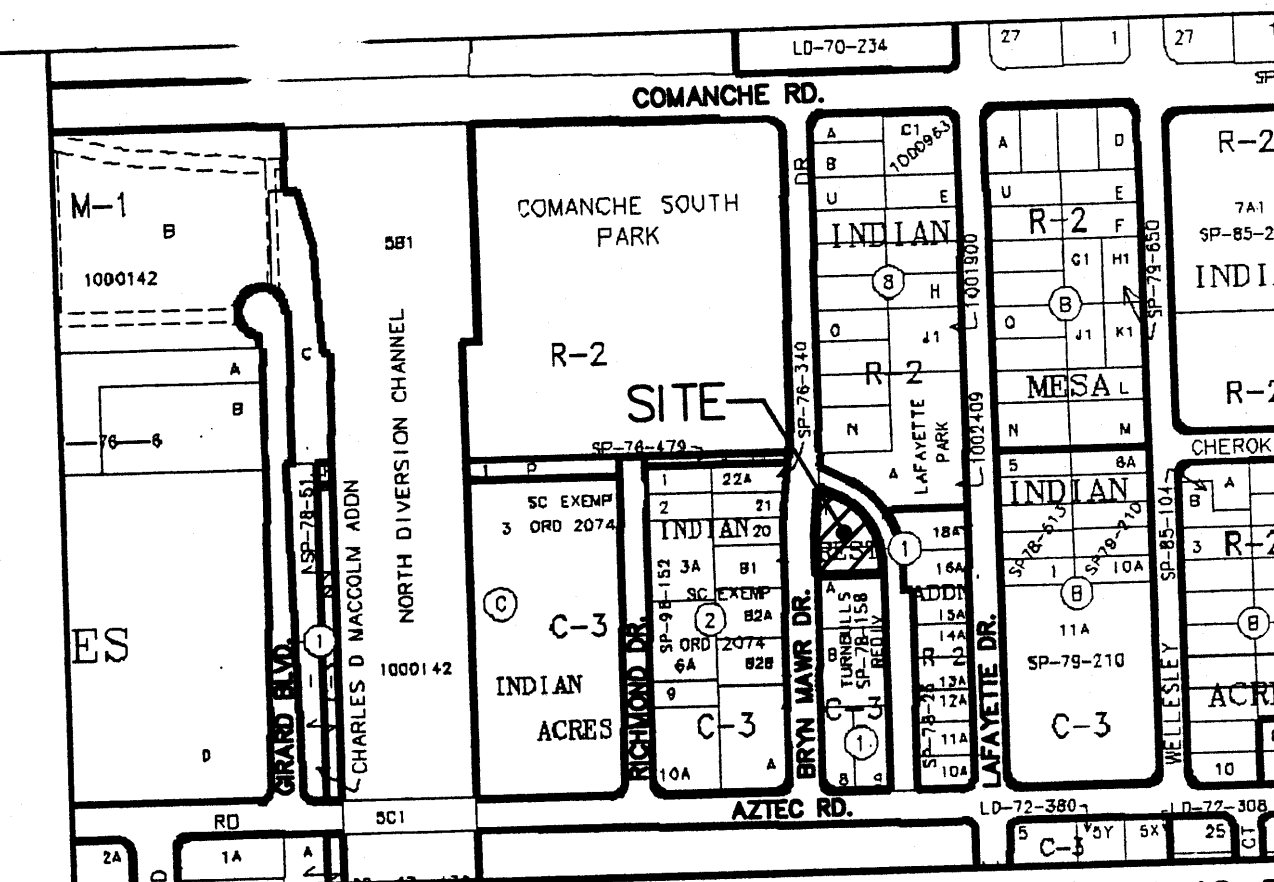


RULE UP DUMPSTER ENCLOSURE DETAIL
NTS

NOTES:

1. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW 4' SIDEWALK.
7. INSTALL HANDICAP SIGN (SEE DETAIL THIS SHEET).
8. TRASH ENCLOSURE (SEE DETAIL THIS SHEET).

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	151.76'	136.81	63°33'25"	84.75	144.10	N32°36'42"W
C2	147.16'	1510.95	05°34'49"	73.64	147.10	S02°21'27"W



VICINITY MAP:

G-16-Z

LEGAL DESCRIPTION:

LOTS 1, BLOCK 1, INDIAN REST, CONTAINING 14,271.00 SF. (0.3276 AC.)
ZONING: C-3

SITE DATA

LOT 1:
PROPOSED USAGE: WAREHOUSE
LOT AREA: 8,039.60 SF. (0.1846 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:

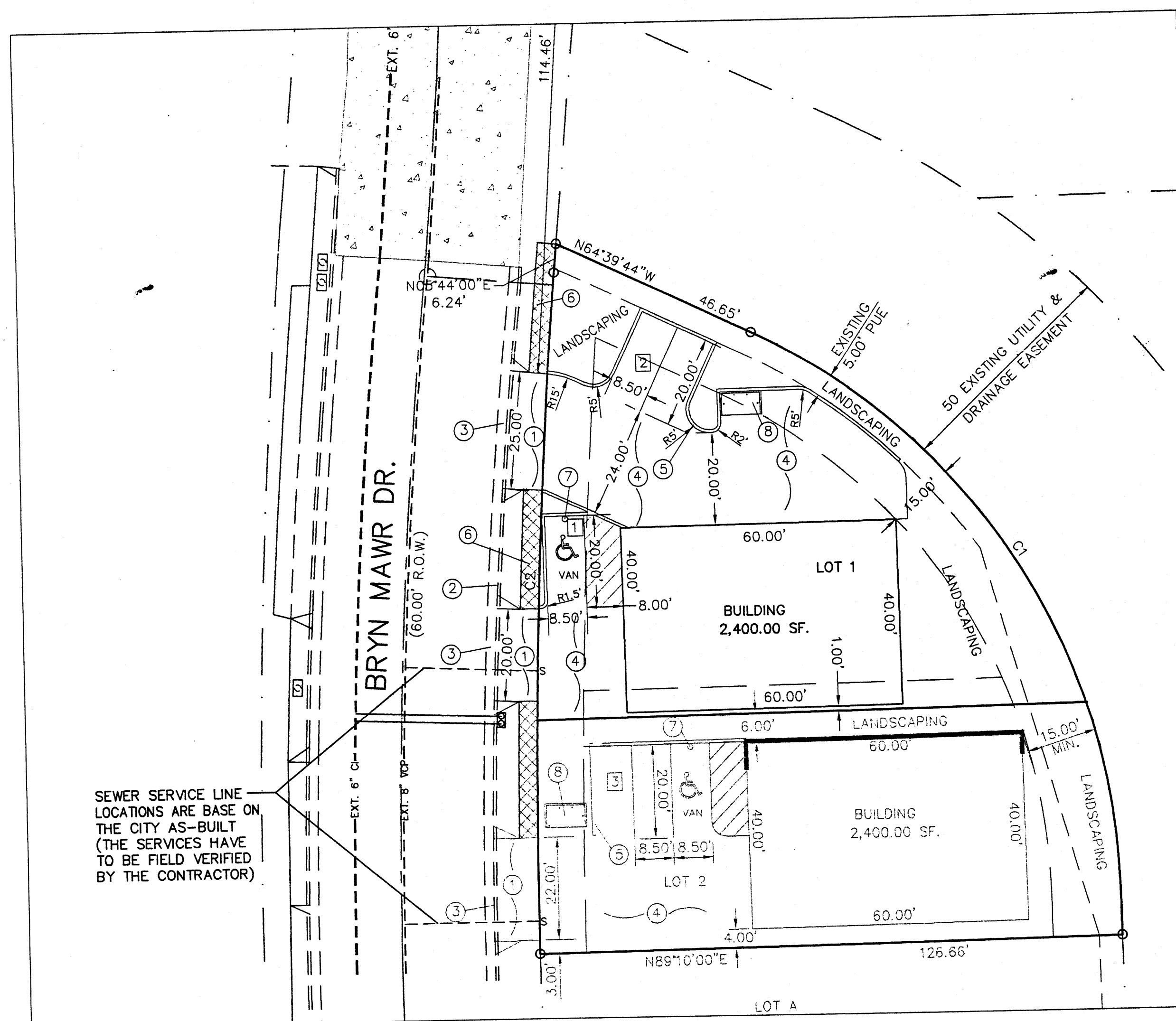
NET LOT AREA: 5,639.60 SF ±
LANDSCAPING REQUIRED: 845.00 SF ±
15% OF 5,639 SF
LANDSCAPING REQUIRED: 252.70 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:
WAREHOUSE: 2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED: 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 1 SPACES (1 VAN)

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

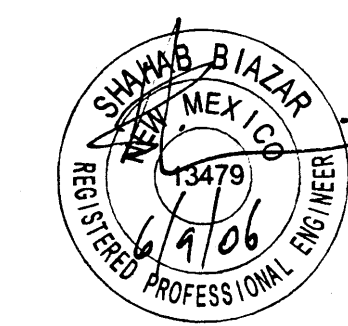
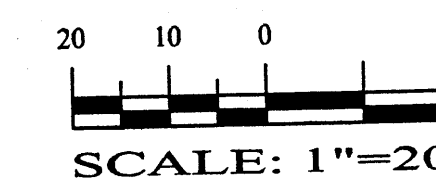
SOLID WASTE MANAGEMENT DATE



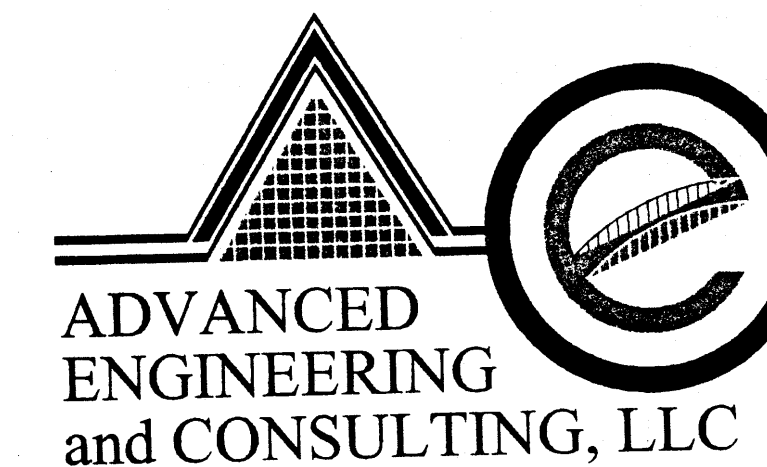
TRAFFIC CIRCULATION LAYOUT
APPROVED

6/9/06
Date

GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479



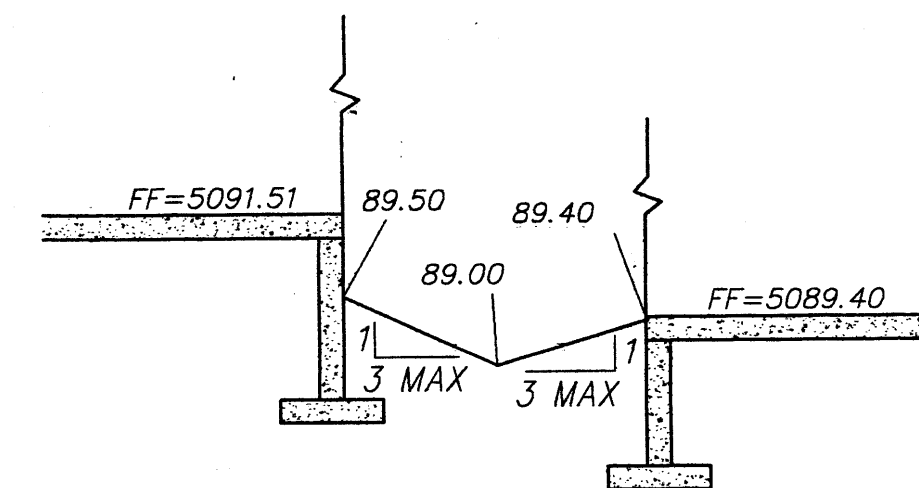
ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5570

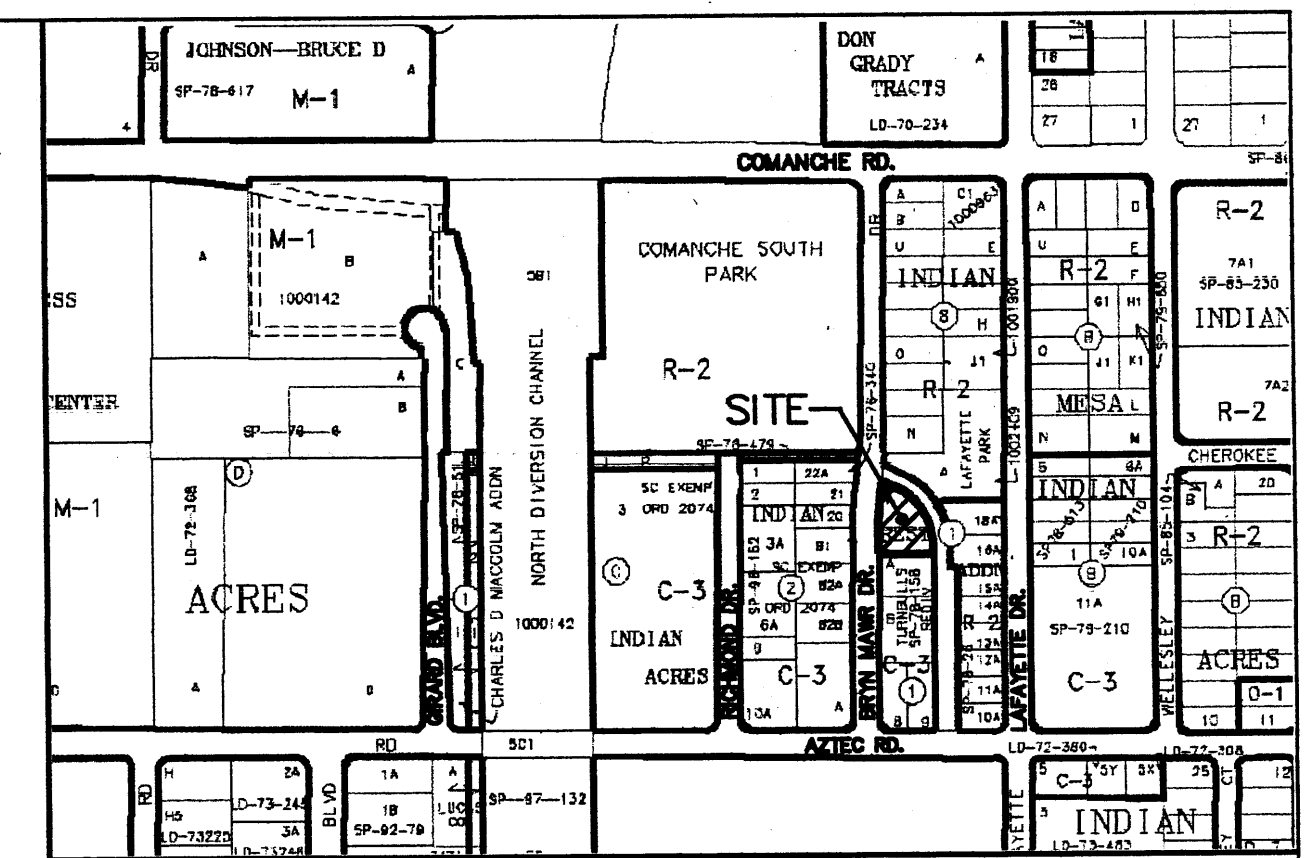
LOT 1, BLOCK 1, INDIAN REST SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200641-ST.DWG	SB	06-07-2006	1 OF 1

- GENERAL NOTES:**
- 1: ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-P-225 HAVING AN ELEVATION OF 5099.957 (NGVD 29) FEET ABOVE SEA LEVEL.
 - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 6: SLOPES ARE AT 3:1 MAXIMUM.



SECTION A-A
NTS



VICINITY MAP:

G-16-Z

LEGAL DESCRIPTION:

LOT 1, BLOCK 1, INDIAN REST
CONTAINING 14,271.00 SQUARE FEET (0.3276 ACRES)
MORE OR LESS.

ADDRESS:

3512 BRYN MAWR DR.

NOTICE TO CONTRACTORS

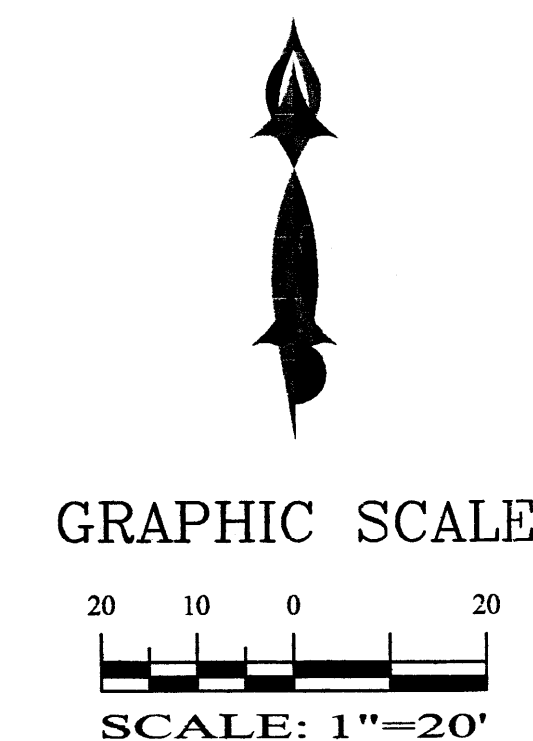
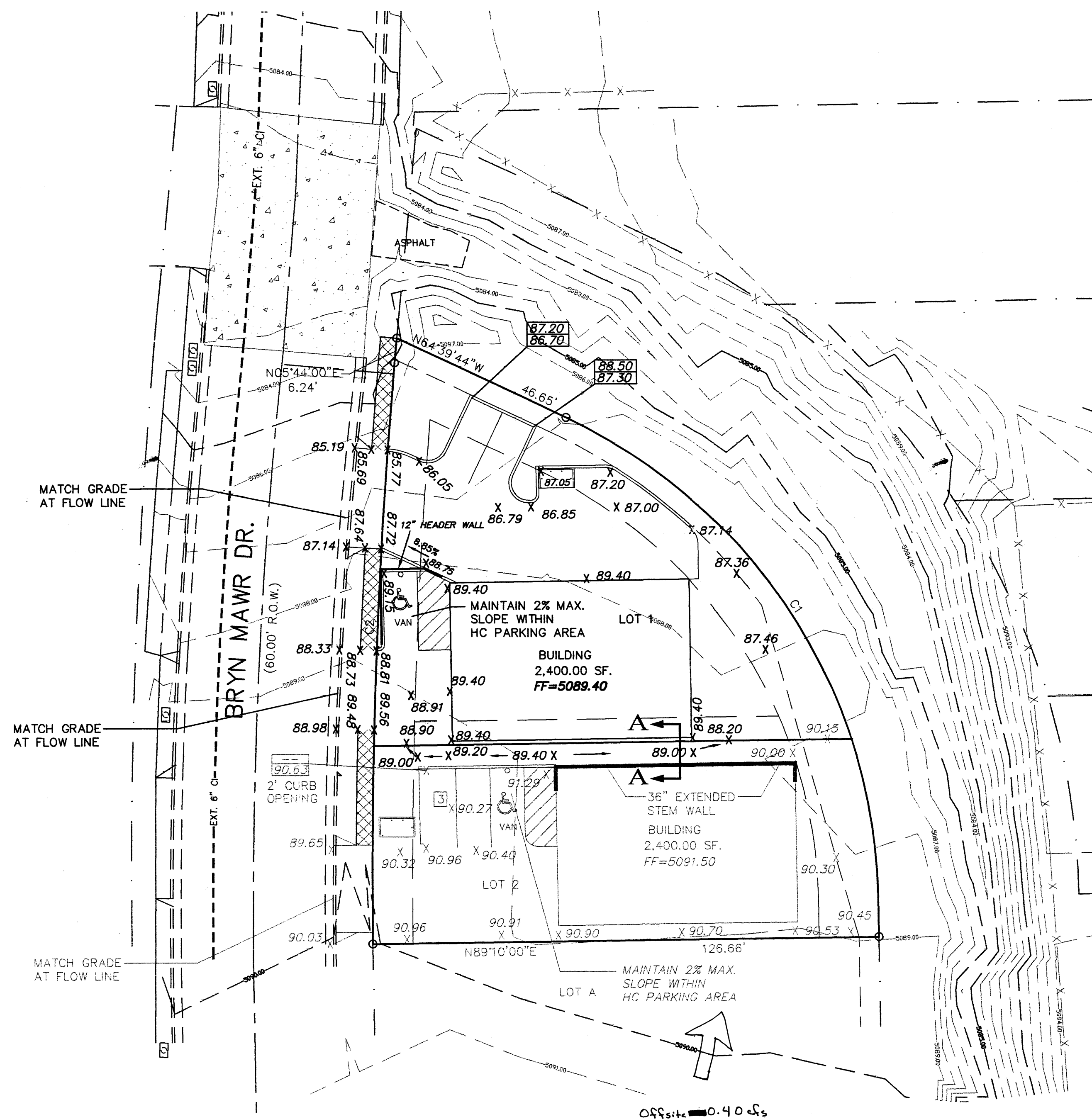
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

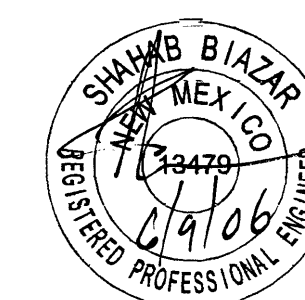
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

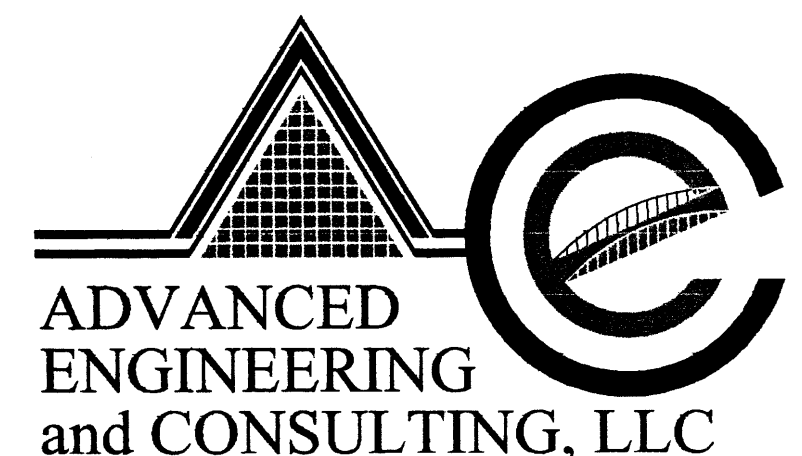
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
--- EX. 8" SAS ---	EXISTING SANITARY SEWER LINE
--- EX. 16" WL ---	EXISTING WATER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
--- 5085 ---	EXISTING CONTOUR (MAJOR)
--- 5083 ---	EXISTING CONTOUR (MINOR)
=====	BOUNDARY LINE
---	EASEMENT
---	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
TC 70.90 FL 70.40	PROPOSED GRADE
X 70.28	PROPOSED SPOT ELEVATION
X 5265.16	EXISTING GRADE
---	EXISTING POWER LINES
X X	EXISTING FENCE
=====	PROPOSED RETAINING WALL
=====	PROPOSED EXTENDED STEM WALL
TRW=38.00 TF=32.00	TOP OF RETAINING WALL TOP OF FOOTING
TSW=34.00 TF=32.00	TOP OF EXTENDED STEM WALL TOP OF FOOTING
	SINGLE "A" INLET
	DOUBLE "A" INLET



ADDRESS: 3512 Bryn Mawr Dr



SHAHAB BIAZAR
P.E. #13479

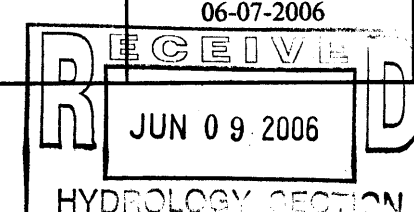


**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**LOT 1, BLOCK 1, INDIAN REST
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200641-GR.DWG	SHH	06-07-2006	1 OF 1



G-16/D138

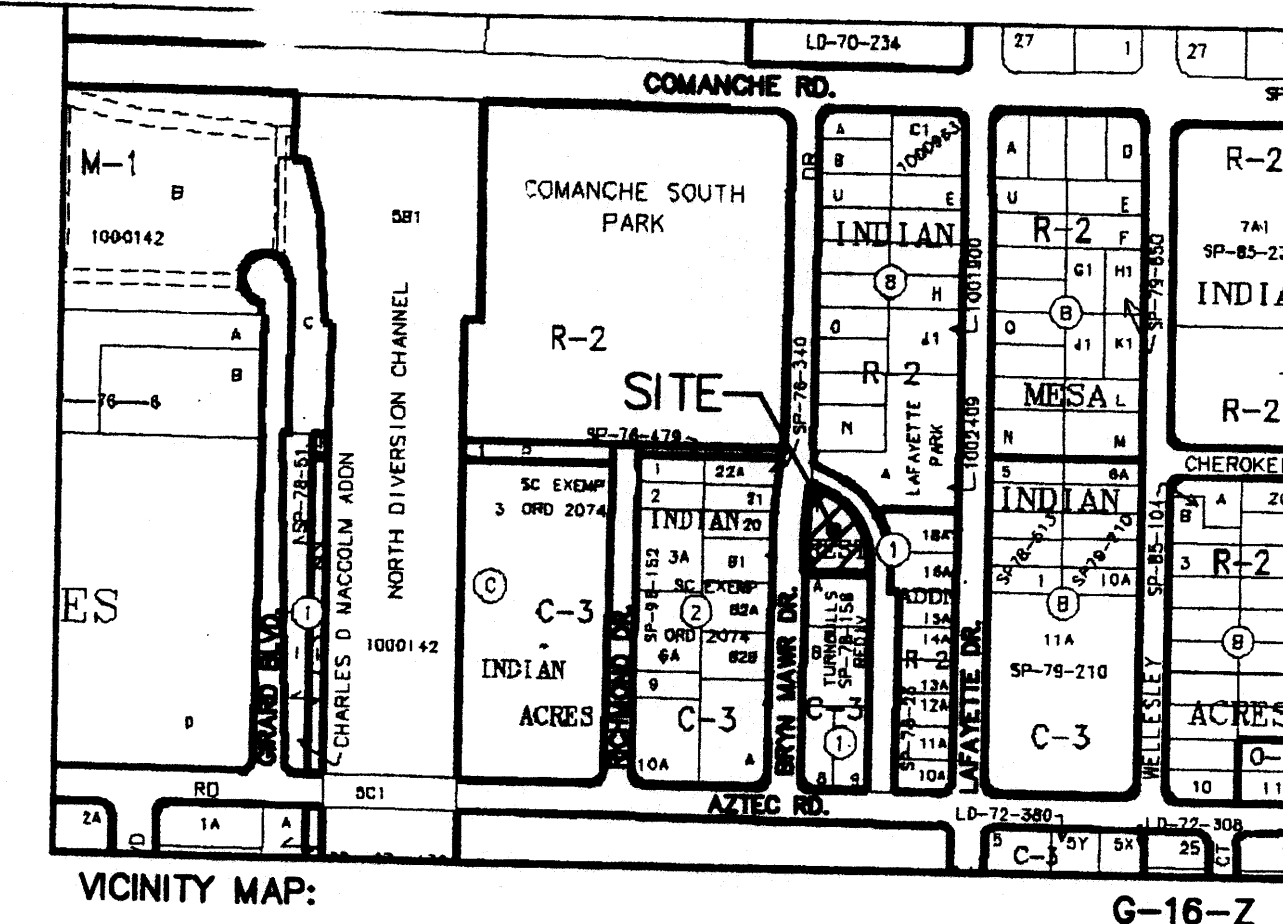
ROUGH GRADING APPROVAL _____ DATE _____

LAST REVISION: 06-09-2007

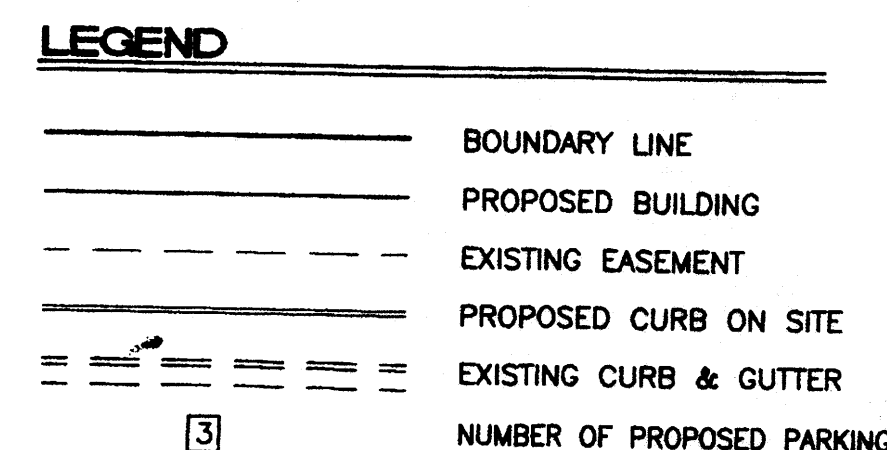


1. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW 4' SIDEWALK.
7. INSTALL HANDICAP SIGN (SEE DETAIL THIS SHEET).
8. TRASH ENCLOSURE (SEE DETAIL THIS SHEET).

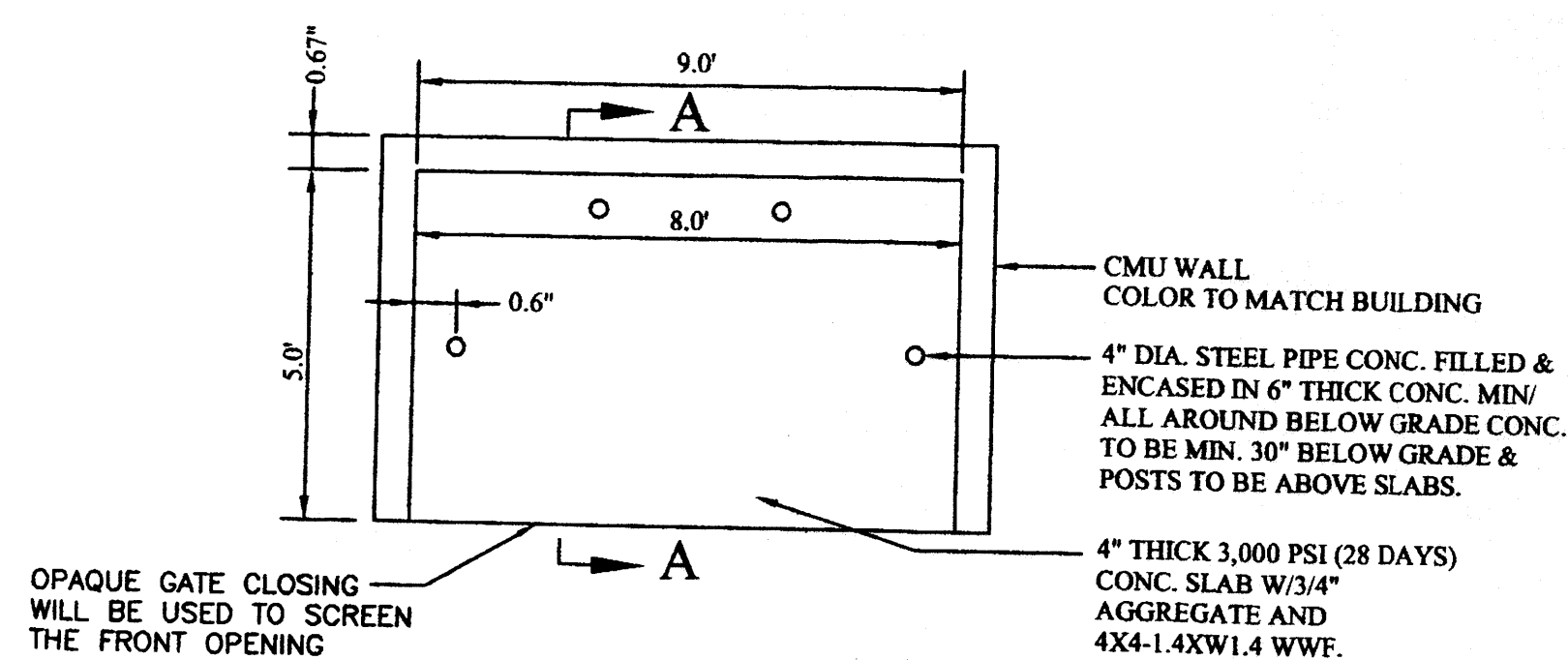
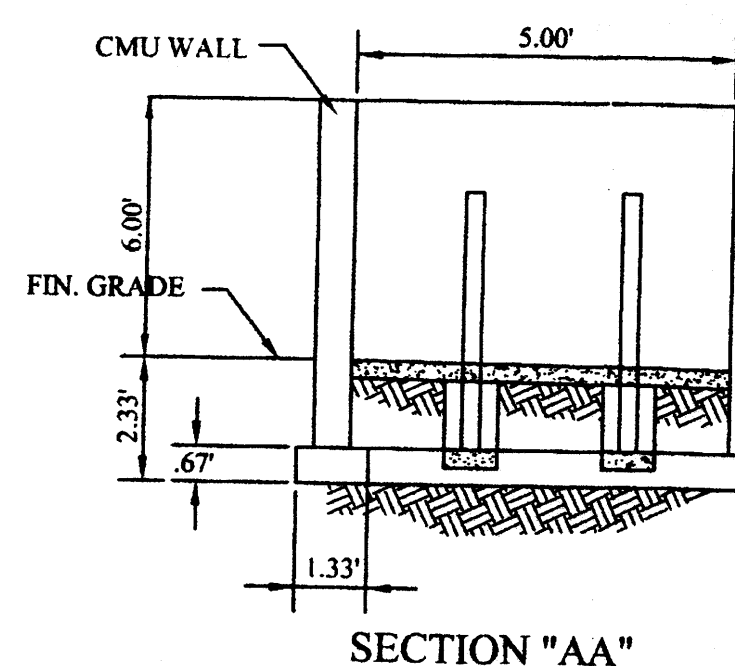
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	151.76'	136.81	63°33'25"	84.75	144.10	N32°36'42"W
C2	147.16'	1510.95	05°34'49"	73.64	147.10	S02°21'27"W



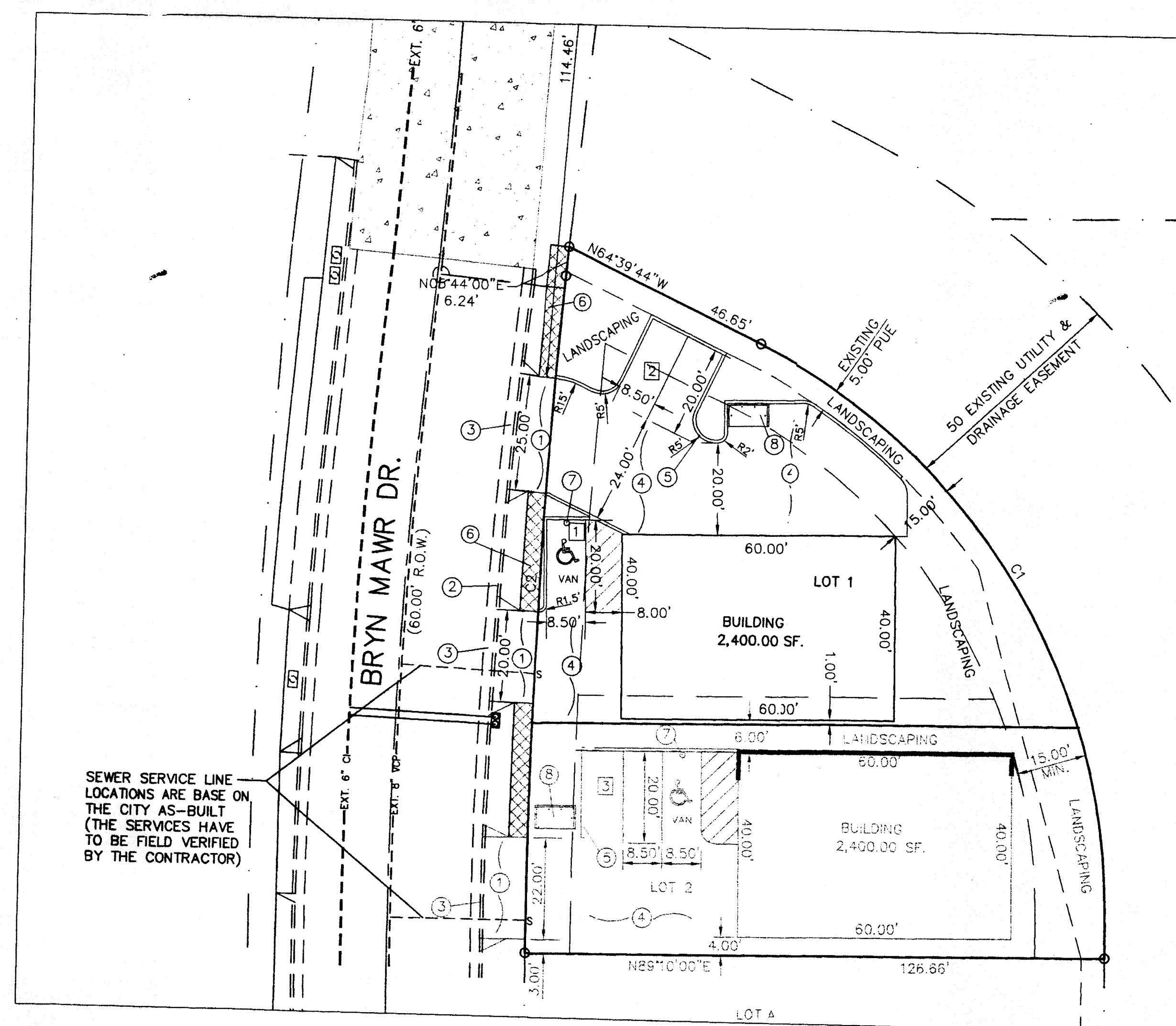
LEGAL DESCRIPTION:
 LOTS 1, BLOCK 1, INDIAN REST, CONTAINING 14,271.00 SF. (0.3276 AC.)
 ZONING: C-3



I SHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS NOT BUILT IN SUBSTANTIAL COMPLIANCE TO THE SITE PLAN WITH APPROVED WITH ENGINEER STAMP DATE OF 06/09/2006. THE LAYOUT WAS MODIFIED AND THE AS-BUILT IS SHOWN ON THE PLAN. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON APRIL 06, 2007. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **FINAL CERTIFICATION OF OCCUPANCY.**



RULE UP DUMPSTER ENCLOSURE DETAIL



SITE DATA

LOT 1:

PROPOSED USAGE: WAREHOUSE
LOT AREA: 8,039.60 SF. (0.1846 AC.)
GROSS BUILDING AREA: 2,400.00 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING,
W/ NON-COMBUSTABLE INTERIOR FRAMING

LANDSCAPE CALCULATIONS:

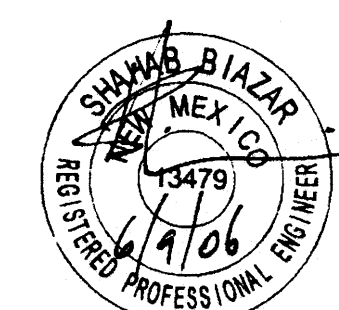
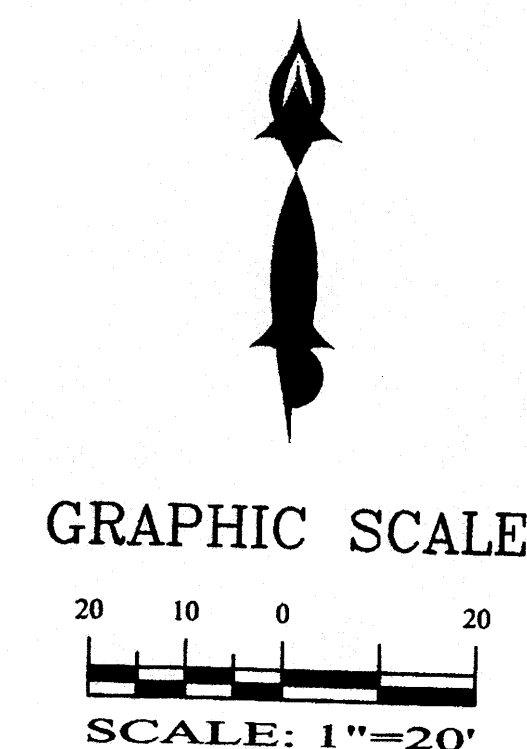
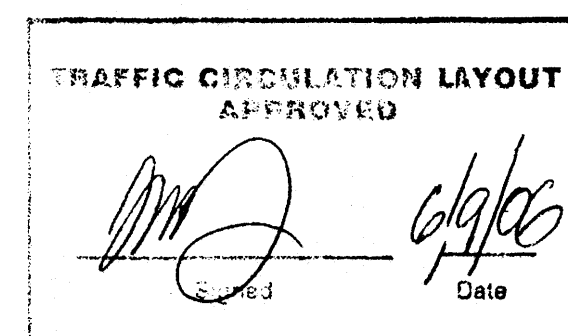
NET LOT AREA	5,639.60 SF ±
LANDSCAPING REQUIRED: 15% OF 5,639 SF	845.00 SF ±
LANDSCAPING REQUIRED:	2527.00 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:	
WAREHOUSE:	2,400 GSF / 2000 GSF 1 SPACES
TOTAL PARKING PROVIDED:	3 SPACES
HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

SOLID WASTE MANAGEMENT



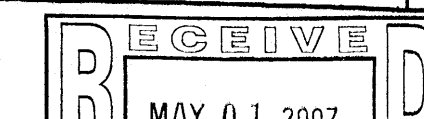
SHAHAB BLAZAR
P.E. #13479



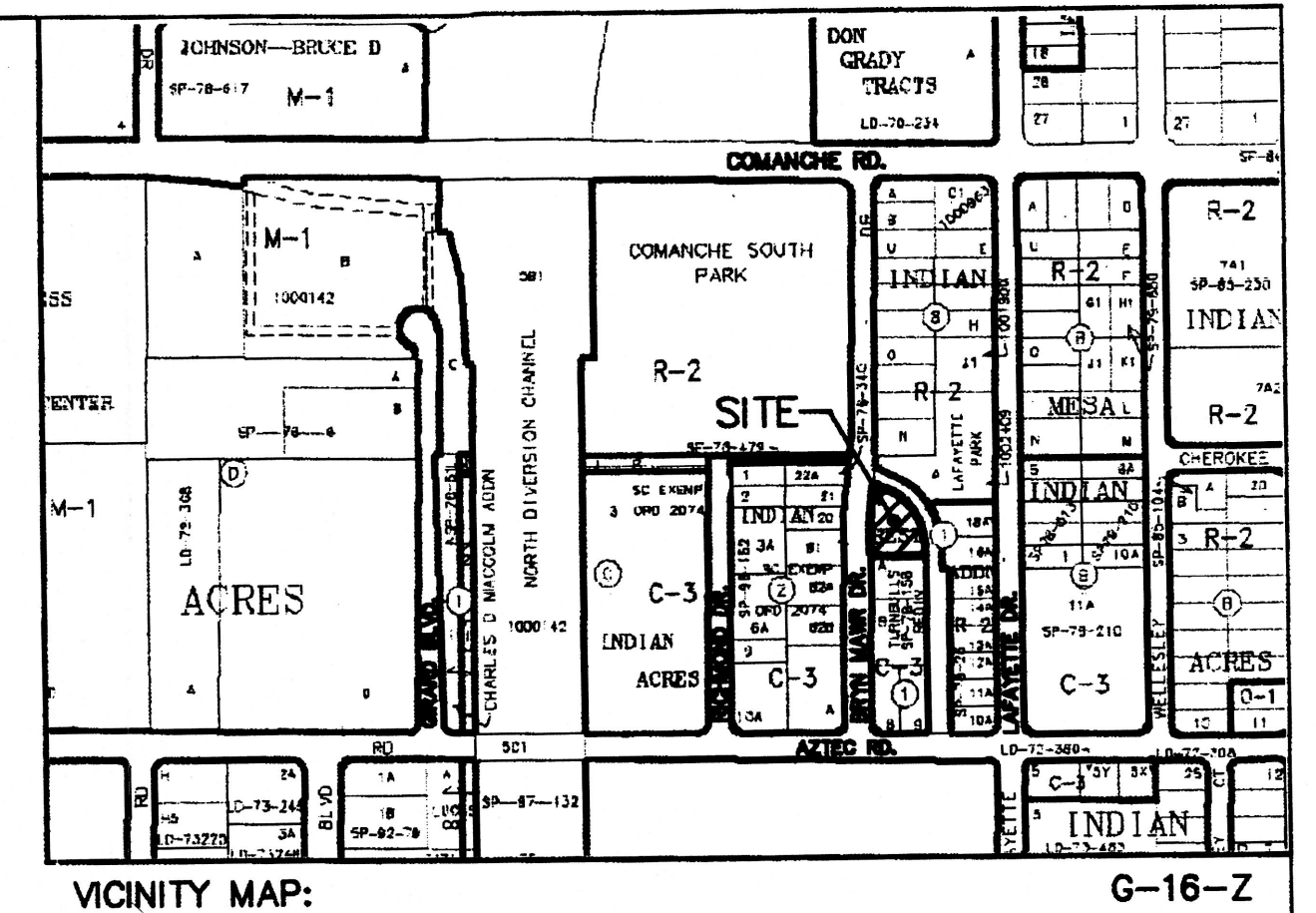
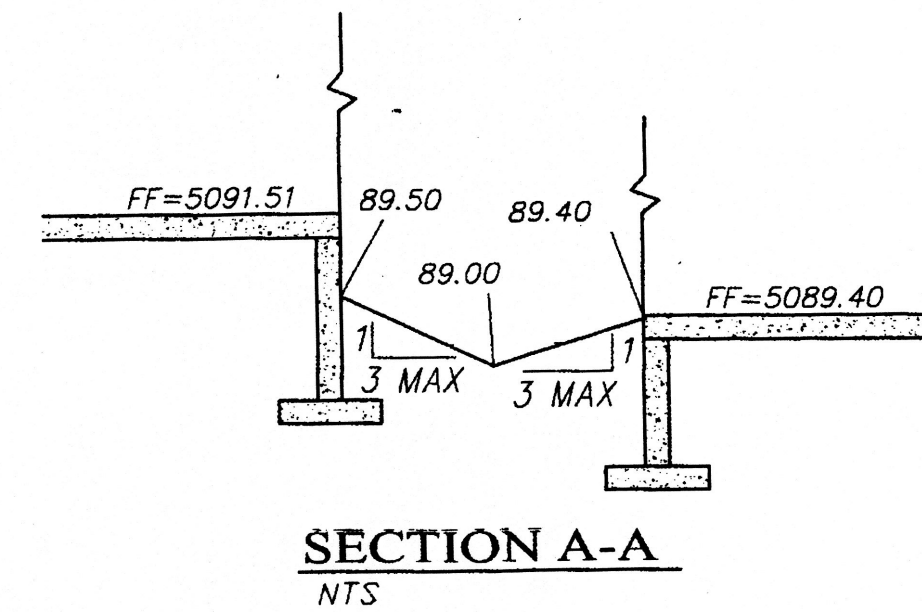
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

LOT 1, BLOCK 1, INDIAN REST
SITE PLAN

DRAWING: 200641-ST.DWG	DRAWN BY: SB	DATE: 06-07-2006	SHEET # 1 OF 1
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- GENERAL NOTES:
1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-P-225 HAVING AN ELEVATION OF 5099.957 (NGVD 29) FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.



LEGAL DESCRIPTION:
LOT 1, BLOCK 1, INDIAN REST
CONTAINING 14,271.00 SQUARE FEET (0.3276 ACRES)
MORE OR LESS.

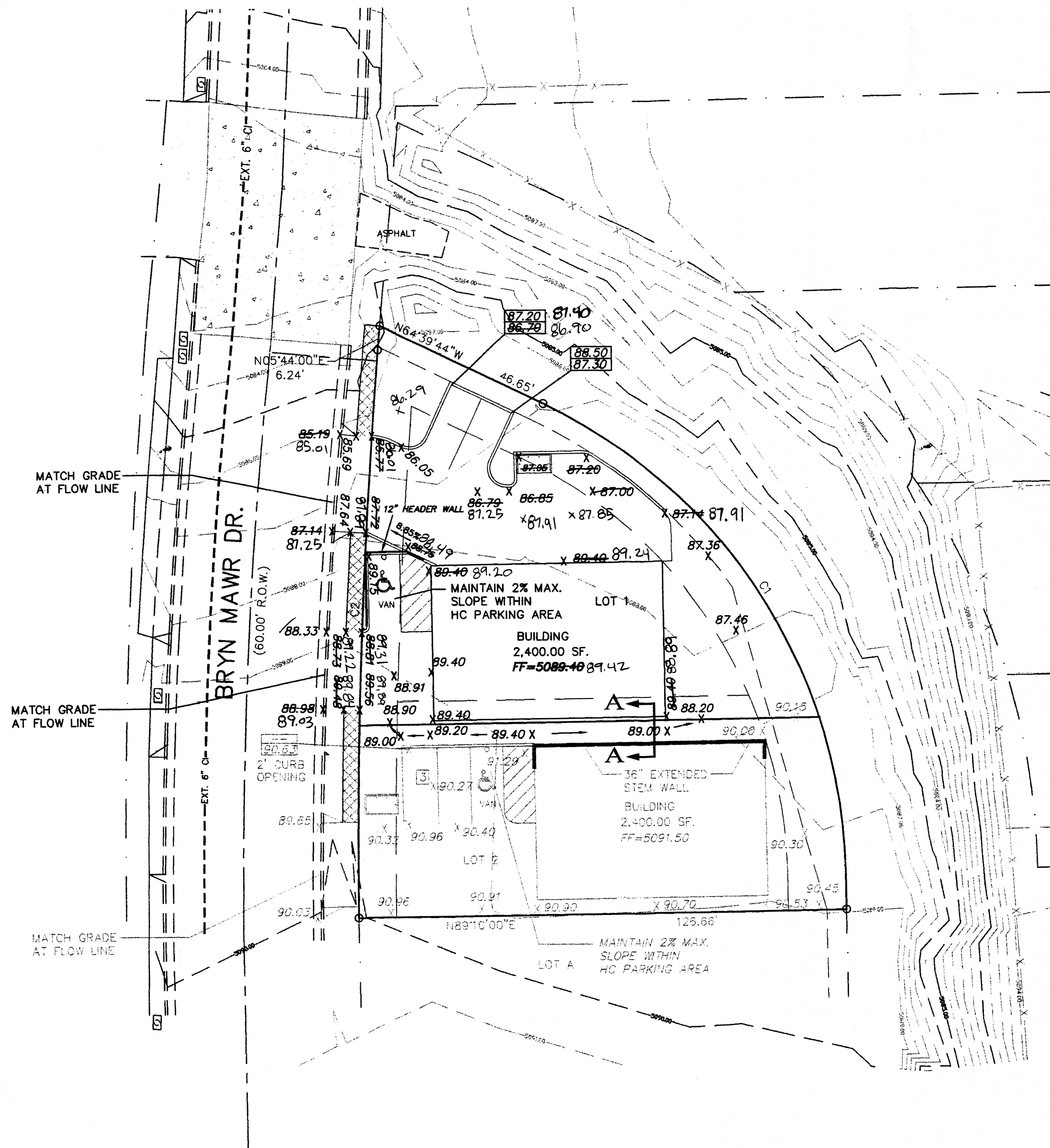
ADDRESS:
3512 BRYN MAWR DR.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
-



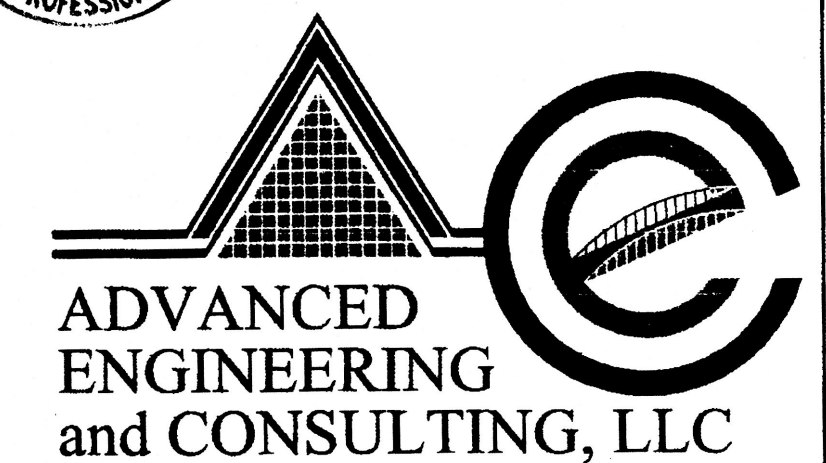
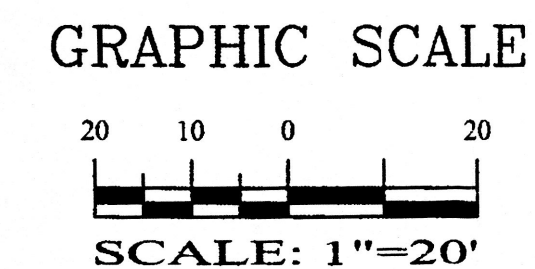
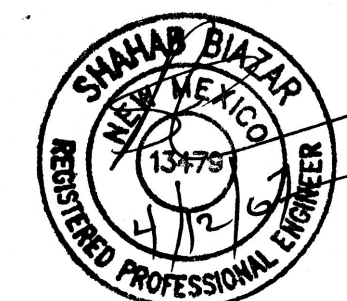
- NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/09/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479
04/12/2007
DATE



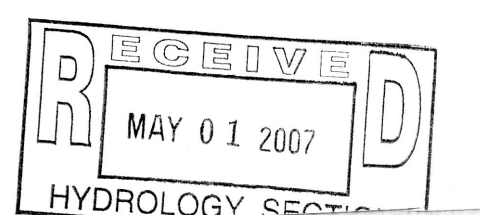
SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

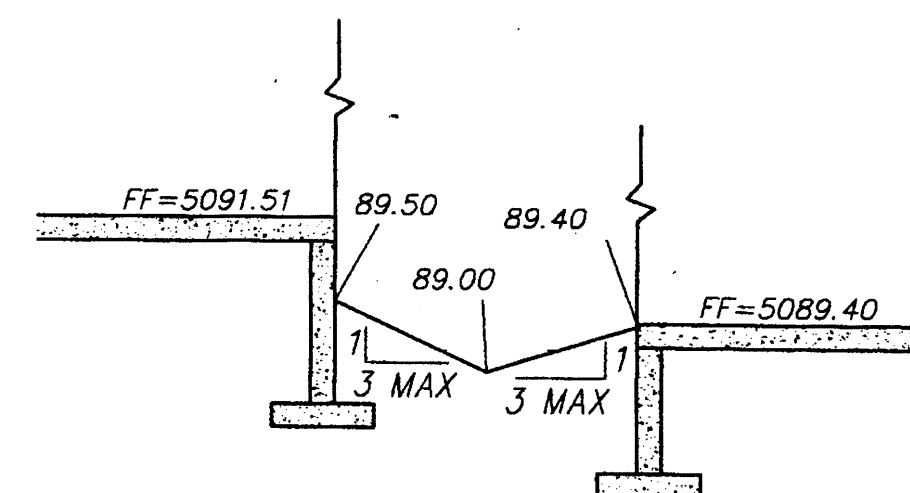
LOT 1, BLOCK 1, INDIAN REST GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200641-GR.DWG	SHH	06-07-2006	1 OF 1

ROUGH GRADING APPROVAL _____ DATE _____

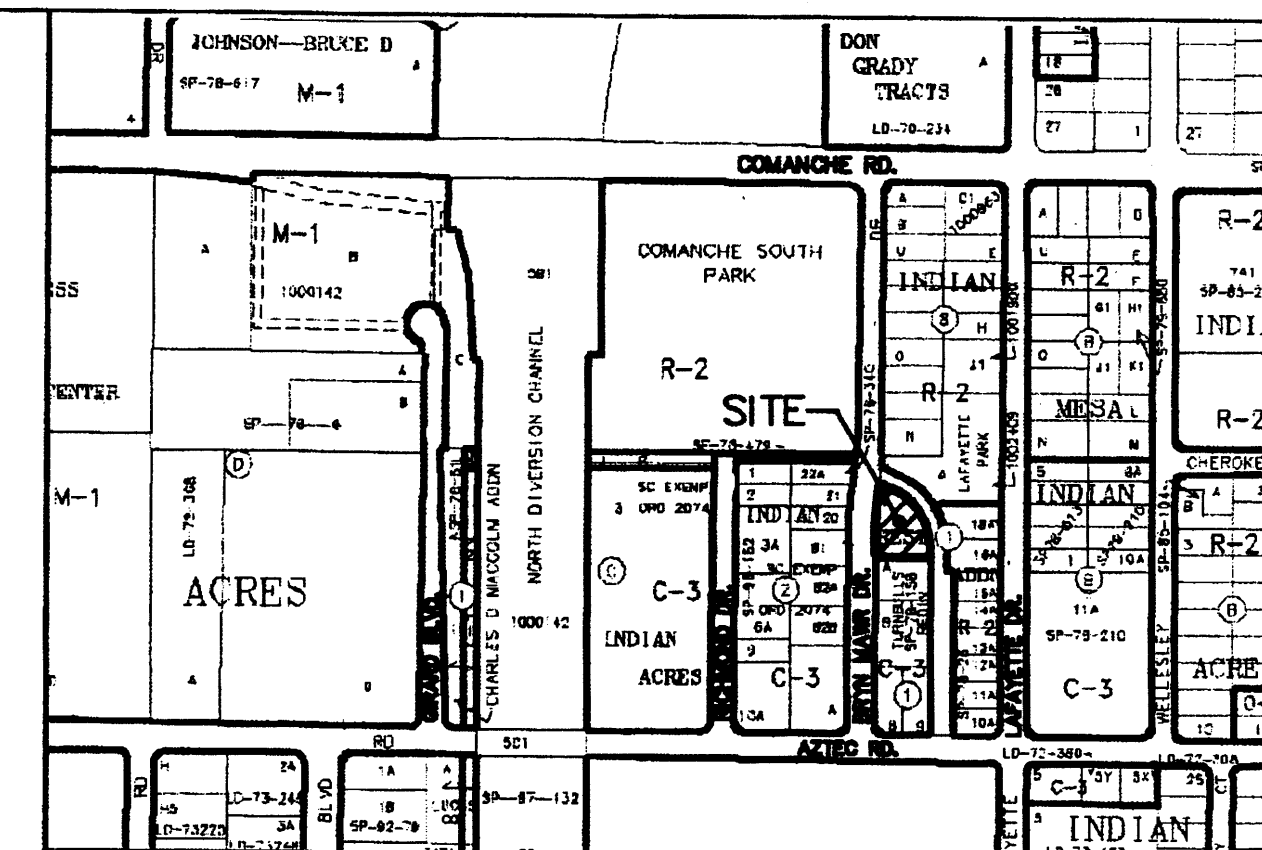
LAST REVISION: 06-09-2007



- GENERAL NOTES:**
1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-P-225 HAVING AN ELEVATION OF 5089.857 (NGVD 29) FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.



SECTION A-A
NTS



VICINITY MAP:

G-16-Z

LEGAL DESCRIPTION:

LOT 1, BLOCK 1, INDIAN REST
CONTAINING 14,271.00 SQUARE FEET (0.3276 ACRES)
MORE OR LESS.

ADDRESS:

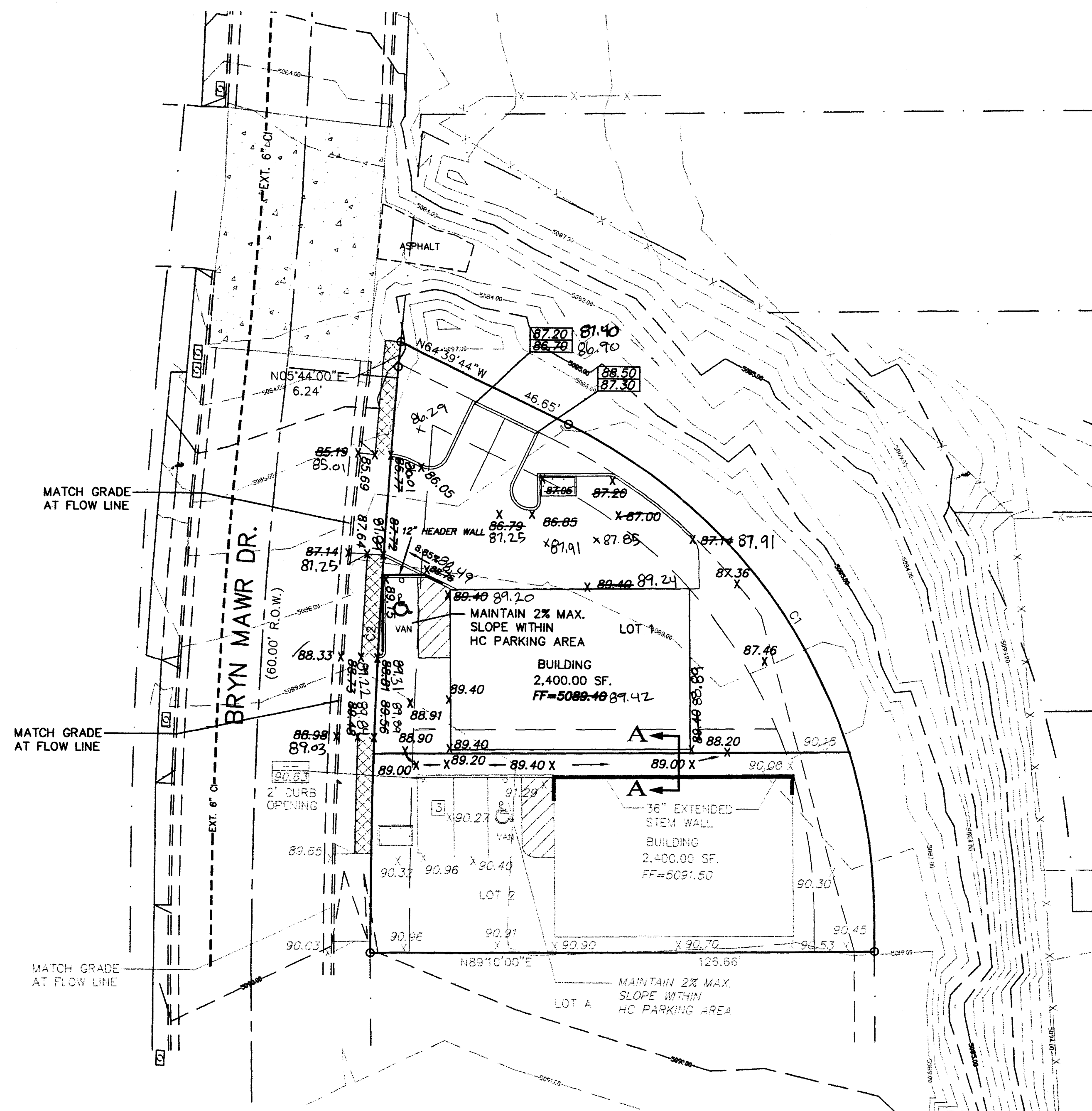
3512 BRYN MAWR DR.

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5085 EXISTING CONTOUR (MAJOR)
- 5083 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- SINGLE "A" INLET
- DOUBLE "A" INLET



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

DRAINAGE CERTIFICATION

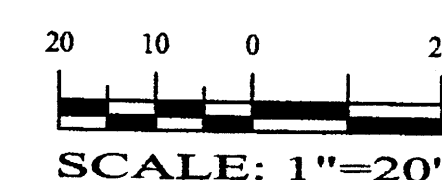
I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/09/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479
06/12/2007
DATE



GRAPHIC SCALE



DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/09/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LEONARD MARTINEZ, NMPS 9801, OF THE FIRM ADVANCED ENGINEERING & CONSULTING AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

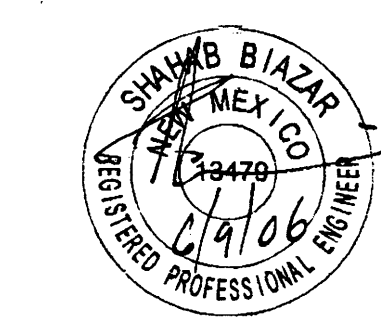
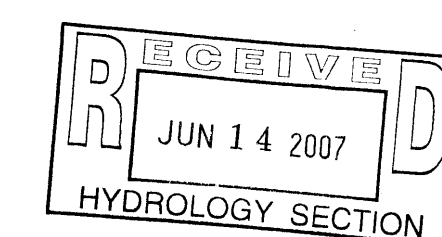
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SHAHAB BIAZAR, NMPE 13479
06/14/2007
DATE



ROUGH GRADING APPROVAL

DATE



SHAHAB BIAZAR
P.E. #13479



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5570

**LOT 1, BLOCK 1, INDIAN REST
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200641-GR.DWG	SHH	06-07-2006	1 OF 1

LAST REVISION: 06-09-2007