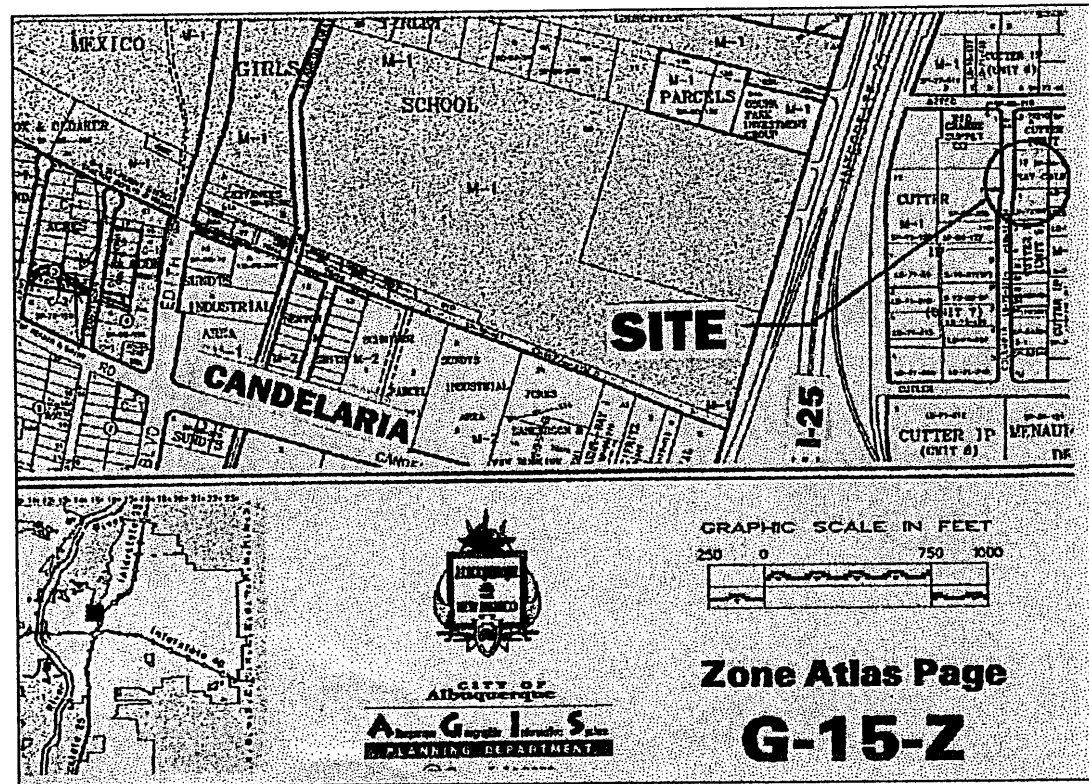




VICINITY MAP

PARKING CALCULATION:

1st FLOOR AREA = 3,456 SF + 200 = 17 PARKING SPACES
 2nd FLOOR AREA = 2,736 SF + 300 = 9 PARKING SPACES
 SHOP/STORAGE AREA = 2,160 SF + 2000 = 2 PARKING SPACES
 = 28 PARKING SPACES REQUIRED

PARKING STALLS		
TYPE	REQUIRED	PROVIDED
STANDARD STALL	21	22
COMPACT STALL	7	7
VAN H.C. STALL	1	1
CAR H.C. STALL	1	1
	30	31

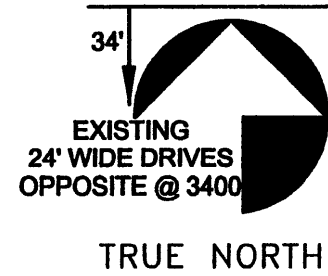
PROPERTY LOCATION:

City of Albuquerque, zoning designation M-1, Manufacturing; National Roofing Company, Inc. 3408 (lot being developed) Columbia Drive NE Albuquerque, NM 87107

Lot Area 26,385

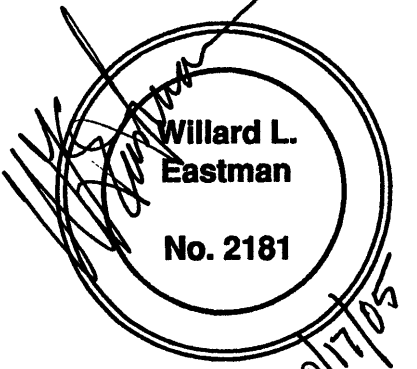
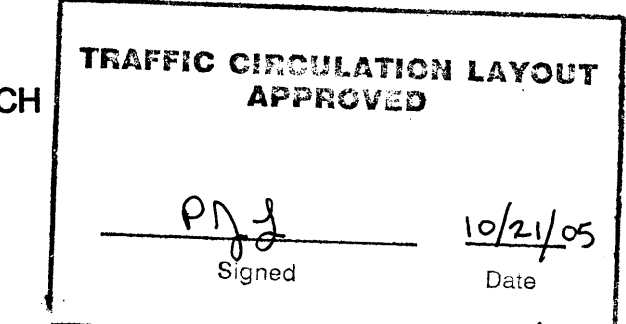
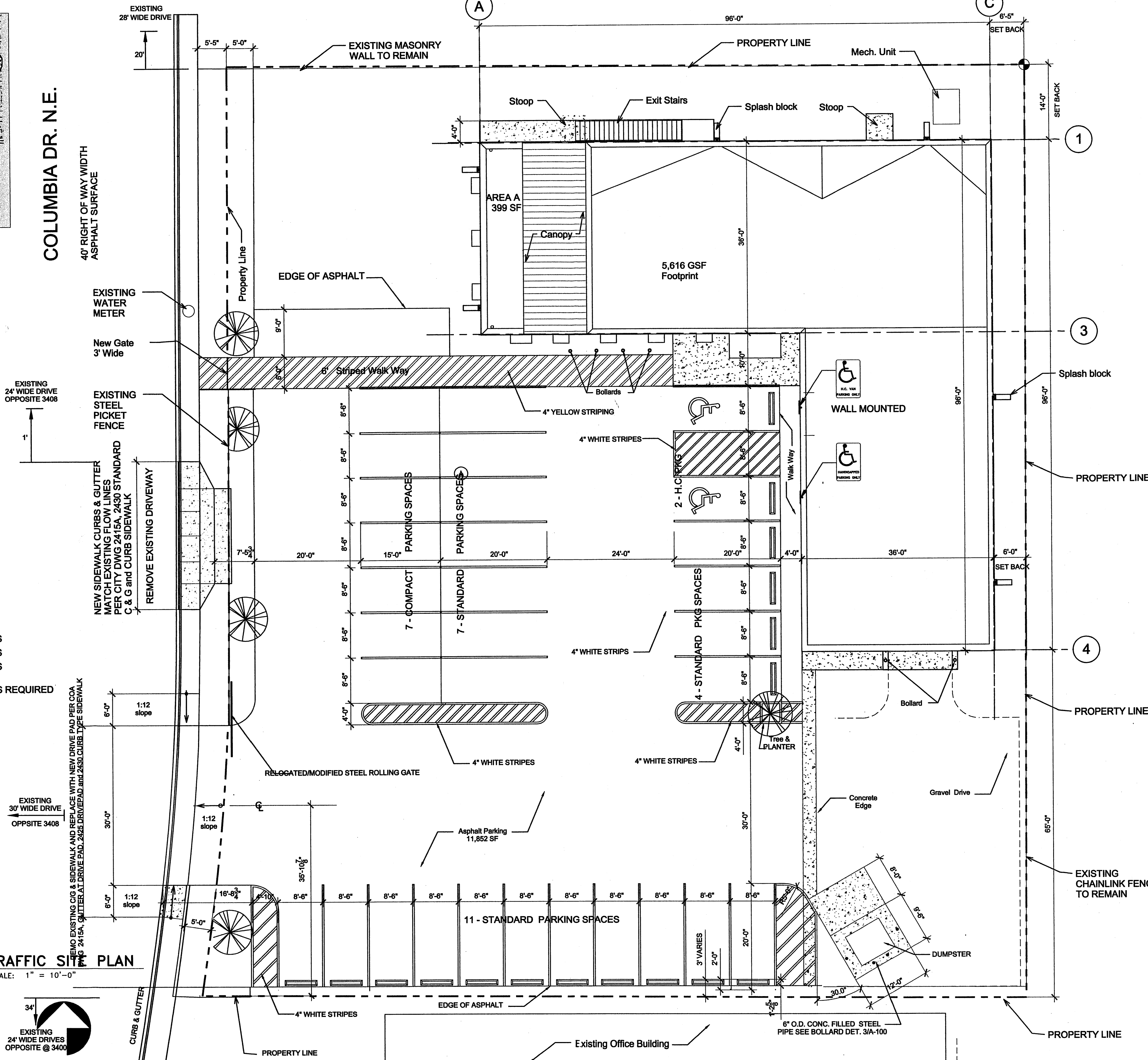
TRAFFIC SIGN PLAN

SCALE: 1" = 10'-0"



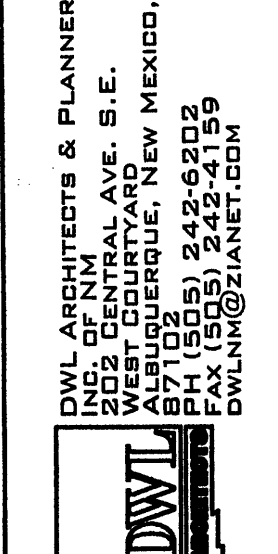
COLUMBIA DR. N.E.

40' RIGHT OF WAY WIDTH ASPHALT SURFACE



REVISIONS	Symbol	Description	Date	Appr.
1		PARKING CALC & DUMPSTER & H.C. DET.		

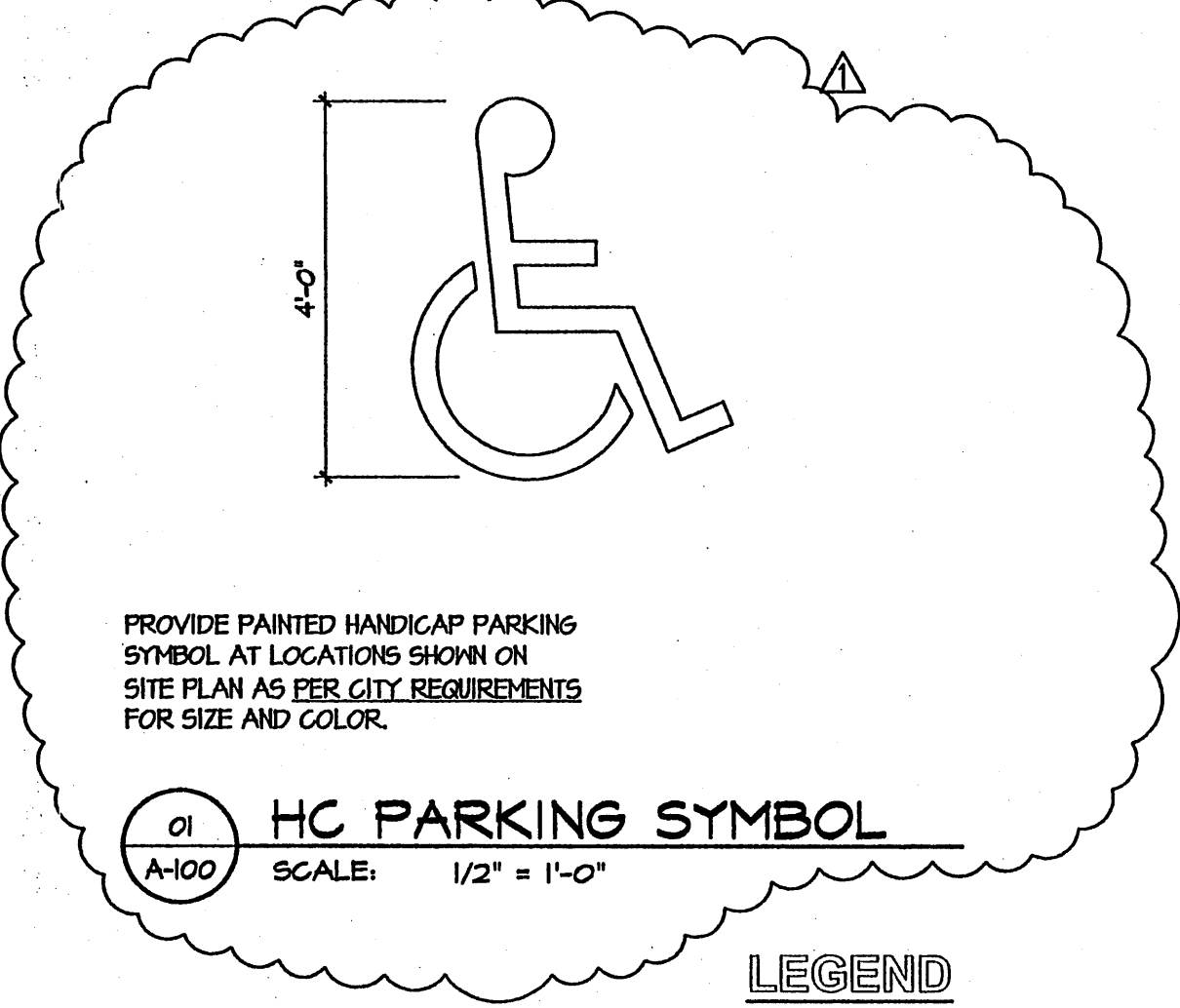
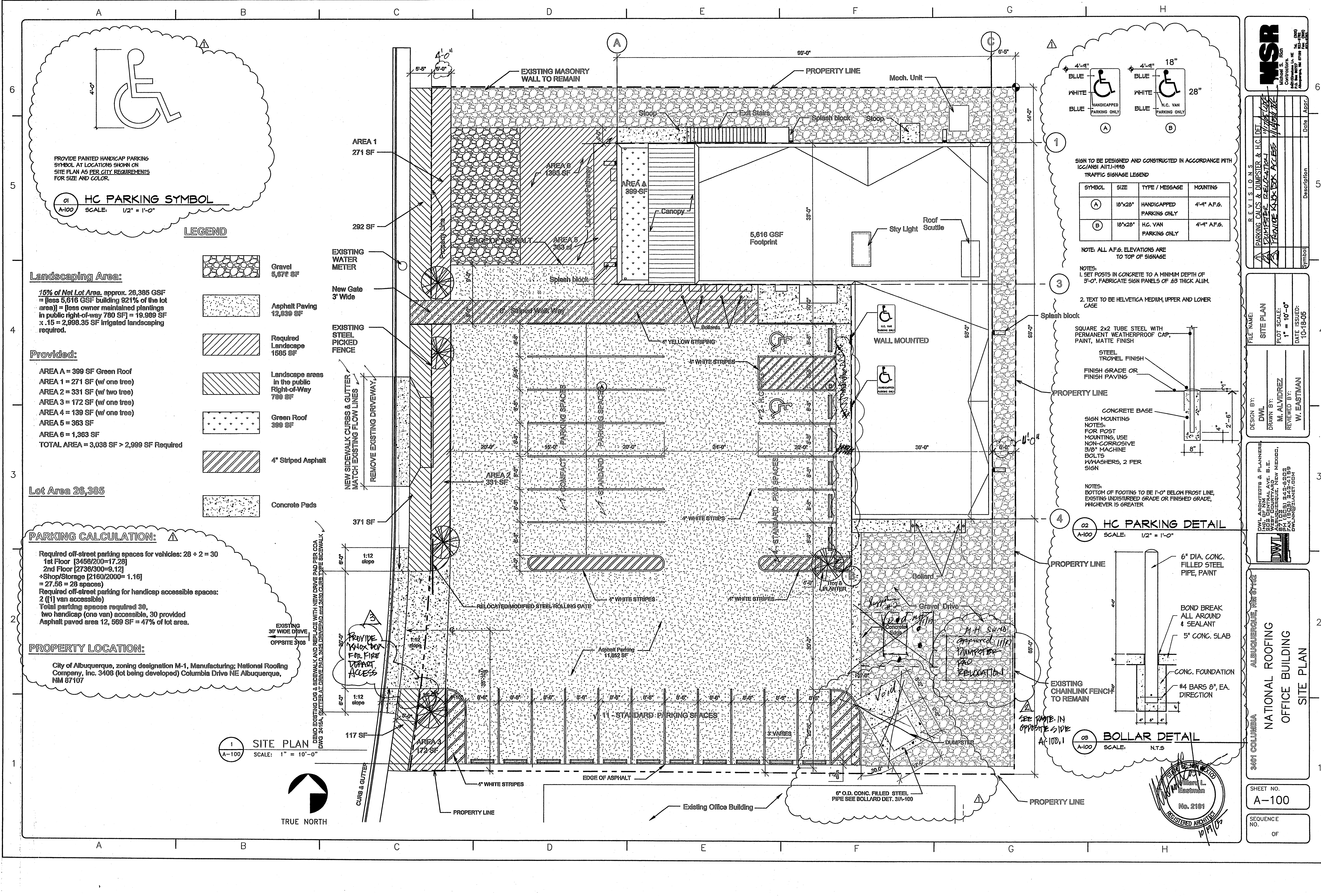
FILE NAME:	SITE PLAN
DESIGN BY:	DWL
DRAWN BY:	M. ALVAREZ
REVIEWED BY:	W. EASTMAN
DATE ISSUED:	9-09-05



ALBUQUERQUE, NM 87102
 NATIONAL ROOFING
 OFFICE BUILDING
 TRAFFIC SITE PLAN

SHEET NO.	A-100
SEQUENCE NO.	OF





01 HC PARKING SYMBOL
SCALE: 1/2" = 1'-0"

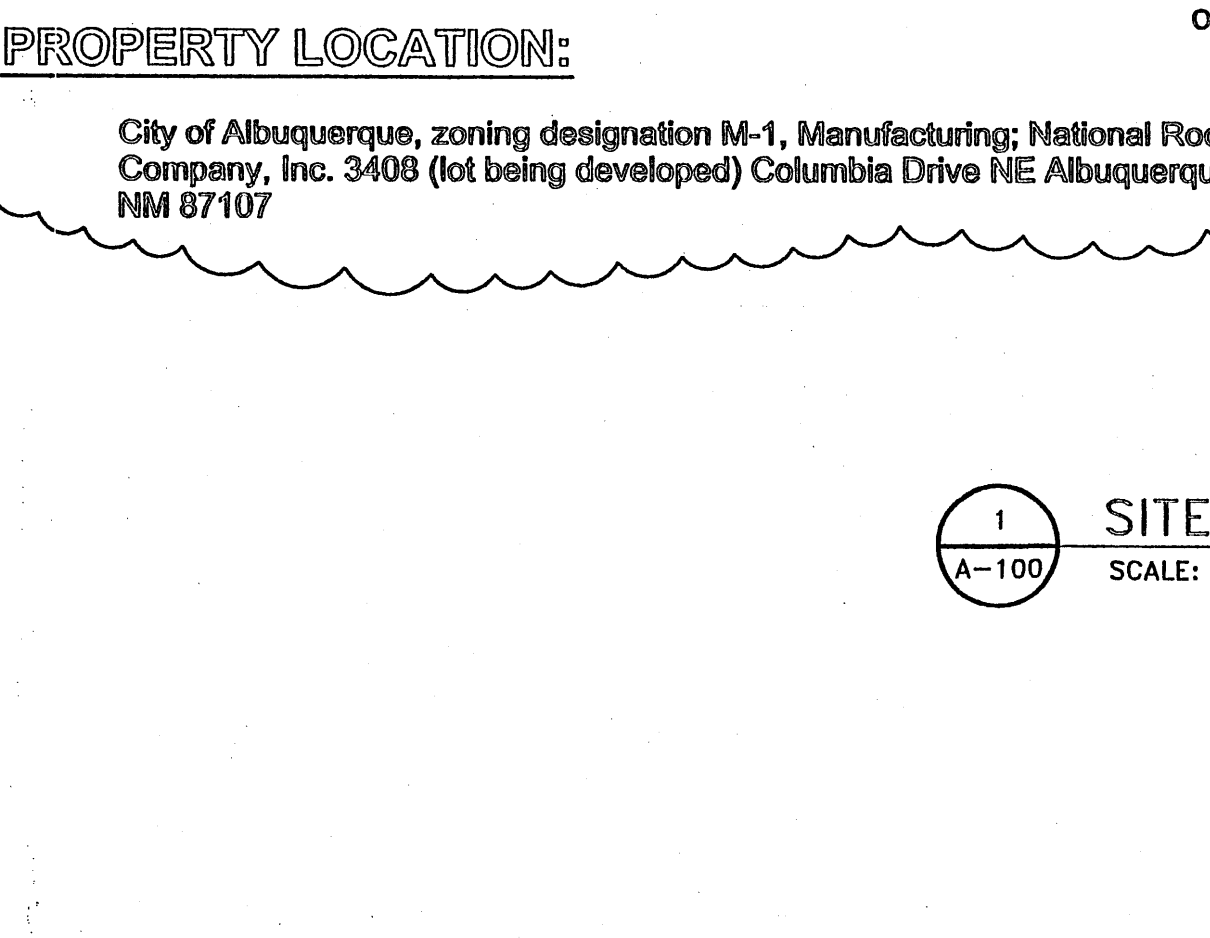
- Landscaping Area:**
- 15% of Net Lot Area, approx. 26,385 GSF
= [less 5,616 GSF building 821% of the lot area] = [less owner maintained plantings in public right-of-way 780 SF] = 19,989 SF x .15 = 2,998.35 SF irrigated landscaping required.
- Provided:**
- AREA A = 399 SF Green Roof
 - AREA 1 = 271 SF (w/ one tree)
 - AREA 2 = 331 SF (w/ two trees)
 - AREA 3 = 172 SF (w/ one tree)
 - AREA 4 = 139 SF (w/ one tree)
 - AREA 5 = 363 SF
 - AREA 6 = 1,363 SF
 - TOTAL AREA = 3,038 SF > 2,999 SF Required
- Lot Area 26,385**
- LEGEND**
- Gravel 5,678 SF
 - Asphalt Paving 12,339 SF
 - Required Landscape 1585 SF
 - Landscape areas in the public Right-of-Way 780 SF
 - Green Roof 399 SF
 - 4" Striped Asphalt
 - Concrete Pads

PARKING CALCULATION:

Required off-street parking spaces for vehicles: $28 \div 2 = 30$
1st Floor [3458/200=17.28]
2nd Floor [2736/300=9.12]
+Shop/Storage [2160/2000= 1.16]
= 27.56 = 28 spaces
Required off-street parking for handicap accessible spaces:
2 ((1 van accessible)
Total parking spaces required 30,
two handicap (one van) accessible, 30 provided
Asphalt paved area 12,569 SF = 47% of lot area.

PROPERTY LOCATION:

City of Albuquerque, zoning designation M-1, Manufacturing; National Roofing Company, Inc. 3408 (lot being developed) Columbia Drive NE Albuquerque, NM 87107



02 HC PARKING DETAIL
SCALE: 1/2" = 1'-0"

TRAFFIC SIGNAGE LEGEND

SYMBOL	SIZE	TYPE / MESSAGE	MOUNTING
(A)	18"x28"	HANDICAPPED PARKING ONLY	4'-4" A.F.S.
(B)	18"x28"	H.C. VAN PARKING ONLY	4'-4" A.F.S.

NOTE: ALL A.F.S. ELEVATIONS ARE TO TOP OF SIGNAGE

NOTES:
1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". FABRICATE SIGN PANELS OF .63 THICK ALUM.
2. TEXT TO BE HELVETICA MEDIUM, UPPER AND LOWER CASE

SQUARE 2x2 TUBE STEEL WITH PERMANENT WEATHERPROOF CAP, PAINT, MATTE FINISH

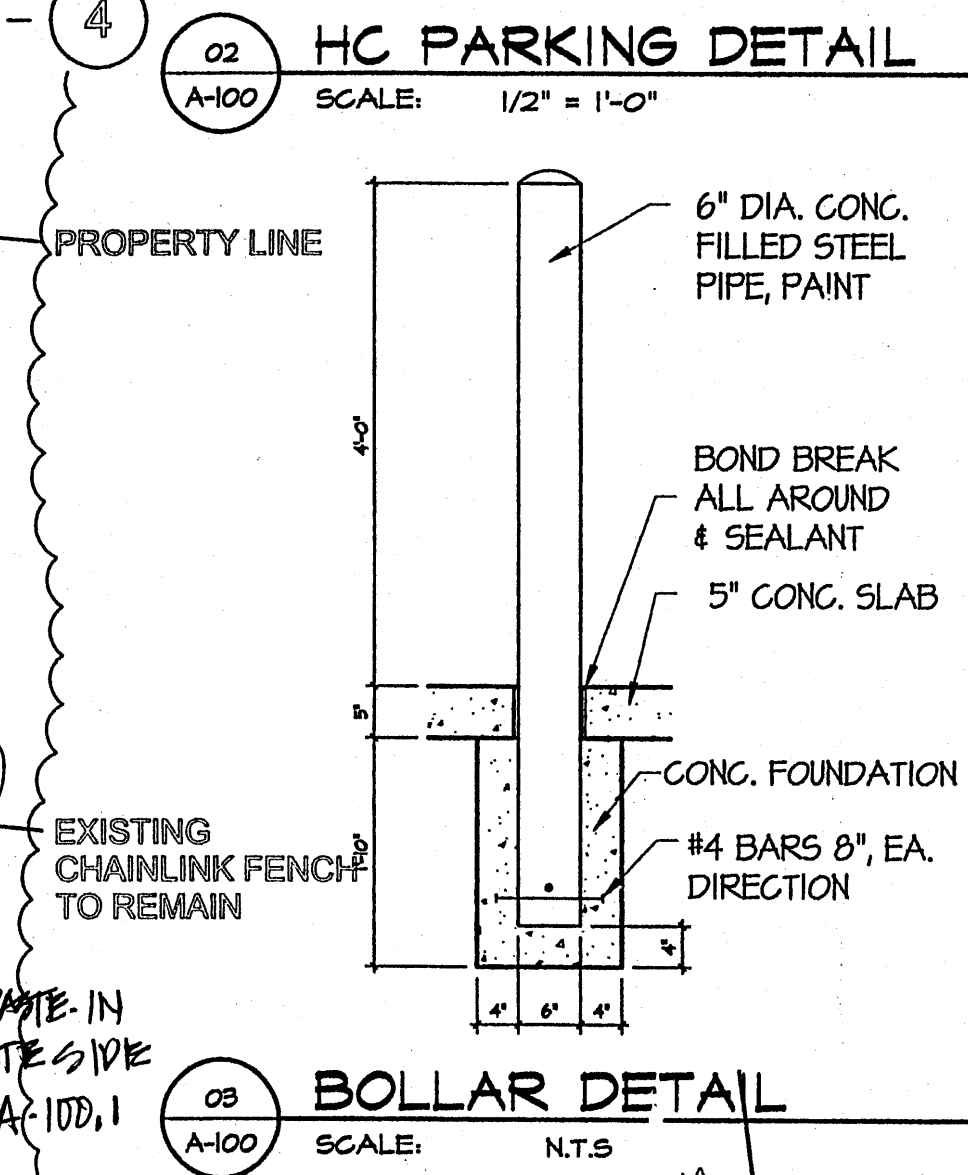
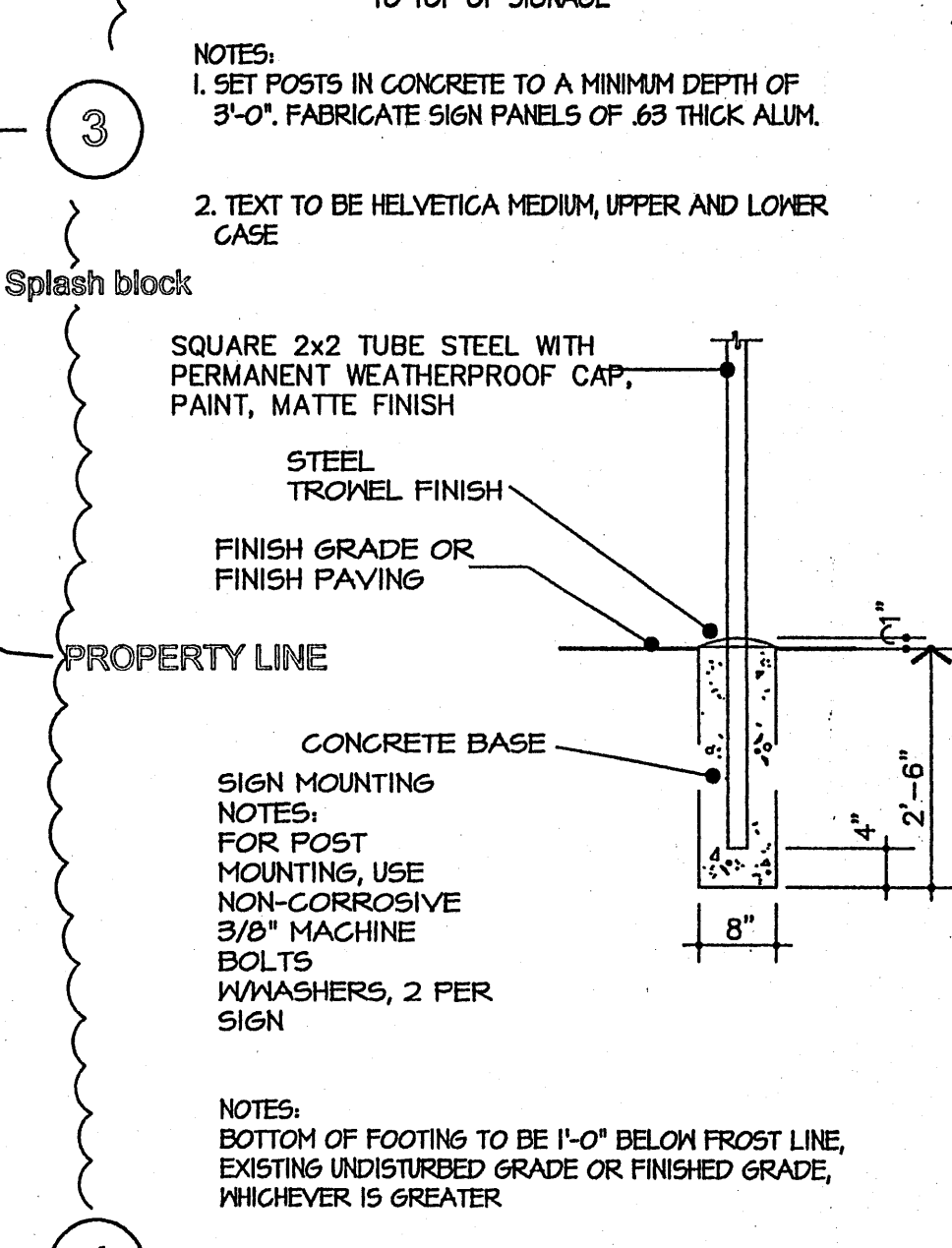
STEEL TROMEL FINISH

FINISH GRADE OR FINISH PAVING

CONCRETE BASE

SIGN MOUNTING NOTES:
FOR POST MOUNTING, USE NON-CORROSIVE 3/8" MACHINE BOLTS W/WASHERS, 2 PER SIGN

NOTES:
BOTTOM OF FOOTING TO BE 1'-0" BELOW FROST LINE, EXISTING UNDISTURBED GRADE OR FINISHED GRADE, WHICHEVER IS GREATER



MSR
MANUFACTURING SIGNAGE
CONTRACTORS, INC.
14000 N. 2ND ST. N.E.
ALBUQUERQUE, NM 87112
(505) 885-1100

REVISIONS

Rev.	Description	Date	Appr.
1	AS BUILT		

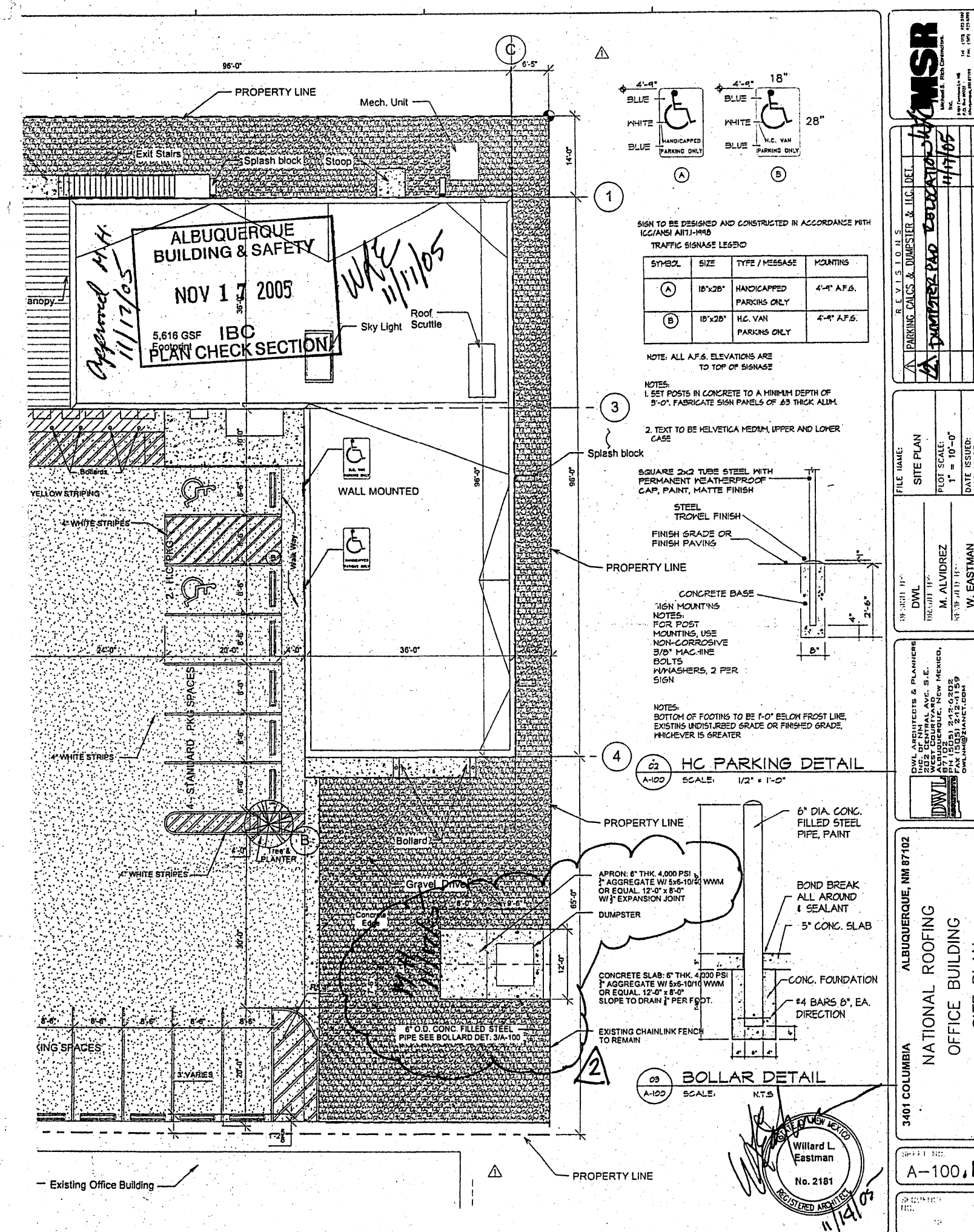
FILE NAME: SITE PLAN
DRAWN BY: M. ALVAREZ
REVIEWED BY: W. EASTMAN
DATE ISSUED: 10-18-05

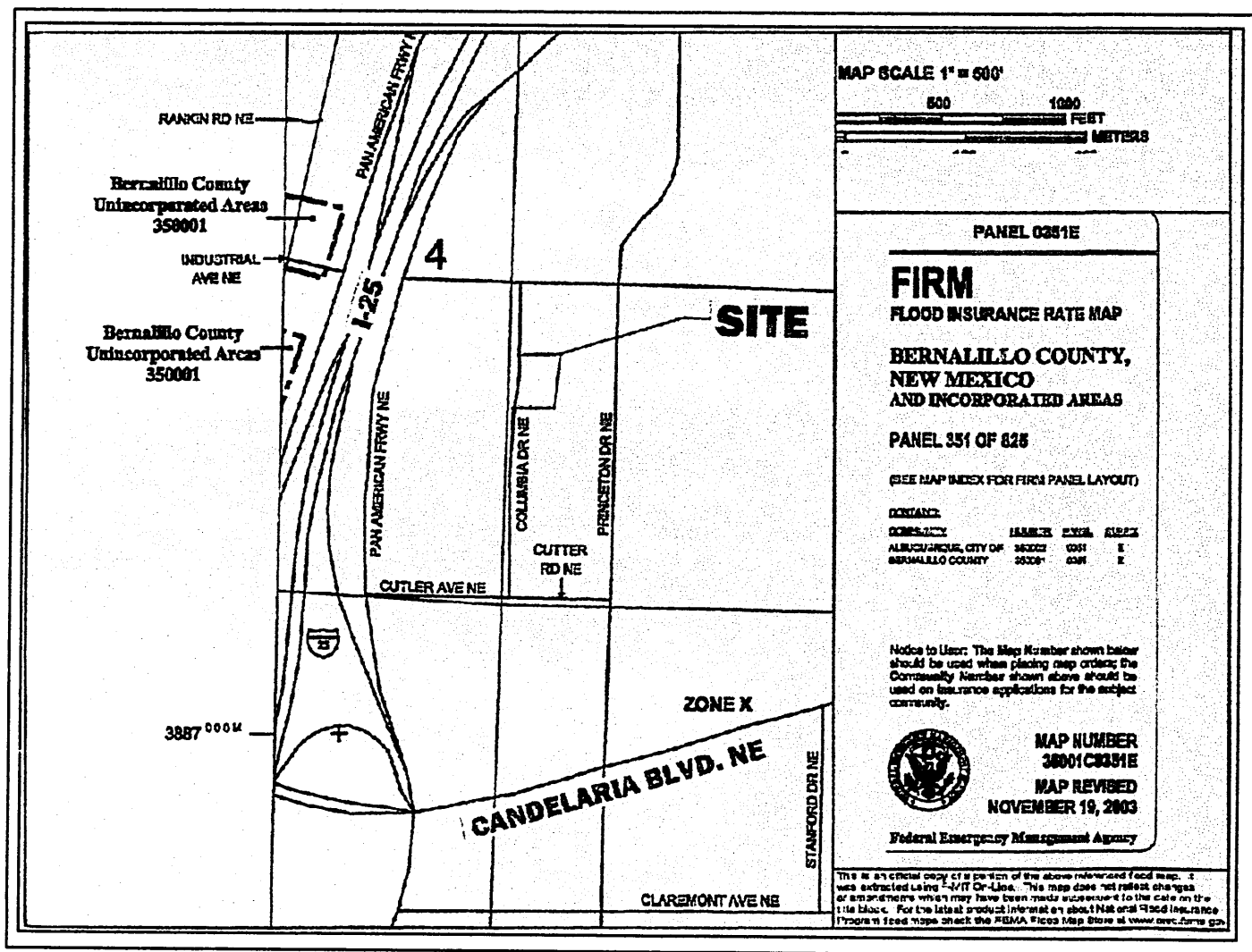
DESIGN BY: DWL
CHECKED BY: DWL
DATE: 10-18-05

3401 COLUMBIA ALBUQUERQUE, NM 87102
NATIONAL ROOFING
OFFICE BUILDING
SITE PLAN

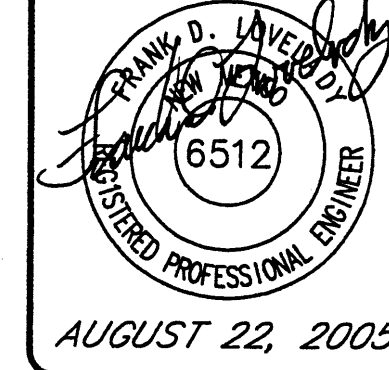
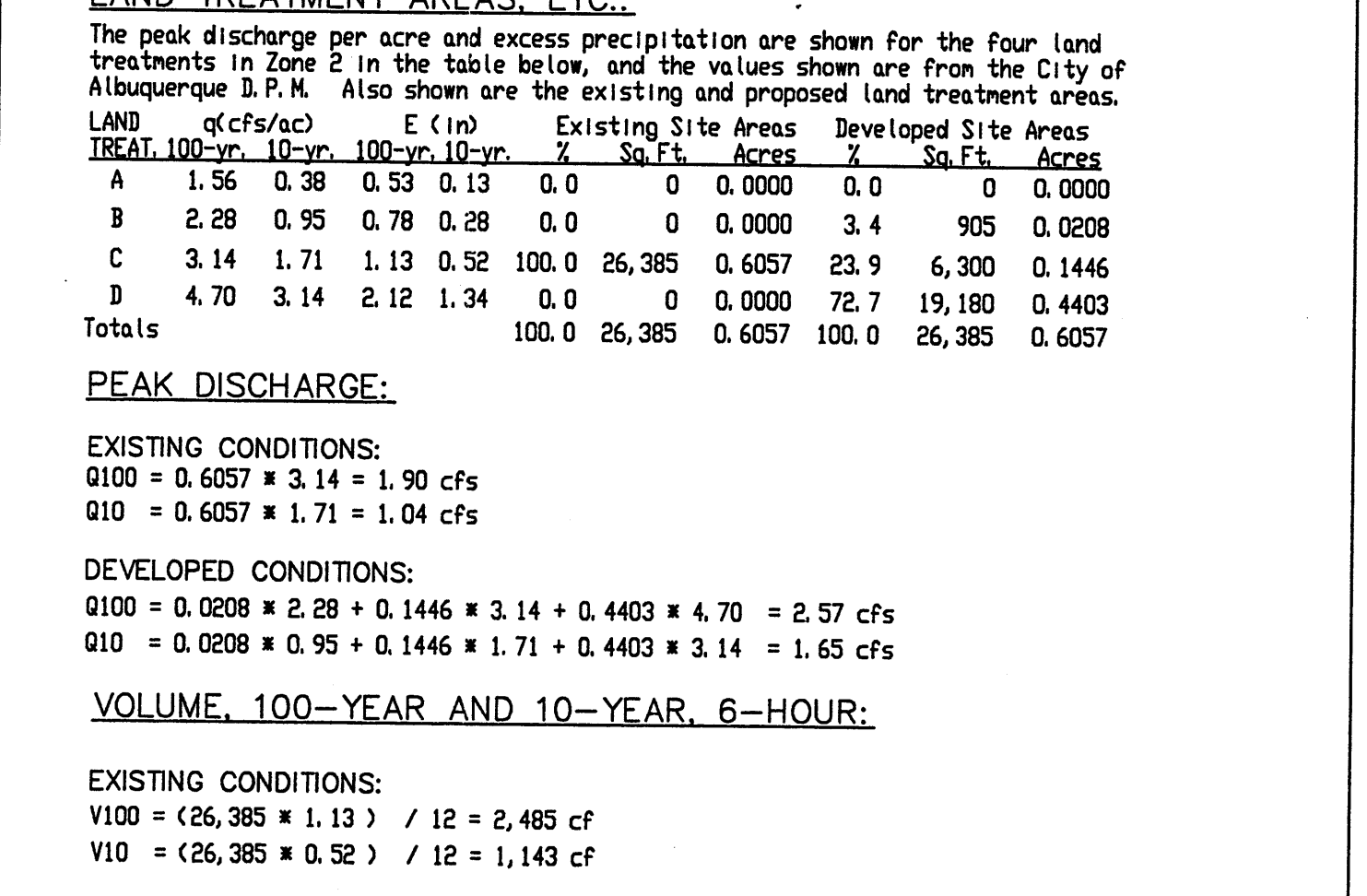
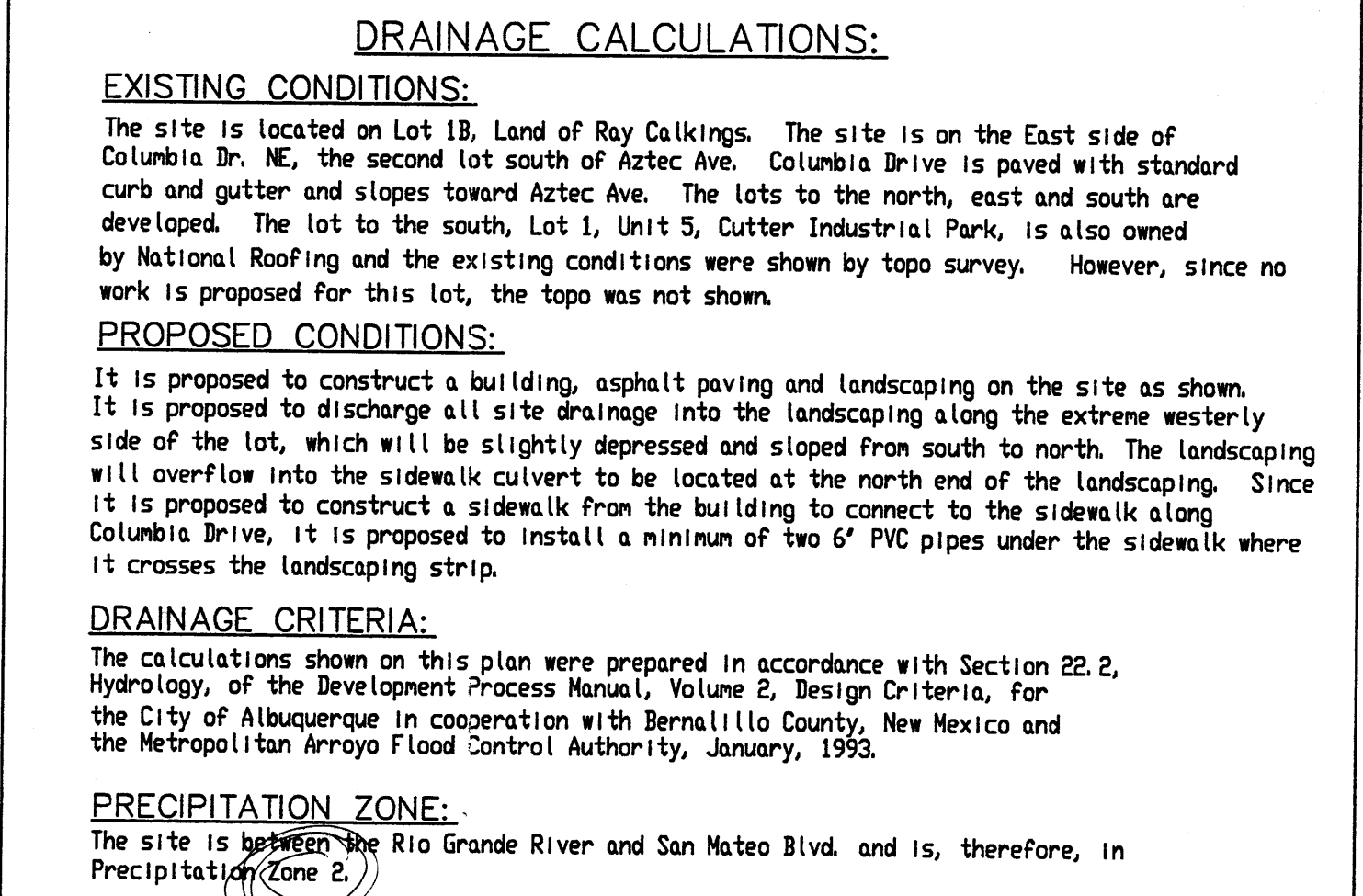
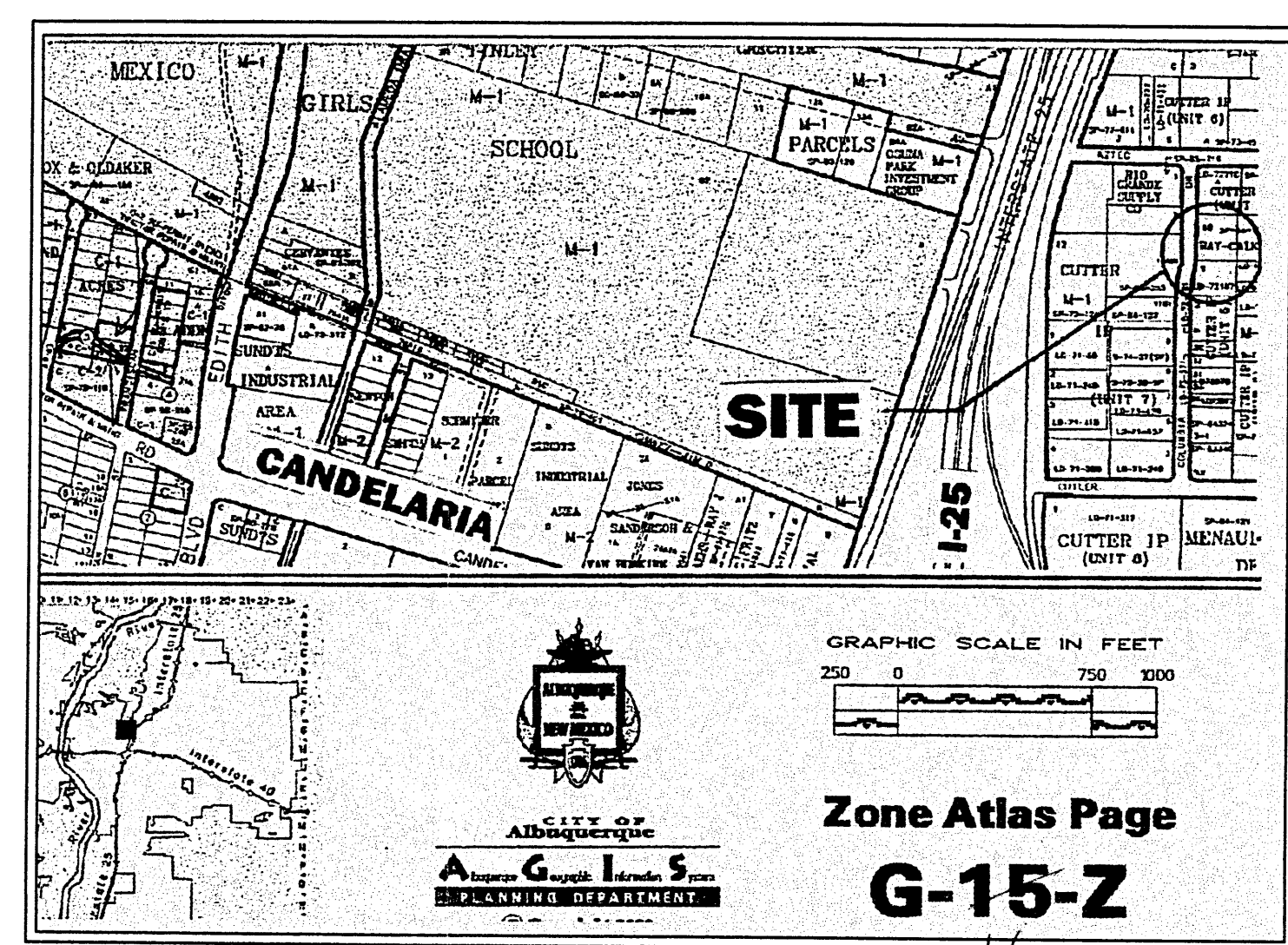
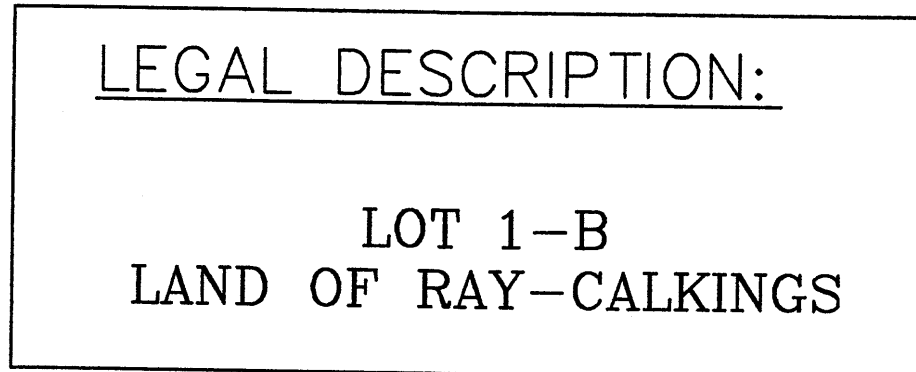
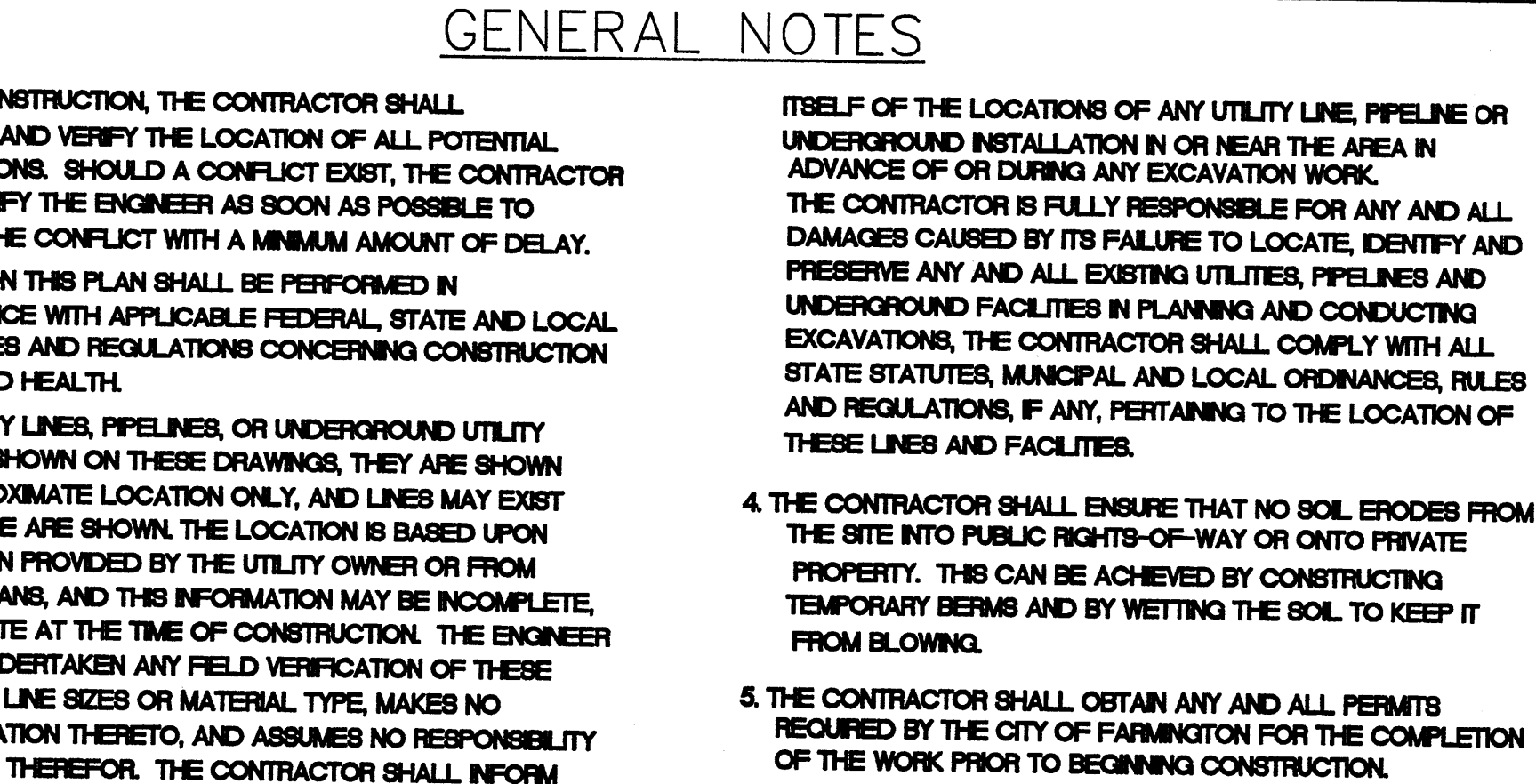
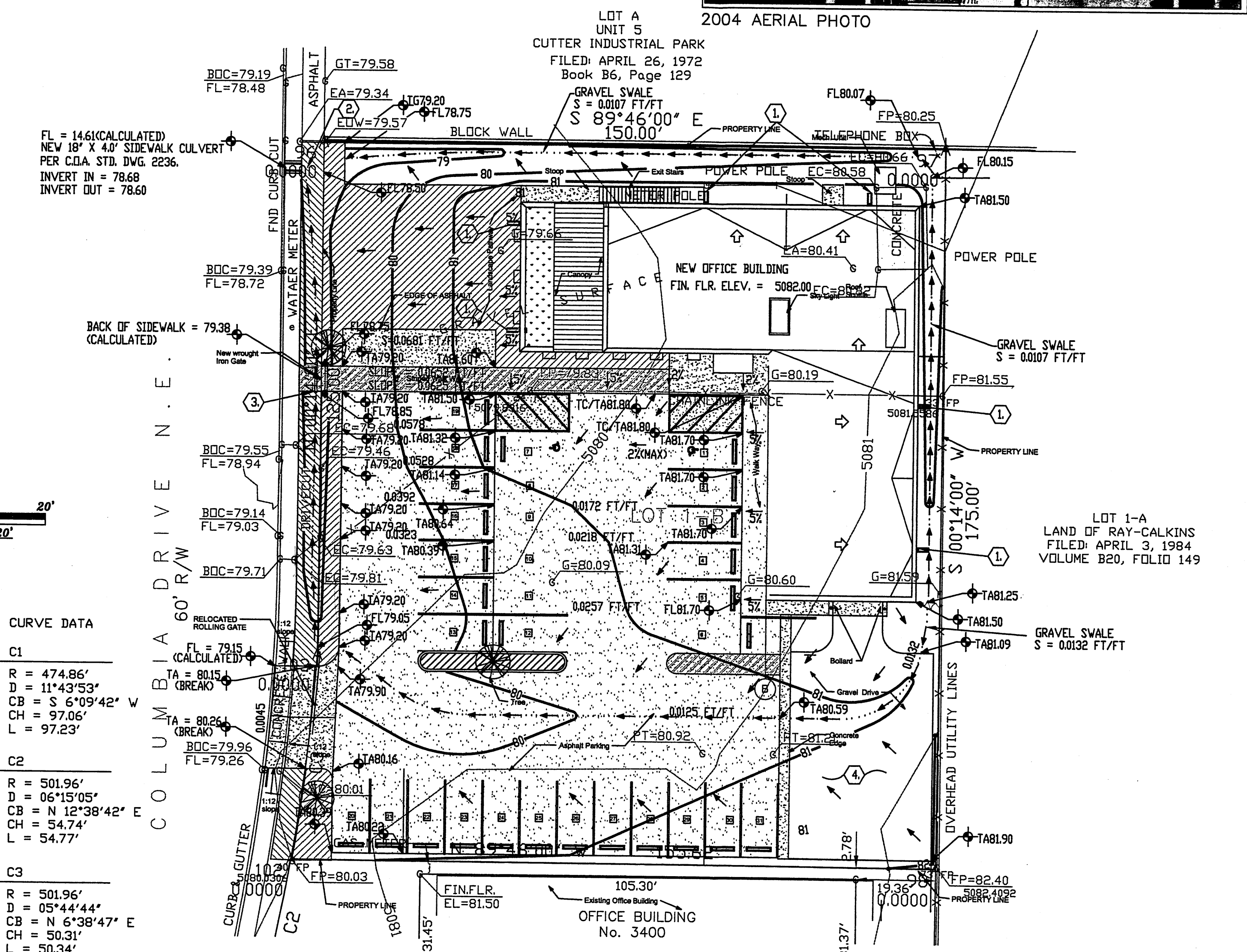
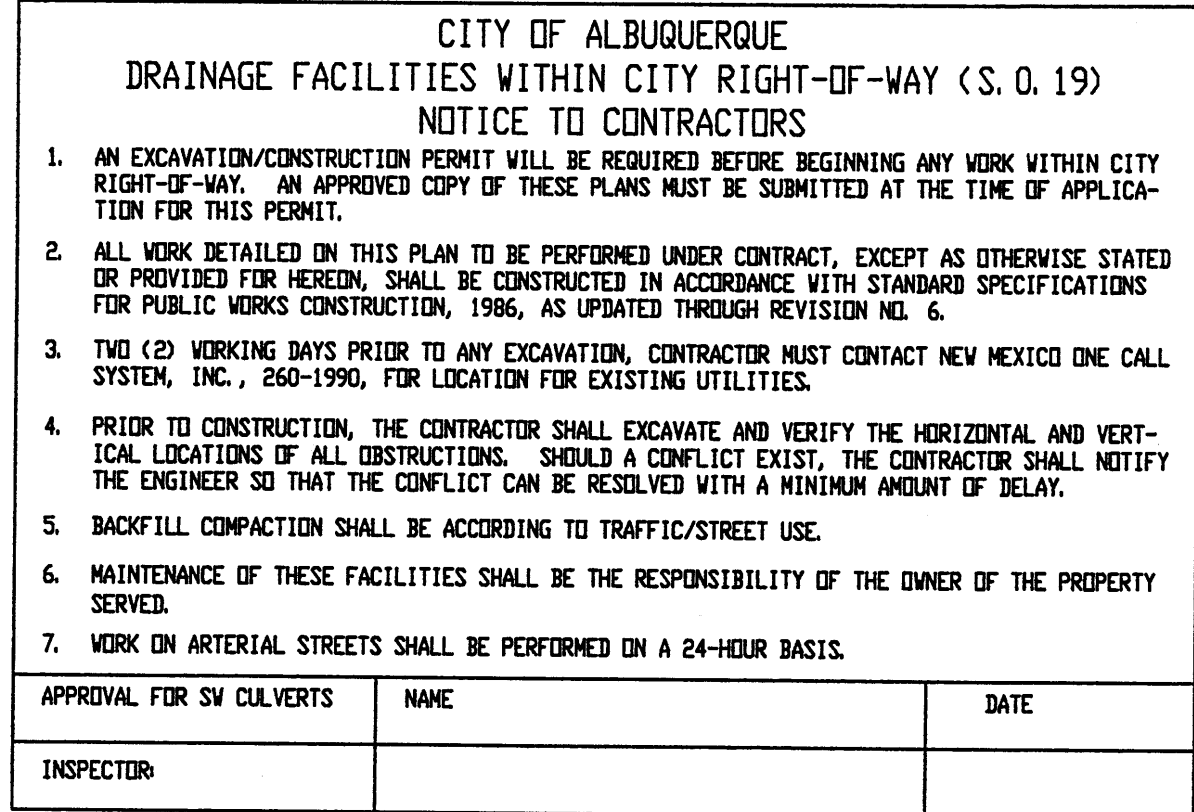
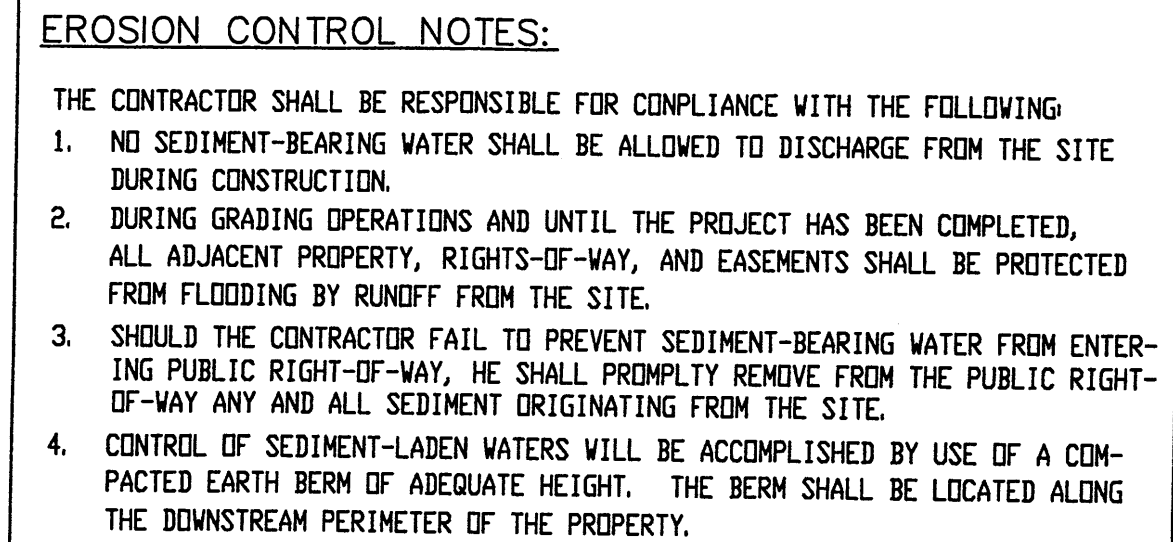
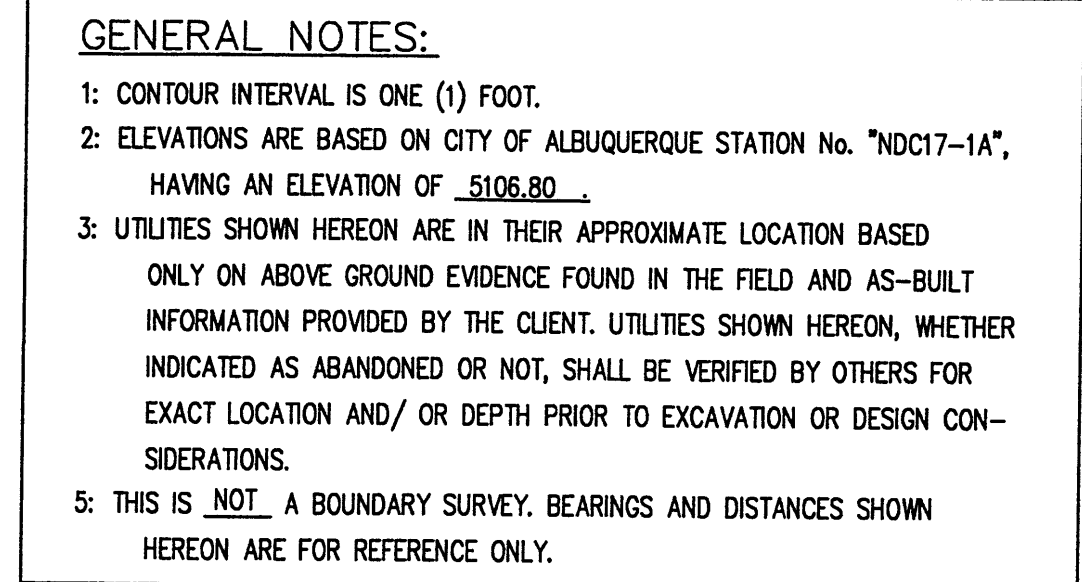
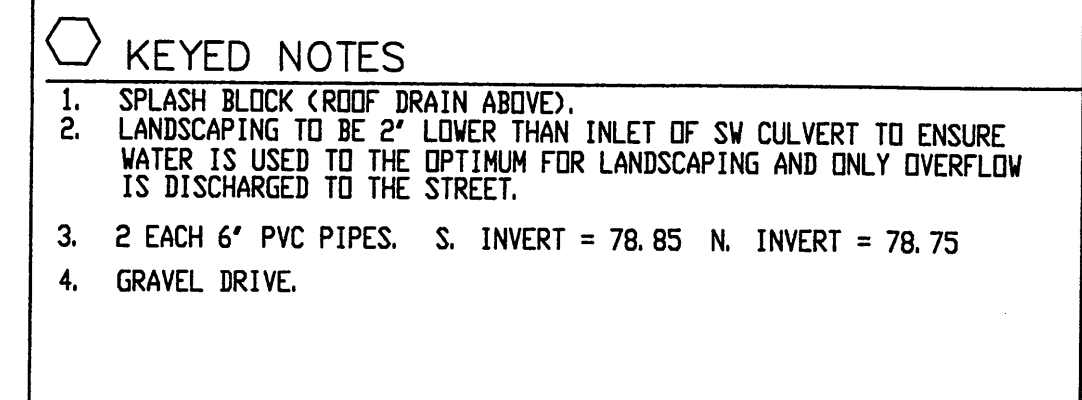
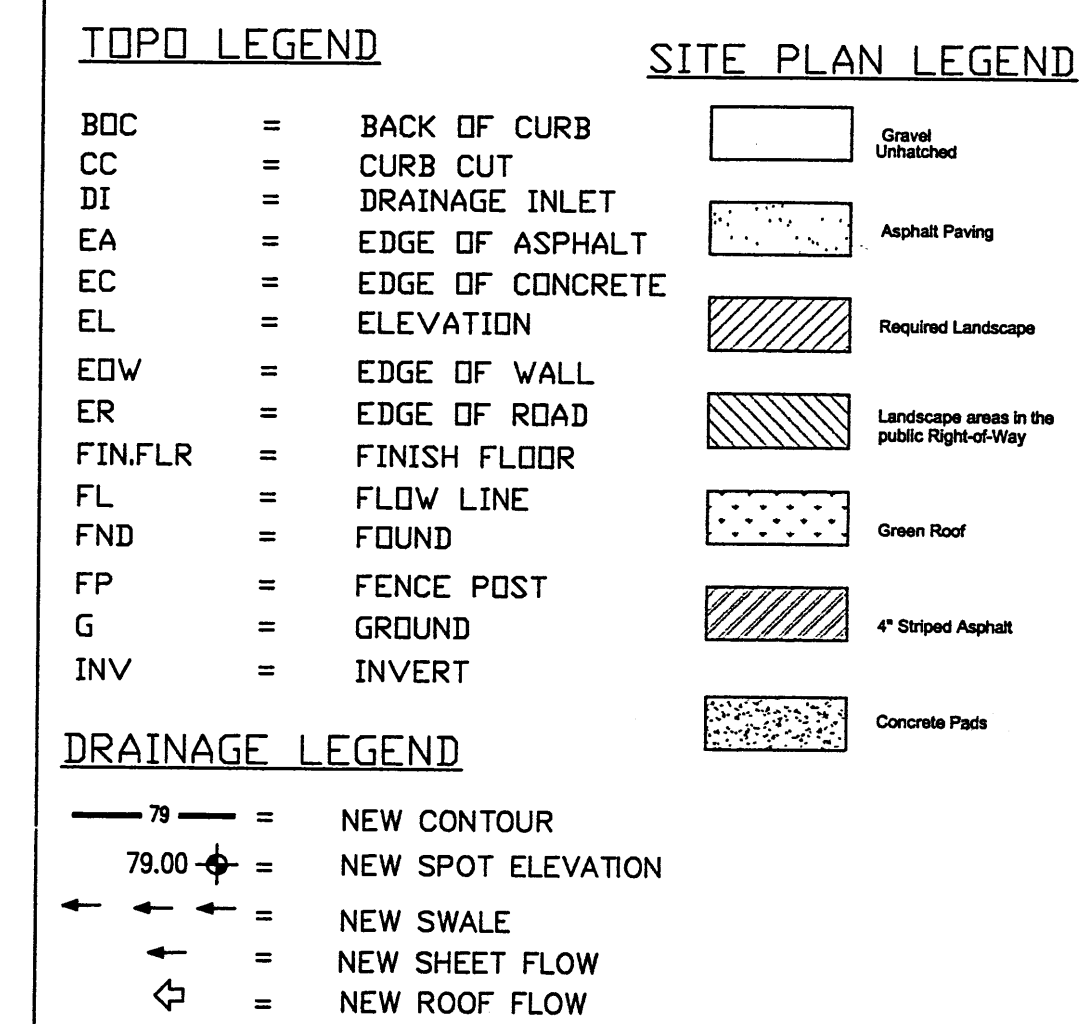
SHEET NO.
A-100

SEQUENCE NO.
OF





FIRMETTE



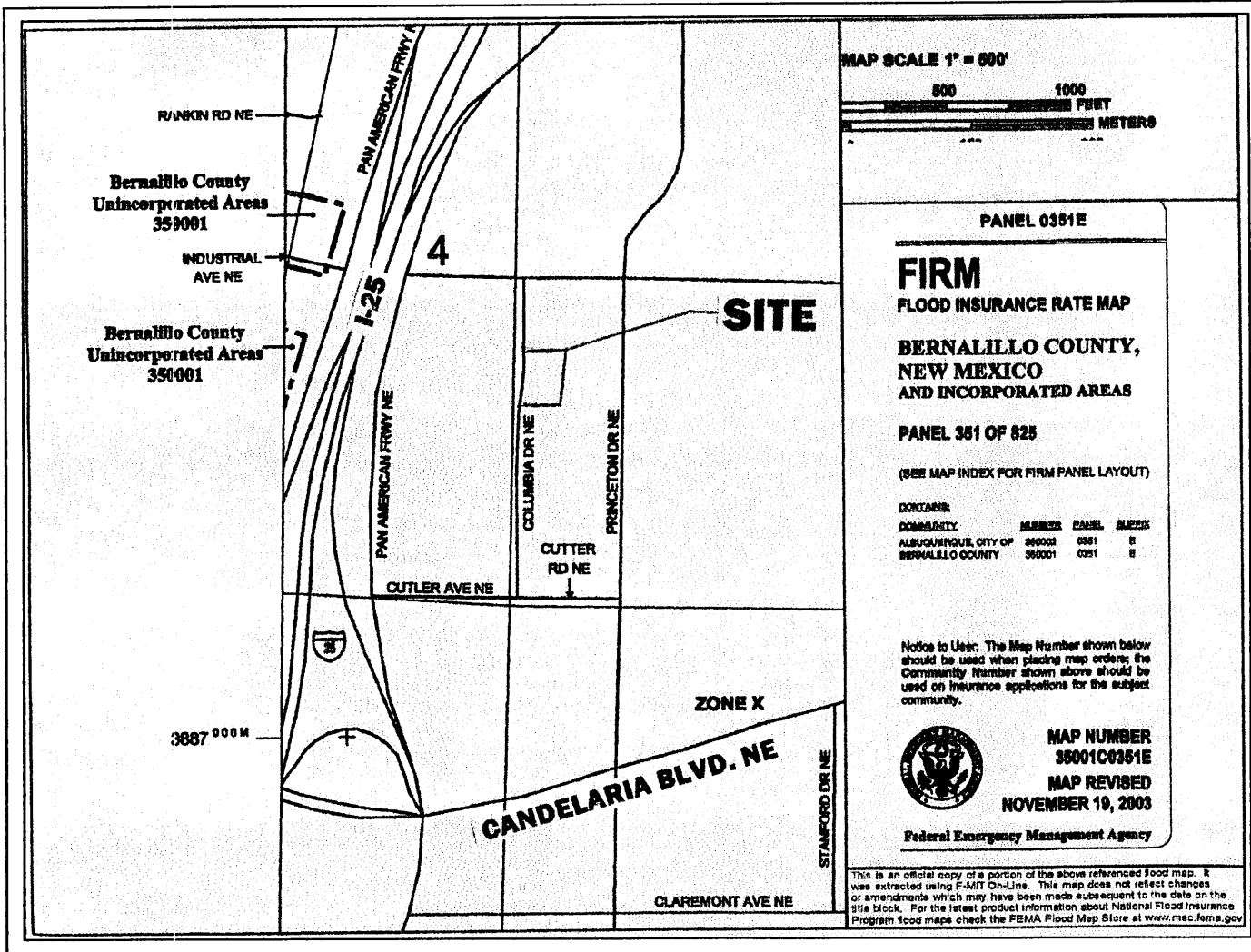
GRADING AND DRAINAGE PLAN
NATIONAL ROOFING
3400 COLUMBIA DRIVE NE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
(505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • Albuquerque, NM • 87107

JOB NO:	685
DATE:	August 22, 2005
REVISIONS	

SHEET NO.
1 OF 1

C:\All Proj\Proj685\Not_Roof_DP.DWG (AUGUST 22, 2005)



CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.O. 19)
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL FOR SW CULVERTS: _____ NAME: _____ DATE: _____

INSPECTOR: _____

DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

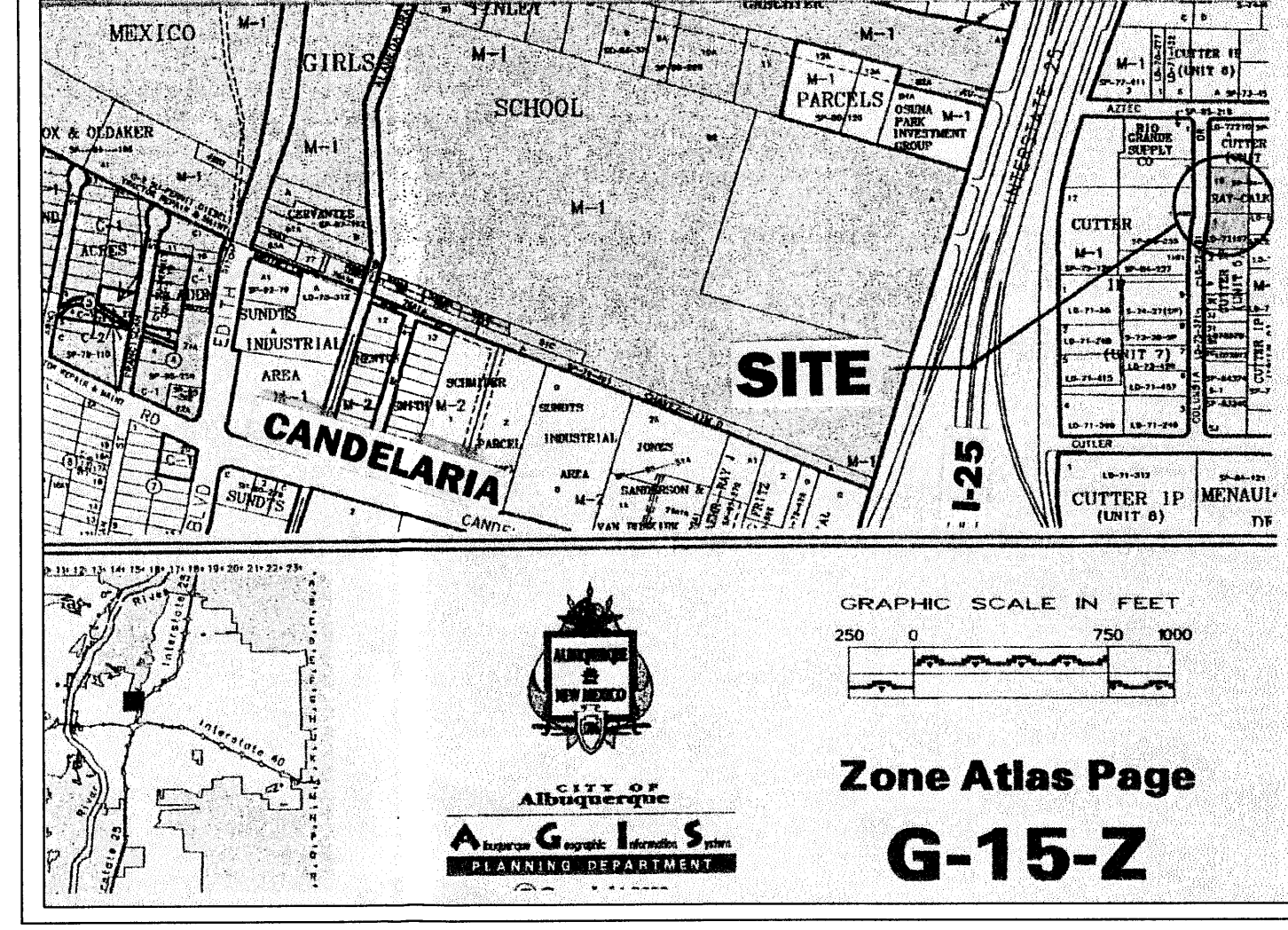
I, FRANK D. LOVELADY, NMPE 6512 OF THE FIRM OF FRANK D. LOVELADY P.E. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-22-2005. THE RECORD INFORMATION ENTITLED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRANT OF TEMPORARY CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: THE PLAN CALLED FOR A SIDEWALK CULVERT WHICH WAS NOT PUT IN. ALSO, KEYED NOTE 3 CALLS FOR PIPES UNDER THE PEDESTRIAN WALKWAY WHICH WERE NOT PUT IN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

FRANK D. LOVELADY
NMPE 6512
07-18-06
DATE

FRANK D. LOVELADY
NMPE 6512
07-18-06
DATE



FRANK D. LOVELADY
NMPE 6512
AUGUST 22, 2005
REVISED 07/17/06

CERTIFIED GRADING AND DRAINAGE PLAN
NATIONAL ROOFING
3400 COLUMBIA DRIVE NE
ALBUQUERQUE, NEW MEXICO

FIRMETTE

TOPO LEGEND

BOC = BACK OF CURB
CC = CURB CUT
DI = DRAINAGE INLET
EA = EDGE OF ASPHALT
EC = EDGE OF CONCRETE
EL = ELEVATION
EDW = EDGE OF WALL
ER = EDGE OF ROAD
FINFLR = FINISH FLOOR
FL = FLOW LINE
FND = FOUND
FP = FENCE POST
G = GROUND
INV = INVERT

SITE PLAN LEGEND

Gravel Unexcavated
Asphalt Paving
Required Landscape
Landscape areas in the public Right-of-Way
Green Roof
4" Striped Asphalt
Concrete Pads

DRAINAGE LEGEND

79.00 = NEW CONTOUR
79.00 = NEW SPOT ELEVATION
79.00 = NEW SWALE
79.00 = NEW SHEET FLOW
79.00 = NEW ROOF FLOW
79.00 = AS-CONSTRUCTED ELEVATION.

KEYED NOTES

- SPLASH BLOCK (ROOF DRAIN ABOVE).
- LANDSCAPING TO BE 2" LOWER THAN INLET OF SW CULVERT TO ENSURE WATER IS USED TO THE OPTIMUM FOR LANDSCAPING AND ONLY OVERFLOW IS DISCHARGED TO THE STREET.
- 2 EACH 6" PVC PIPES. S. INVERT = 78.85 N. INVERT = 78.75
- GRAVEL DRIVE.

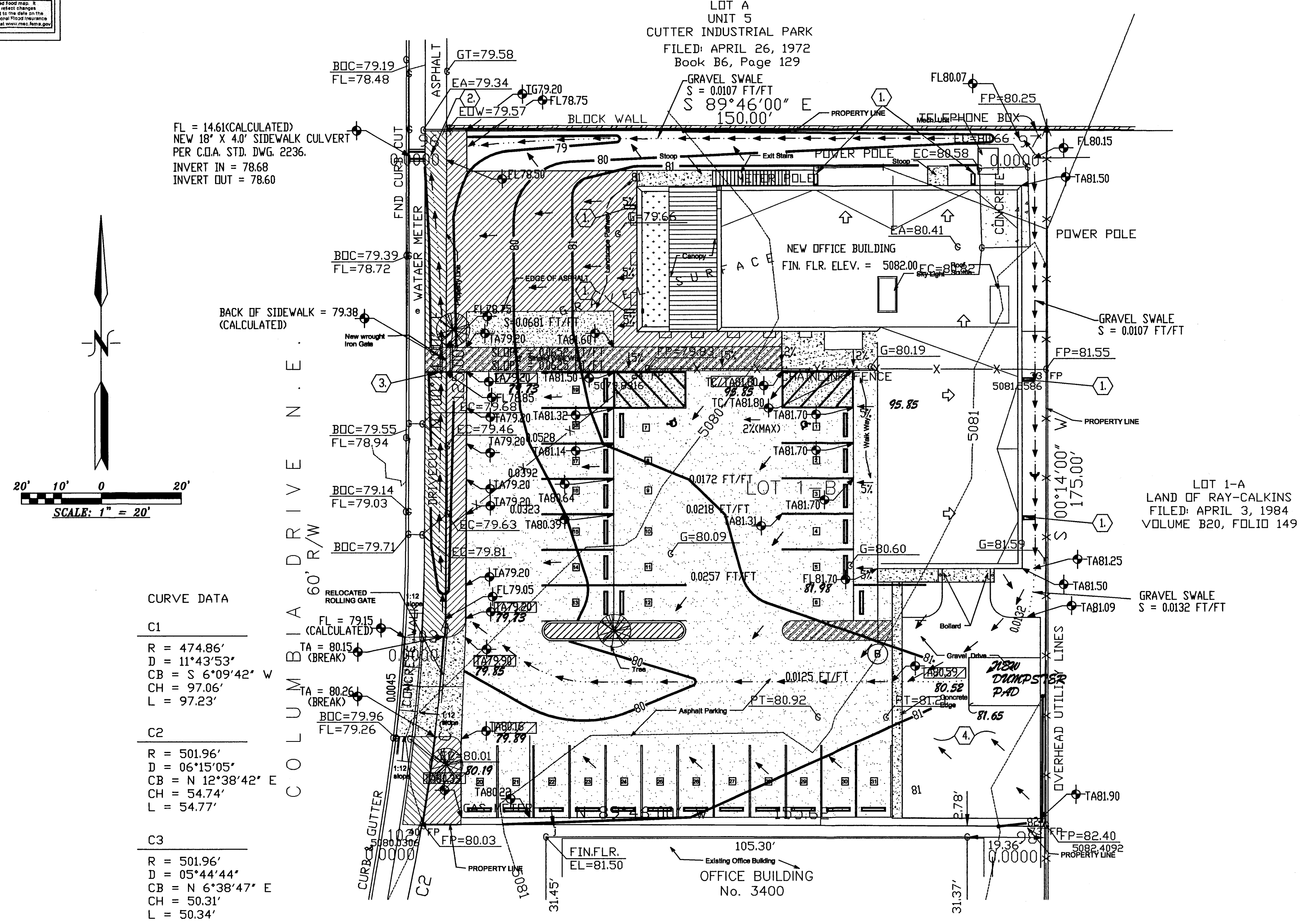
GENERAL NOTES:

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "NDC17-1A", HAVING AN ELEVATION OF 5106.80.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

EROSION CONTROL NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:

- NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
- DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
- SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
- CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.



GENERAL NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF OR DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF FARMINGTON FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

LEGAL DESCRIPTION:

LOT 1-B
LAND OF RAY-CALKINGS

VICINITY MAP

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on Lot 1B, Land of Ray Calkings. The site is on the East side of Columbia Dr. NE, the second lot south of Aztec Ave. Columbia Drive is paved with standard curb and gutter and slopes toward Aztec Ave. The lots to the north, east and south are developed. The lot to the south, Lot 1, Unit 5, Cutter Industrial Park, is also owned by National Roofing and the existing conditions were shown by topo survey. However, since no work is proposed for this lot, the topo was not shown.

PROPOSED CONDITIONS:

It is proposed to construct a building, asphalt paving and landscaping on the site as shown. It is proposed to discharge all site drainage into the landscaping along the extreme westerly side of the lot, which will be slightly depressed and sloped from south to north. The landscaping will overflow into the sidewalk culvert to be located at the north end of the landscaping. Since it is proposed to construct a sidewalk from the building to connect to the sidewalk along Columbia Drive, it is proposed to install a minimum of two 6" PVC pipes under the sidewalk where it crosses the landscaping strip.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, For the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, ETC.:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

TREAT	100-yr.	10-yr.	100-yr.	10-yr.	%	Existing Site Areas	%	Developed Site Areas	%
A	1.56	0.38	0.53	0.13	0.0	0.0000	0.0	0.0000	0.0
B	2.28	0.95	0.78	0.28	0.0	0.0000	3.4	905	0.0208
C	3.14	1.71	1.13	0.52	100.0	26,385	6.057	23.9	6,300
D	4.70	3.14	2.12	1.34	0.0	0.0000	72.7	19,180	0.4403
Totals						100.0	26,385	6.057	100.0

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 0.6057 * 3.14 = 1.90 cfs
Q10 = 0.6057 * 1.71 = 1.04 cfs

DEVELOPED CONDITIONS:

Q100 = 0.0208 * 2.28 + 0.1446 * 3.14 + 0.4403 * 4.70 = 2.57 cfs
Q10 = 0.0208 * 0.95 + 0.1446 * 1.71 + 0.4403 * 3.14 = 1.65 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (26,385 * 1.13) / 12 = 2,485 cf
V10 = (26,385 * 0.52) / 12 = 1,143 cf

DEVELOPED CONDITIONS:

V100 = (905 * 0.78 + 6,300 * 1.13 + 19,180 * 2.12) / 12 = 4,040 cf
V10 = (905 * 0.28 + 6,300 * 0.52 + 19,180 * 1.34) / 12 = 2,436 cf

SUMMARY OF ON-SITE VOLUMES AND DISCH. RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	4,040	2,436	2.57	1.65
EXISTING	2,485	1,143	1.90	1.04
INCREASE	1,915	1,293	0.67	0.61

OFF-SITE FLOW:

There is no associated with this site. The lot north of the site drains to Columbia Dr. The lot east of the site drains to Princeton Drive, NE. The lot south of the site drains to Columbia Drive.

DOWNSTREAM CAPACITY:

Flow from the site enters Columbia Drive and flows north to Aztec Ave. From there it flows west to inlets at the intersection with the I-25 East Frontage Road.

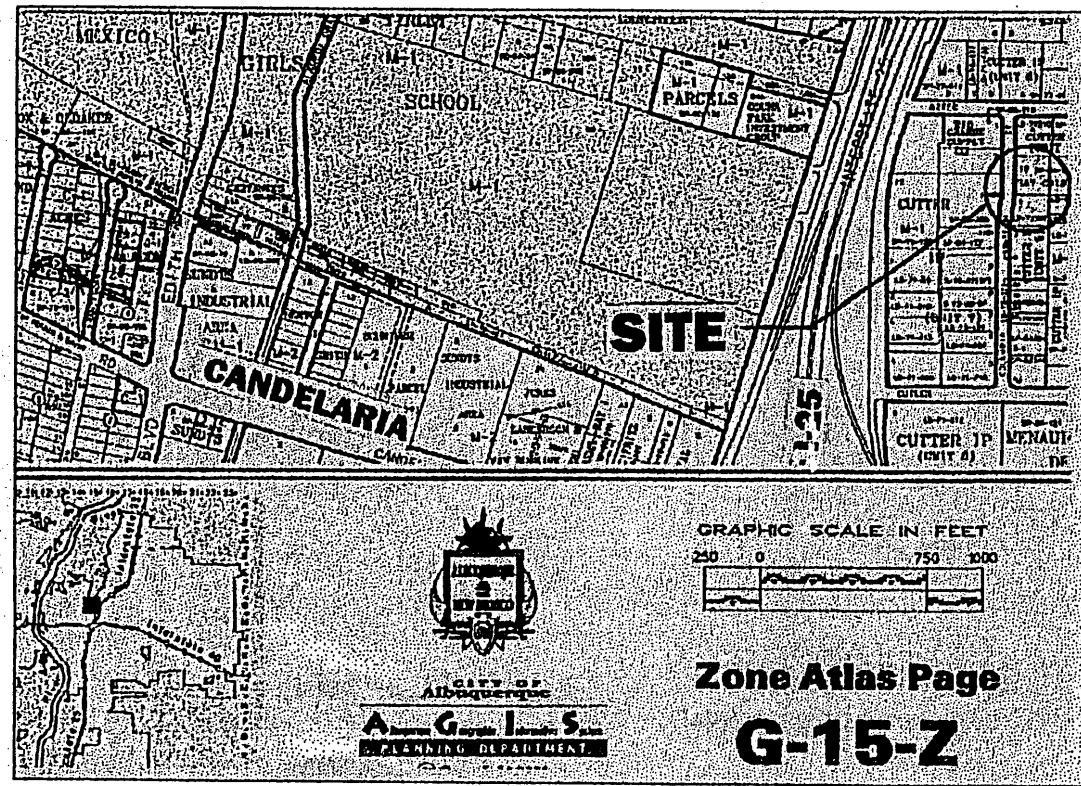
SIDEWALK CULVERT:

USE WEIR EQUATION: $Q = CLH^{3/2}$ C = 3.0 L = 1.5' H = 8" 0.667'
 $Q = CLH^{3/2} = 3.0 \times 1.5 \times 0.667^{3/2} = 2.45$ CFS SLIGHTLY UNDER 2.57 CFS BUT AN INCREASE TO A 2.0' WIDE SW CULVERT IS NOT JUSTIFIED FOR SUCH A SMALL AMOUNT.

FRANK D. LOVELADY, P.E.
(505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • Albuquerque, NM • 87107

JOB NO: 685
DATE: July 17, 2006
REVISIONS
AS-CONST. ELEV. SHOTS.

SHEET NO.
1 OF 1



VICINITY MAP

PARKING CALCULATION:

1st FLOOR AREA = 3,456 SF ÷ 200 = 17 PARKING SPACES
2nd FLOOR AREA = 2,736 SF ÷ 300 = 9 PARKING SPACES
SHOP/STORAGE AREA = 2,160 SF ÷ 2000 = 2 PARKING SPACES
= 28 PARKING SPACES REQUIRED

PARKING STALLS		
TYPE	REQUIRED	PROVIDED
STANDARD STALL	21	22
COMPACT STALL	7	7
VAN H.C. STALL	1	1
CAR H.C. STALL	1	1
	30	31

PROPERTY LOCATION:

City of Albuquerque, zoning designation M-1,
Manufacturing: National Roofing Company, Inc. 3408 (lot
being developed) Columbia Drive NE Albuquerque, NM
87107

Lot Area 26,385

TRAFFIC SITE PLAN

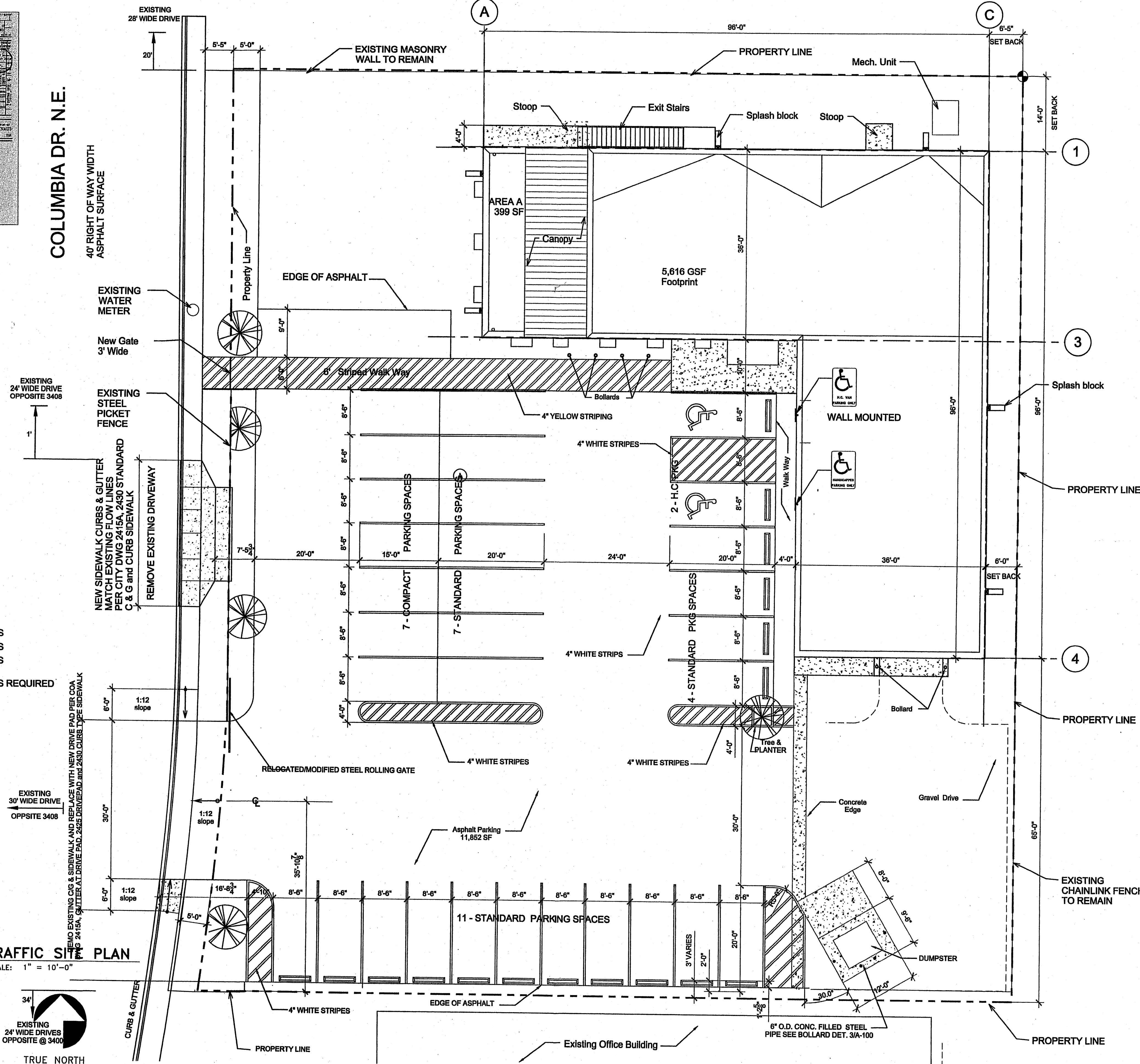
SCALE: 1" = 10'-0"

EXISTING
24' WIDE DRIVE
OPPOSITE @ 3400

TRUE NORTH

COLUMBIA DR. N.E.

40' RIGHT OF WAY WIDTH
ASPHALT SURFACE



ALBUQUERQUE
BUILDING & SAFETY
OCT 25 2005
I.R.C.
PLAN CHECK SECTION

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 10/21/05

Willard L.
Eastman
No. 2181
10/17/05

3408 COLUMBIA
ALBUQUERQUE, NM 87102
NATIONAL ROOFING
OFFICE BUILDING
TRAFFIC SITE PLAN

SHEET NO.
A-100.1

SEQUENCE
NO. 1 OF 1

REVISIONS		
Symbol	Description	Date
1	PARKING CALC & DIMENSION & H.C. DET.	

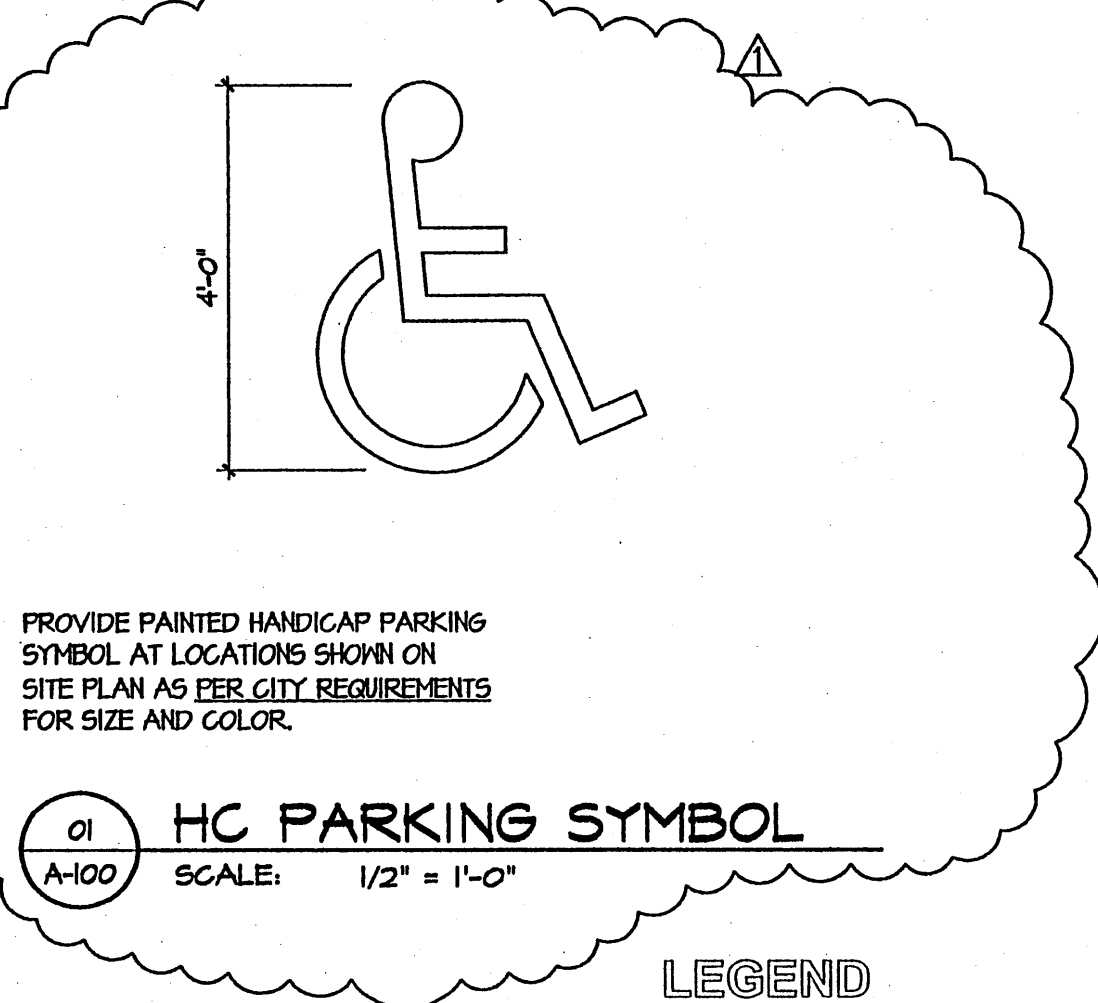
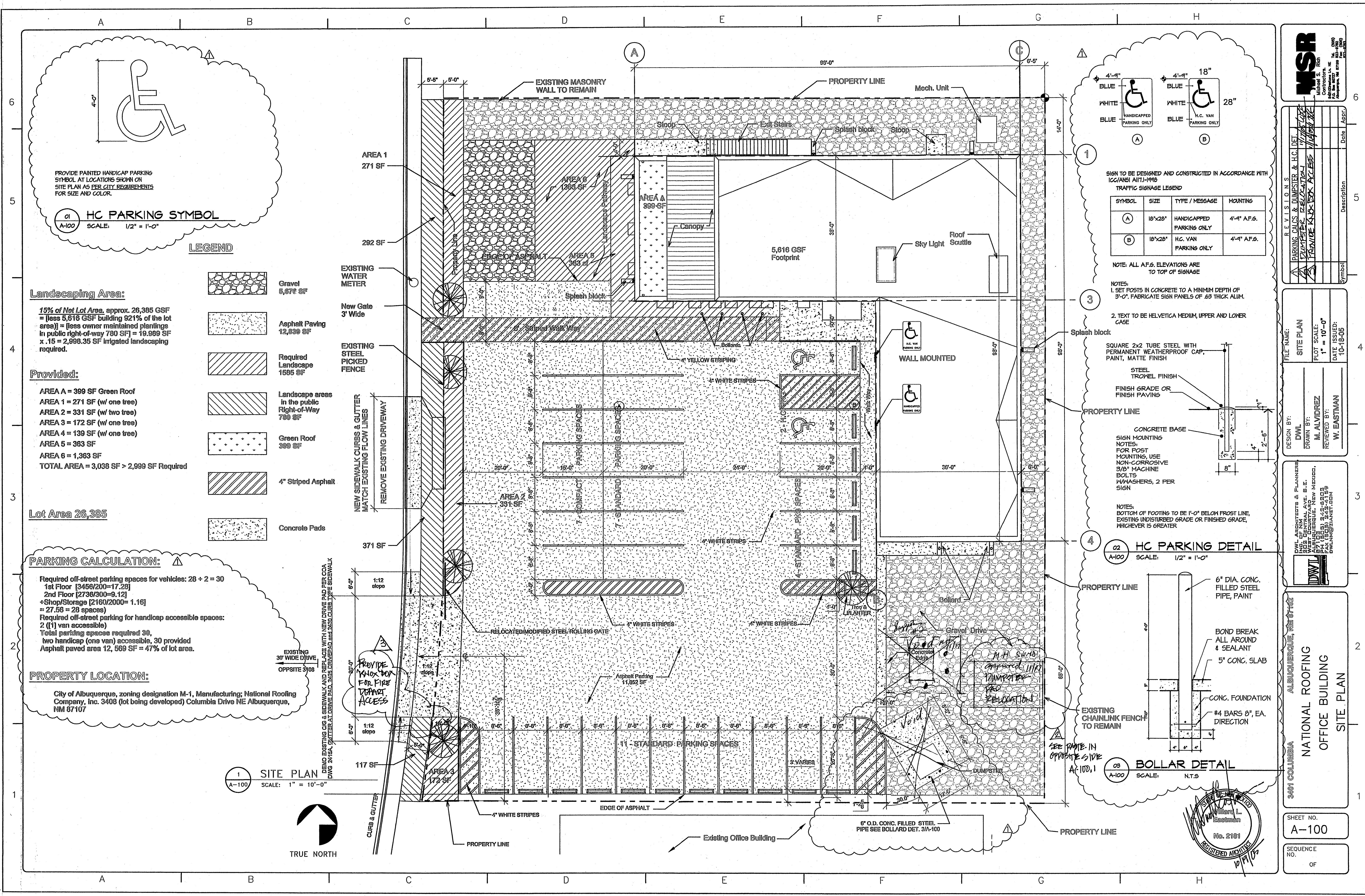
DESIGN BY:
DWL
DRAWN BY:
M. ALVAREZ
REVIEWED BY:
W. EASTMAN
DATE ISSUED:
8-09-05
FILE NAME:
SITE PLAN
PLOT SCALE:
1" = 10'-0"

DWL ARCHITECTS & PLANNERS
200 S. GILMAN AVE., S.E.
WEST COURTYARD
SUITE 100
ALBUQUERQUE, NM 87102
TEL: (505) 242-2419
FAX: (505) 242-2419
DWLAN@GMAIL.COM

MSR
Michael S. Rich
Professional Engineer
No. 10772
Exp. 12/31/06

RECEIVED
AUG 08 2006
LAND DEVELOPMENT SECTION

RECEIVED
OCT 17 2005
LAND DEVELOPMENT SECTION



01 HC PARKING SYMBOL
SCALE: 1/2" = 1'-0"

LEGEND

Landscaping Area:

15% of Net Lot Area, approx. 26,385 GSF
= [less 5,616 GSF building 921% of the lot
area] = [less owner maintained plantings
in public right-of-way 780 SF] = 19,989 SF
x .15 = 2,998.35 SF irrigated landscaping
required.

Provided:

- AREA A = 399 SF Green Roof
- AREA 1 = 271 SF (w/ one tree)
- AREA 2 = 331 SF (w/ two trees)
- AREA 3 = 172 SF (w/ one tree)
- AREA 4 = 139 SF (w/ one tree)
- AREA 5 = 363 SF
- AREA 6 = 1,363 SF
- TOTAL AREA = 3,038 SF > 2,999 SF Required

Lot Area 26,385

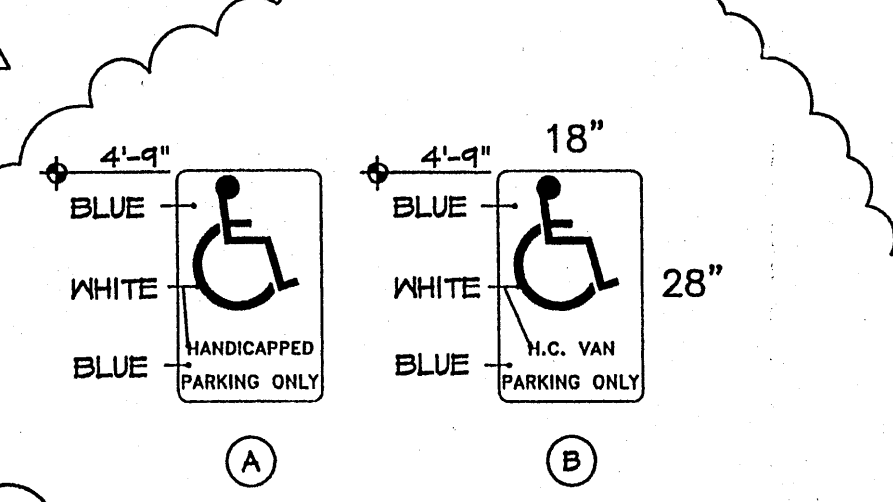
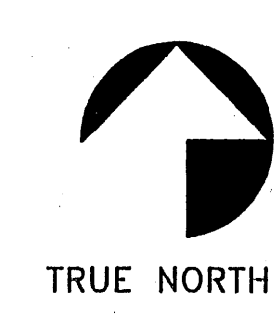
PARKING CALCULATION:

Required off-street parking spaces for vehicles: $28 + 2 = 30$
1st Floor [3456/200=17.28]
2nd Floor [2736/300=9.12]
+Shop/Storage [2160/2000= 1.16]
= 27.56 = 28 spaces
Required off-street parking for handicap accessible spaces:
2 ((1) van accessible)
Total parking spaces required 30,
two handicap (one van) accessible, 30 provided
Asphalt paved area 12,569 SF = 47% of lot area.

PROPERTY LOCATION:

City of Albuquerque, zoning designation M-1, Manufacturing; National Roofing
Company, Inc. 3408 (lot being developed) Columbia Drive NE Albuquerque,
NM 87107

1 SITE PLAN
SCALE: 1" = 10'-0"

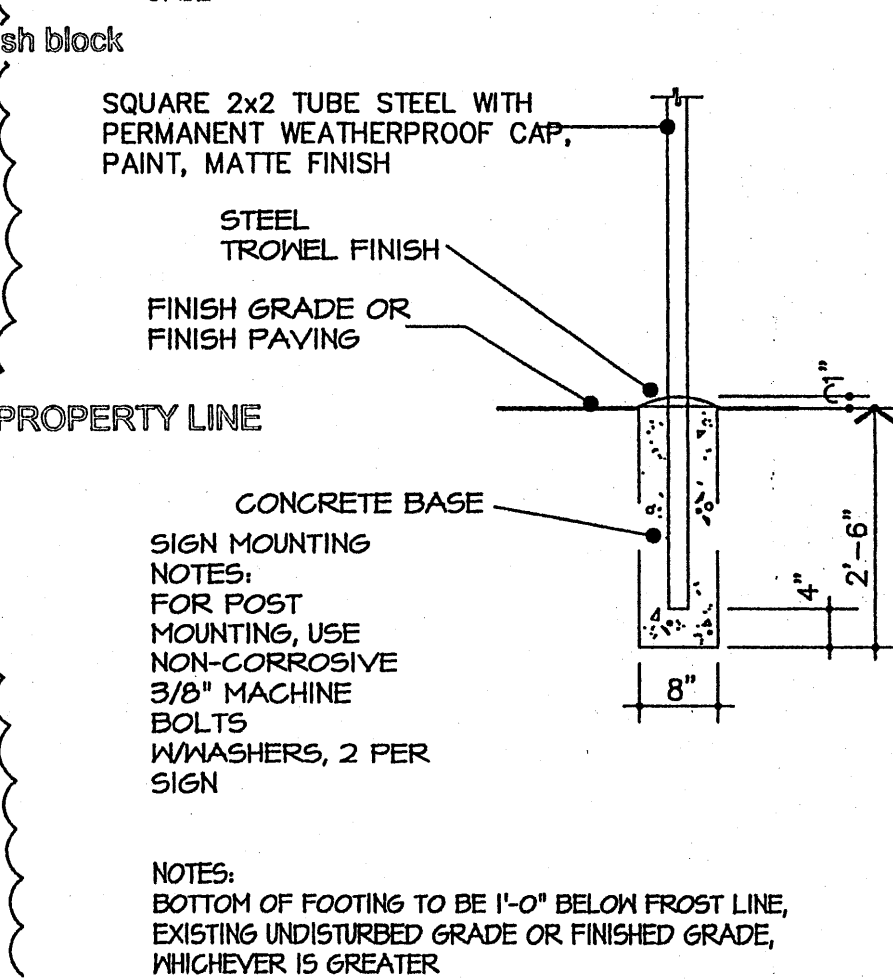


TRAFFIC SIGNAGE LEGEND

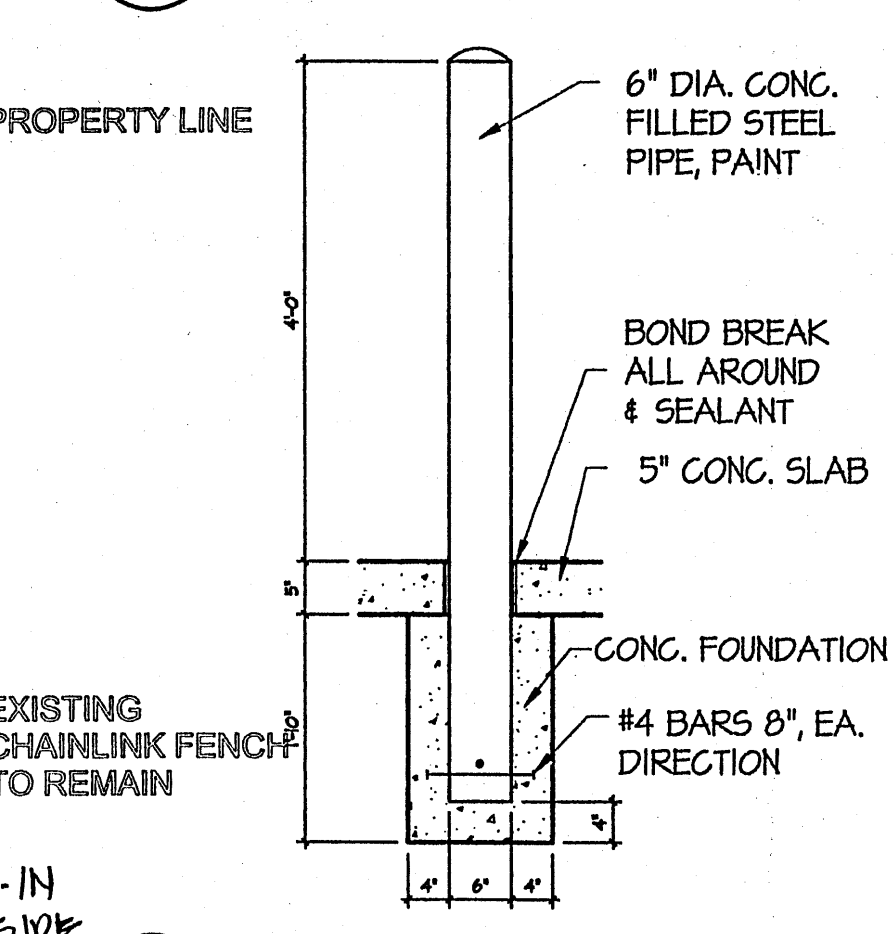
SYMBOL	SIZE	TYPE / MESSAGE	MOUNTING
(A)	18"x28"	HANDICAPPED PARKING ONLY	4'-4" A.F.S.
(B)	18"x28"	H.C. VAN PARKING ONLY	4'-4" A.F.S.

NOTE: ALL A.F.S. ELEVATIONS ARE TO TOP OF SIGNAGE

- NOTES:
1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". FABRICATE SIGN PANELS OF .63 THICK ALUM.
 2. TEXT TO BE HELVETICA MEDIUM, UPPER AND LOWER CASE



02 HC PARKING DETAIL
SCALE: 1/2" = 1'-0"



03 BOLLAR DETAIL
SCALE: N.T.S.

MSR
MARTIN S. RICH
ARCHITECTS
3401 COLUMBIA DRIVE, N.E.
ALBUQUERQUE, NM 87107
(505) 261-1100
FAX (505) 261-1101
WWW.MSRARCHITECTS.COM

REVISIONS

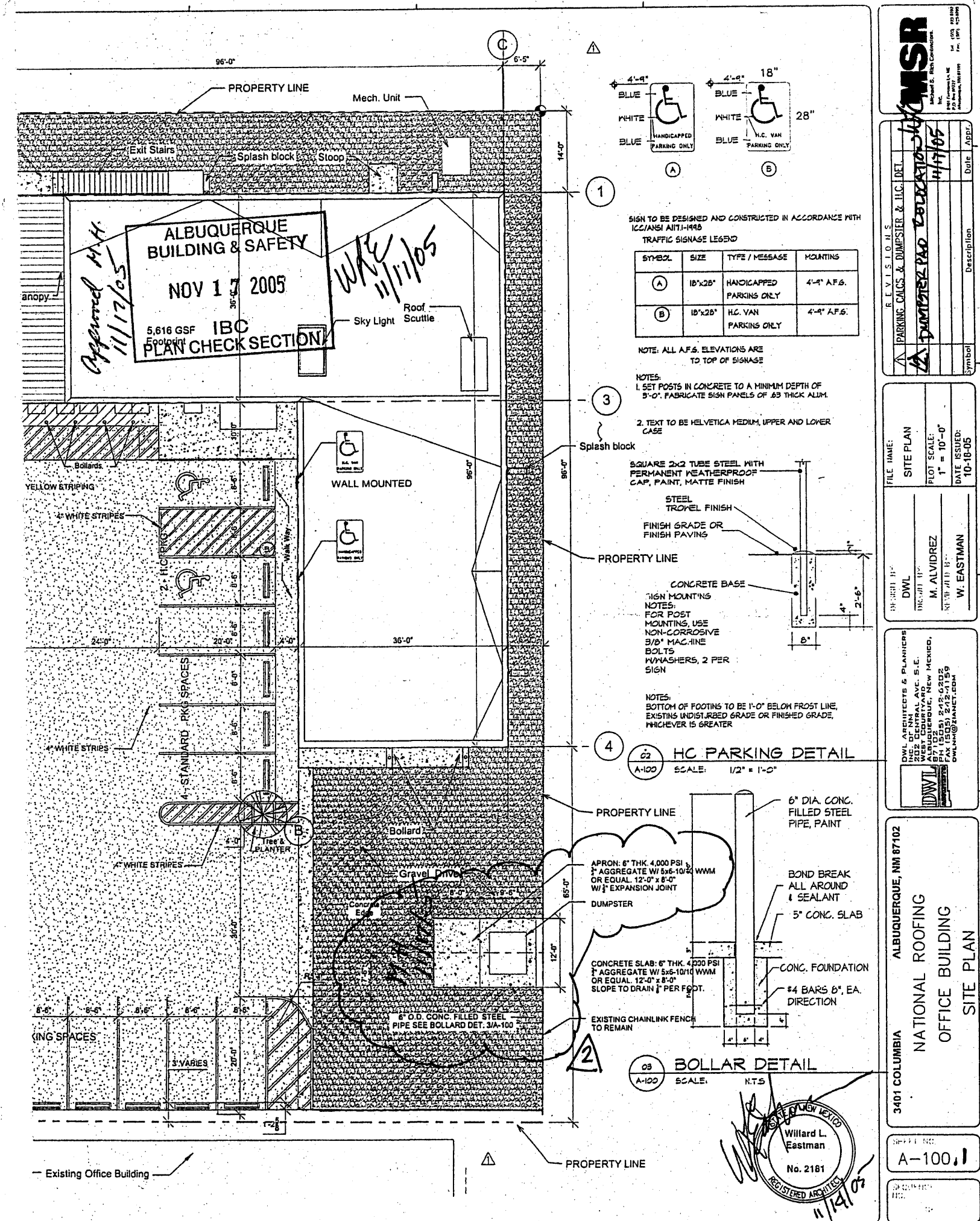
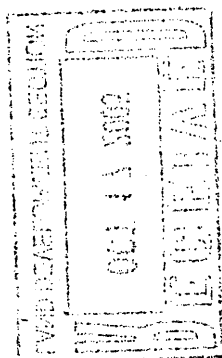
No.	Description	Date	Appr.
1	PARKING CALC & DIMENSION & H.C. DET		
2	TRAFFIC SIGNAGE RELOCATION		
3	PROVIDE 18"x28" PLACES		

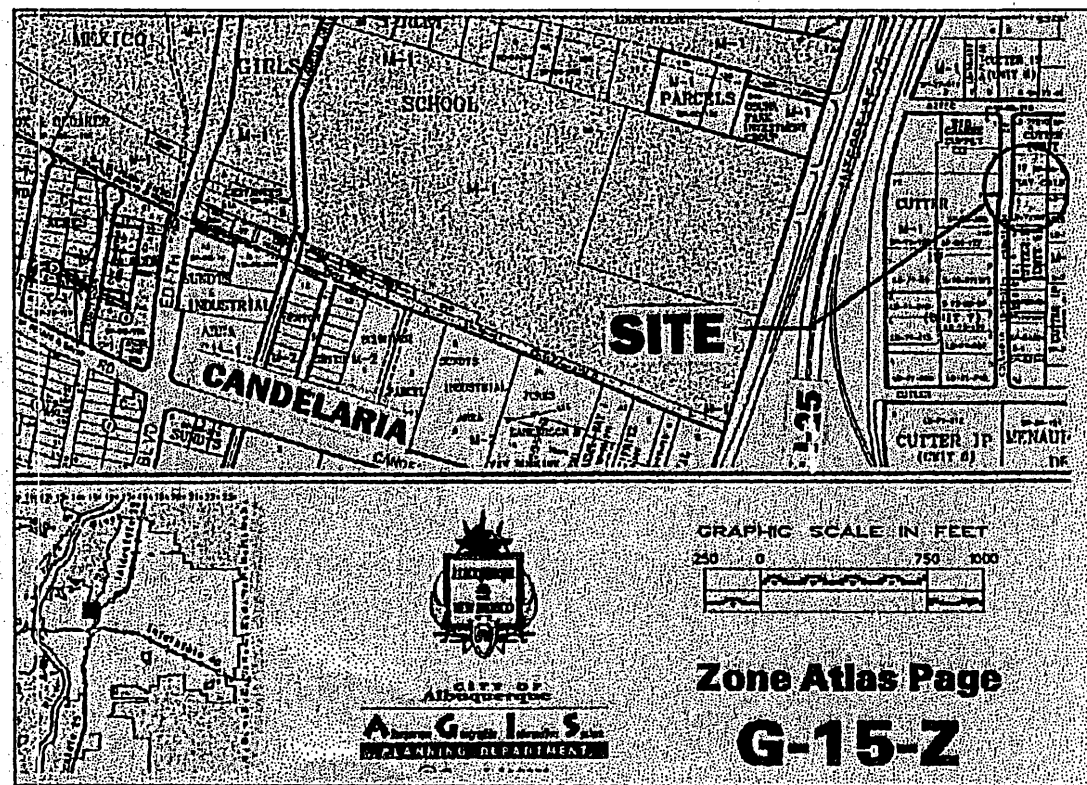
FILE NAME: SITE PLAN
DESIGN BY: DWL
DRAWN BY: M. ALVAREZ
REVIEWED BY: W. EASTMAN
PLOT SCALE: 1" = 10'-0"
DATE ISSUED: 10-18-06

3401 COLUMBIA
ALBUQUERQUE, NM 87107
NATIONAL ROOFING
OFFICE BUILDING
SITE PLAN

SHEET NO.
A-100

SEQUENCE NO.
OF





VICINITY MAP

PARKING CALCULATION:

1st FLOOR AREA = 3,456 SF + 200 = 17 PARKING SPACES
 2nd FLOOR AREA = 2,736 SF + 300 = 9 PARKING SPACES
 SHOP/STORAGE AREA = 2,160 SF + 2000 = 2 PARKING SPACES
 = 28 PARKING SPACES REQUIRED

PARKING STALLS		
TYPE	REQUIRED	PROVIDED
STANDARD STALL	21	22
COMPACT STALL	7	7
VAN H.C. STALL	1	1
CAR H.C. STALL	1	1
	30	31

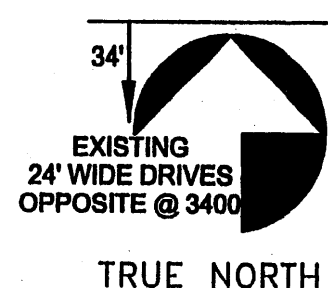
PROPERTY LOCATION:

City of Albuquerque, zoning designation M-1,
 Manufacturing; National Roofing Company, Inc. 3408 (lot
 being developed) Columbia Drive NE Albuquerque, NM
 87107

Lot Area 26,385

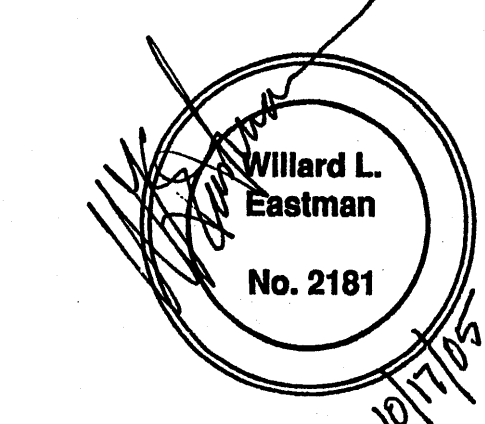
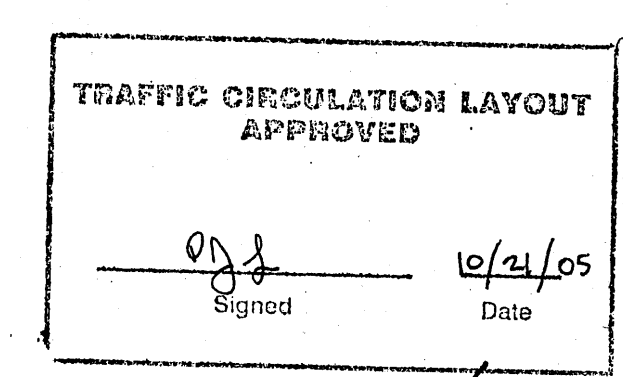
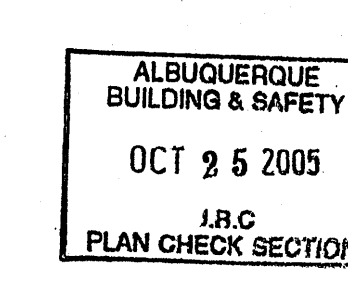
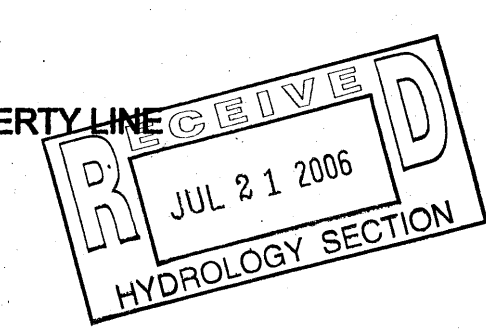
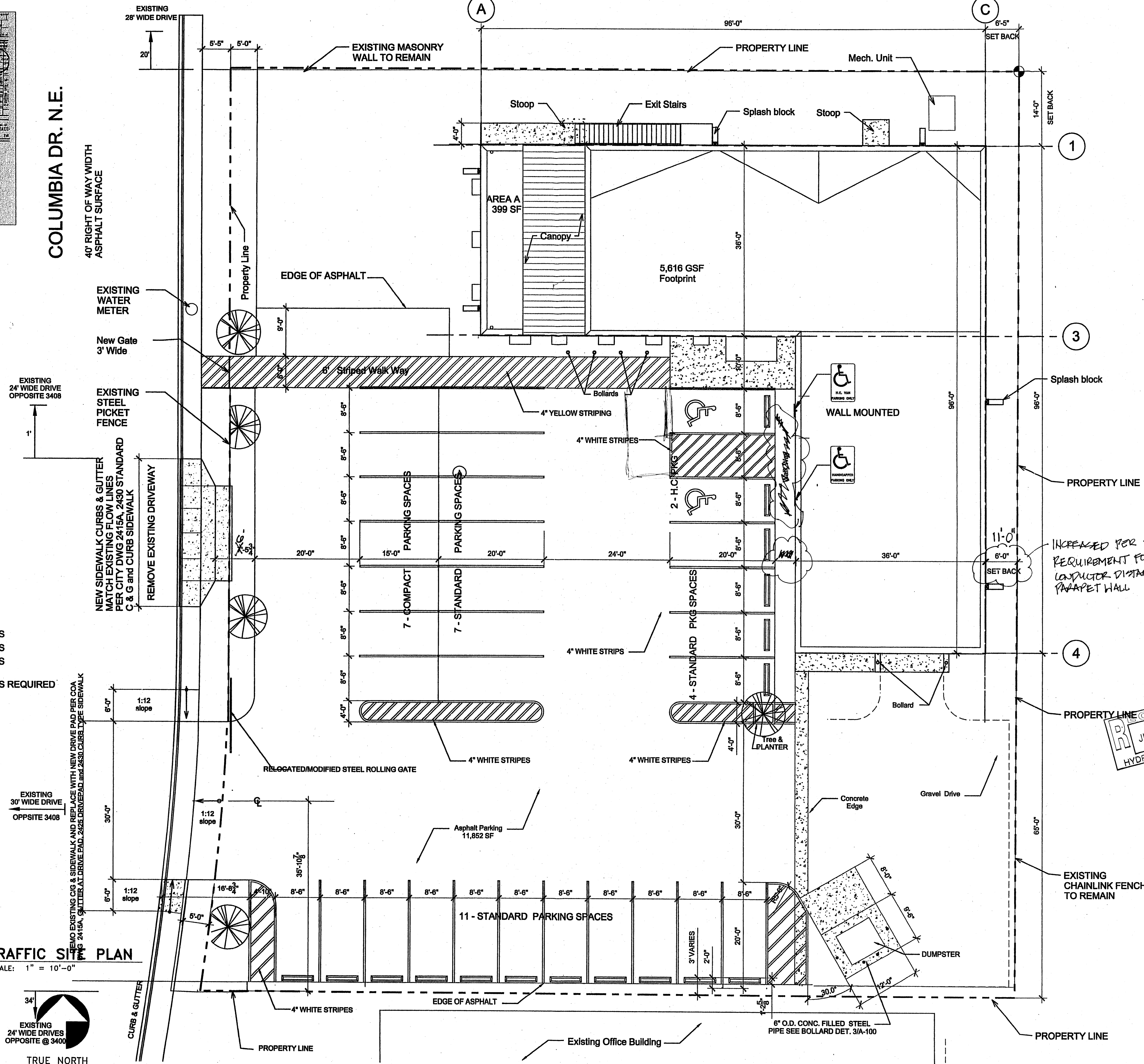
TRAFFIC SITE PLAN

SCALE: 1" = 10'-0"



COLUMBIA DR. N.E.

40' RIGHT OF WAY WIDTH
 ASPHALT SURFACE



Michael S. Rich
 Contractors, Inc.
 10000 1st Ave. NE
 Albuquerque, NM 87112
 Tel: (505) 877-1000
 Fax: (505) 877-1001

REVISIONS			
NO.	DESCRIPTION	DATE	APPROVED
1	PARKING CALC. & DUMPSTER & H.C. DET.		

FILE NAME: SITE PLAN

DESIGN BY: DWL

DRAWN BY: M. ALVAREZ

REVIEWED BY: W. EASTMAN

PLOT SCALE: 1" = 10'-0"

DATE ISSUED: 9-09-05

DWL ARCHITECTS & PLANNERS
 10025 DEER VALLEY AVE. S.E.
 WEST COURTHOUSE, NEW MEXICO,
 87112-1001
 TEL: (505) 242-4155
 FAX: (505) 242-4155
 DWL@DWLANET.COM

3408 COLUMBIA
 ALBUQUERQUE, NM 87102
 NATIONAL ROOFING
 OFFICE BUILDING
 TRAFFIC SITE PLAN

SHEET NO. A-100.1

SEQUENCE NO. OF

RECEIVED
 OCT 17 2005
 LAND DEVELOPMENT SECTION