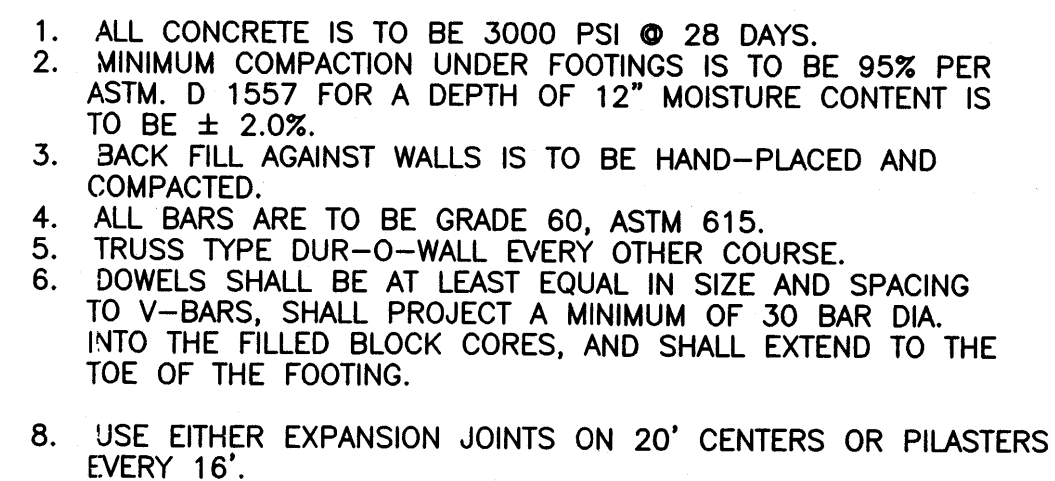




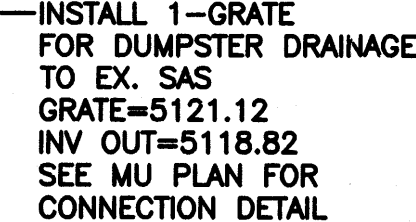
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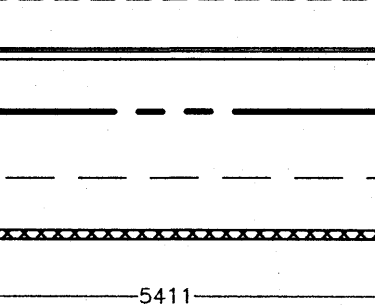


12 INCH REINFORCED CONCRETE MASONRY WALL						
H	A	B	T	V-BARS		X-BARS
ft.-in.	in.	ft.-in.	in.			
5'-4"	14"	3'-8"	10"	#4 @24"	O.C.	#3 @25" O.C.
6'-0"	15"	4'-2"	12"	#4 @16"	O.C.	#4 @30" O.C.
6'-8"	16"	4'-6"	12"	#6 @24"	O.C.	#4 @22" O.C.
7'-4"	18"	4'-10"	12"	#5 @16"	O.C.	#5 @26" O.C.
8'-0"	20"	5'-4"	12"	#7 @24"	O.C.	#5 @21" O.C.

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-GUAWA, EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE JOINT OF THE FOOTING.
7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS PROXIMALLY.
8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

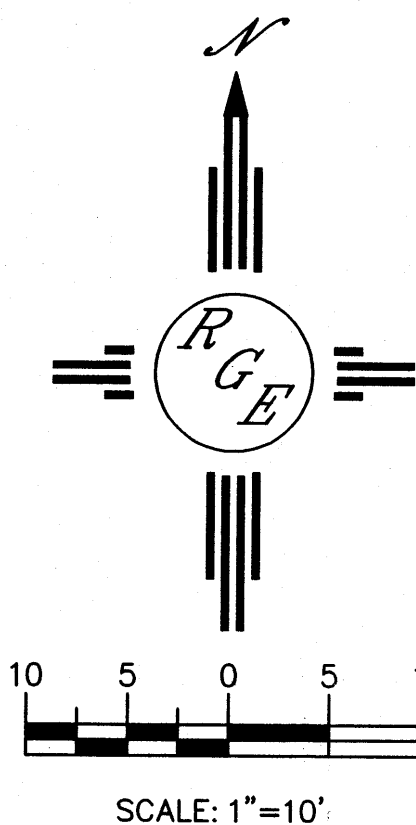


- 
- | | |
|--|-------------------------|
| | EXISTING FENCE |
| | EXISTING CURB & GUTTER |
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | PROPOSED PERIMETER WALL |
| | EXISTING CONTOUR |
| | EXISTING INDEX CONTOUR |
| | FLOW ARROW |
| | SLOPE TIE |
| | PROPOSED SPOT ELEVATION |
| | EXISTING SPOT ELEVATION |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | EARTHEN DRAINAGE SWALE |



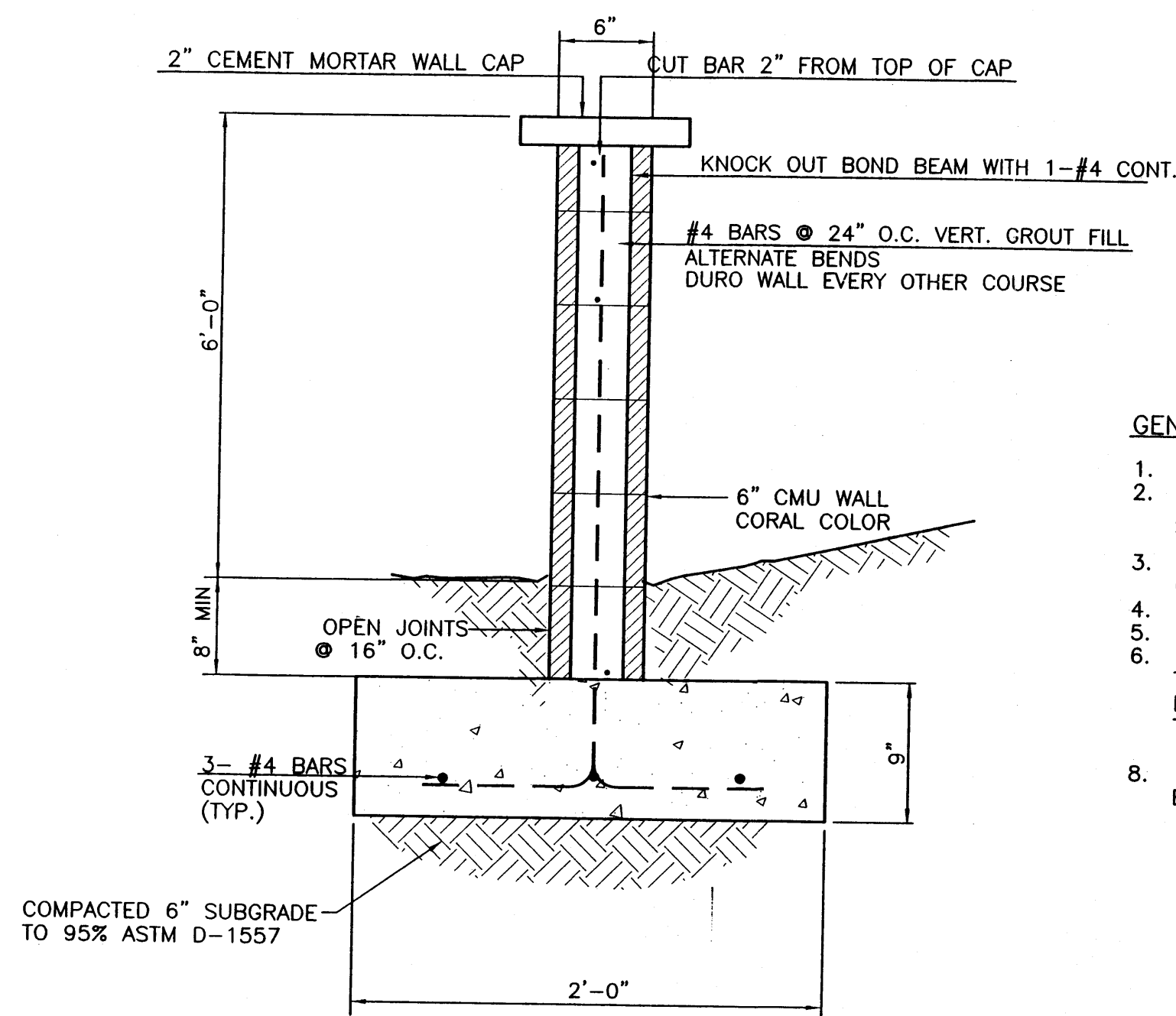
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



DA

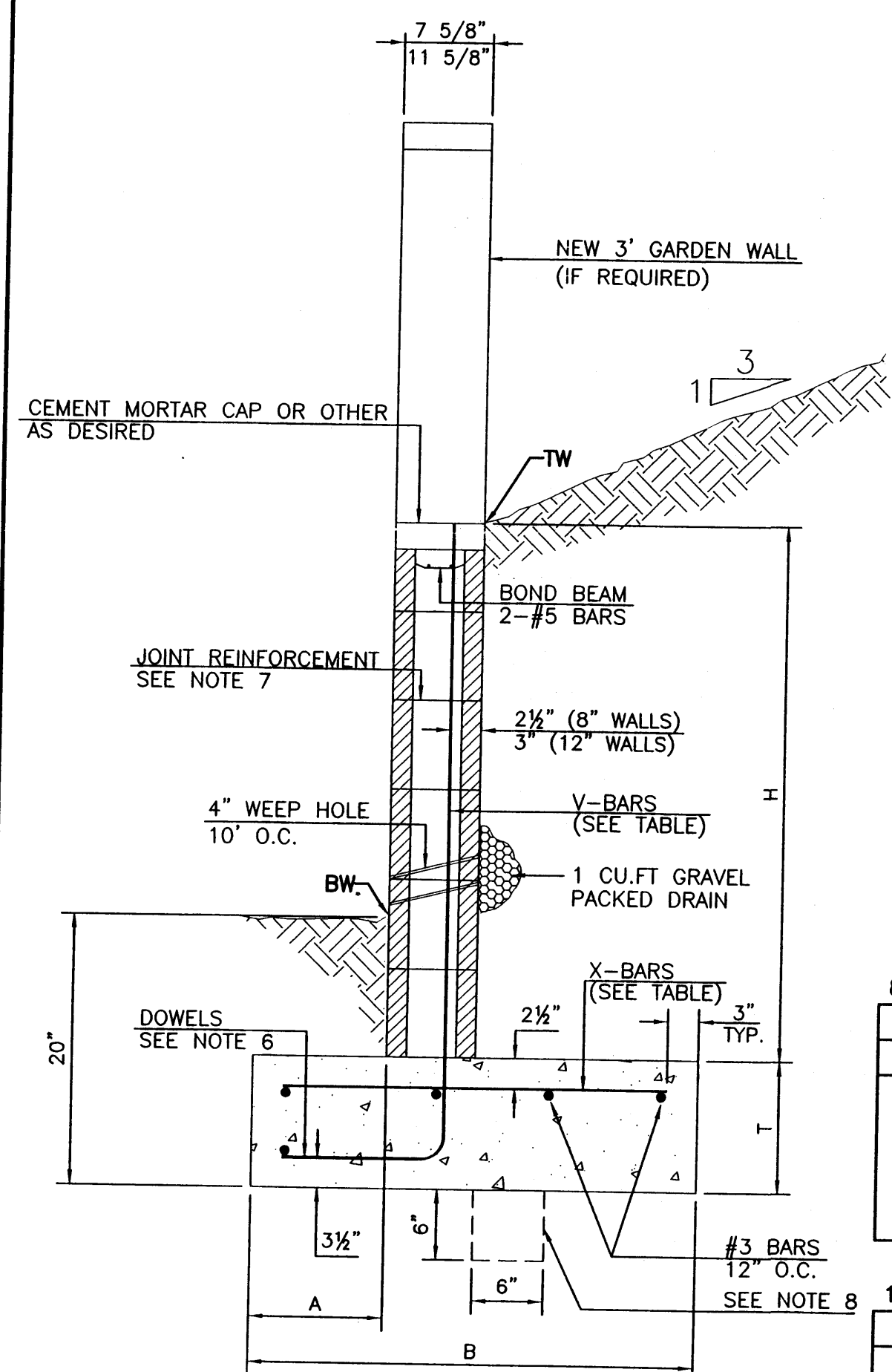
JOB #
0000



6' PERIMETER WALL SECTION

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



RETAINING WALL DETAIL

NOT TO SCALE

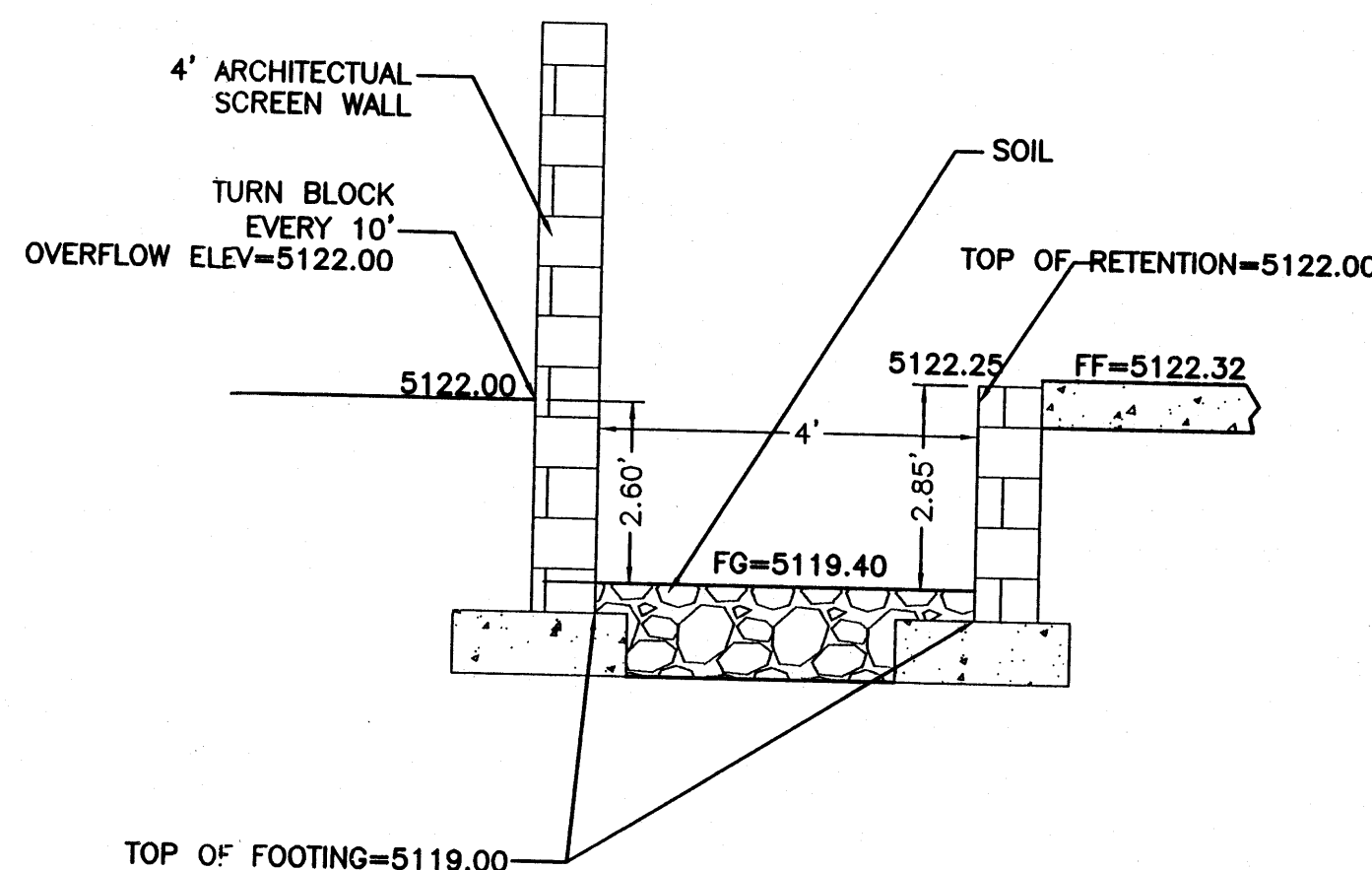
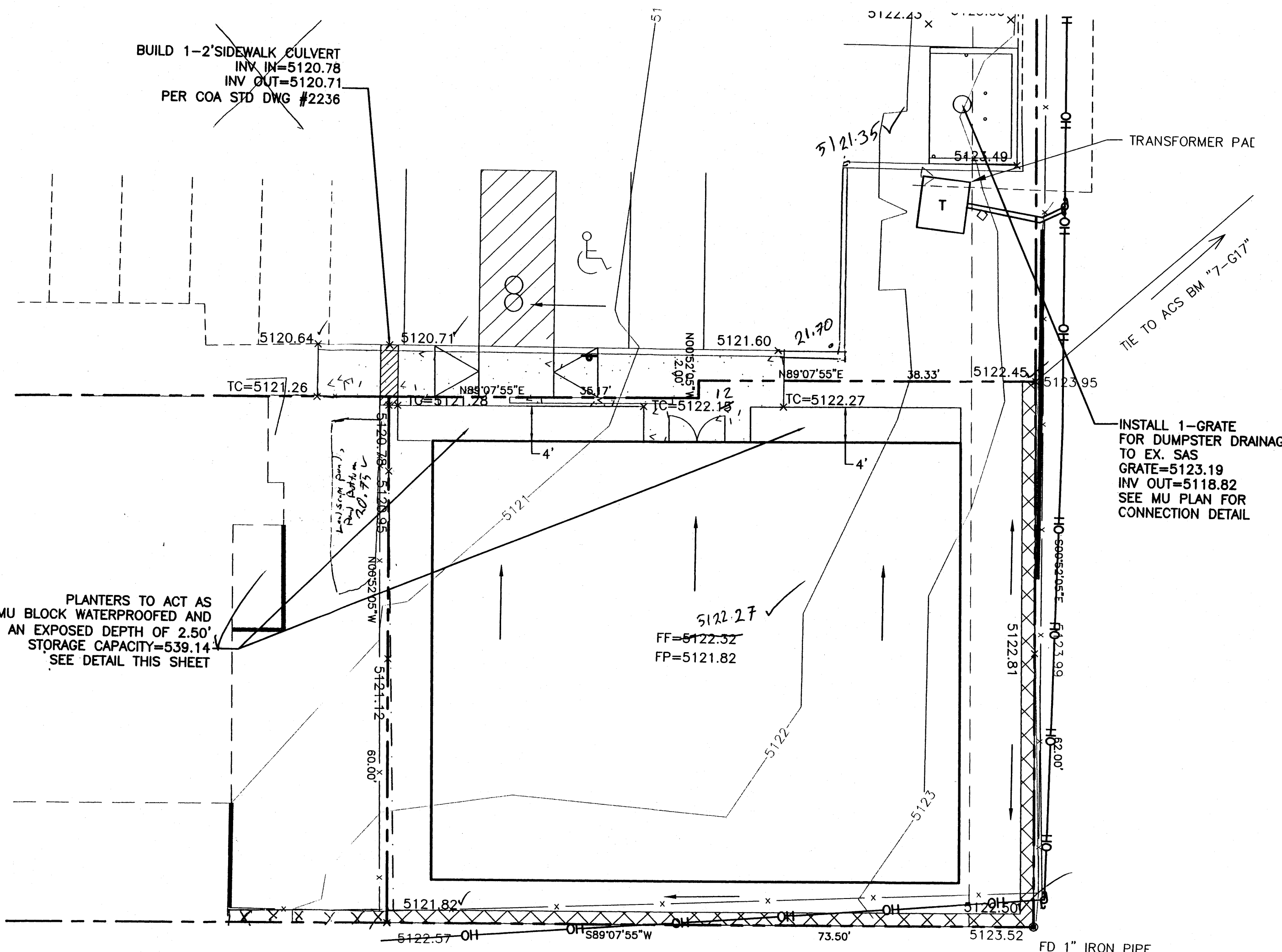
8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

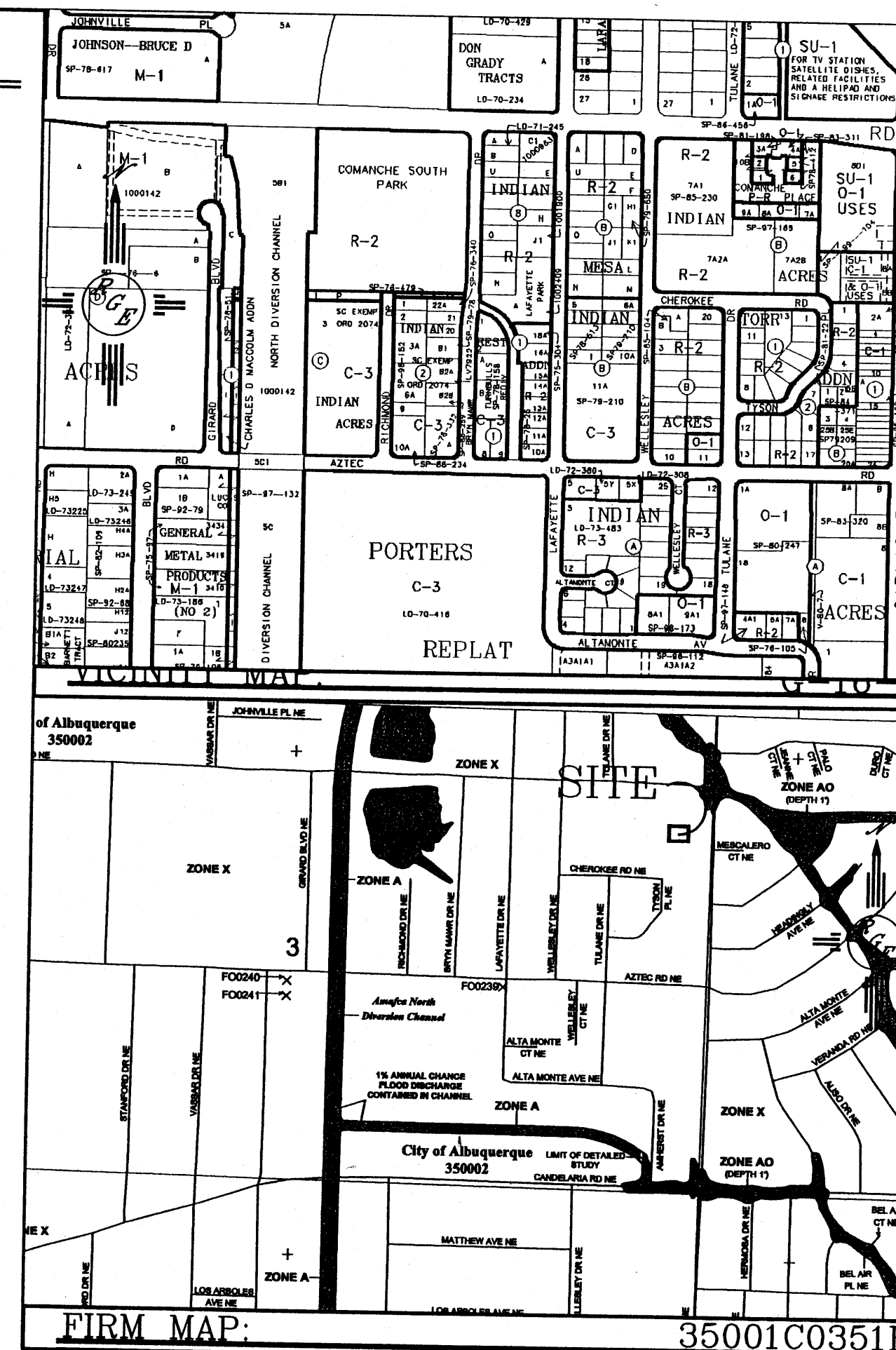


PLANTER/RETENTION POND DETAIL

NTS

LEGEND

- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- EARTHEN DRAINAGE SWALE



LEGAL DESCRIPTION:

LOT 7A, COMANCHE PLACE

NOTES:

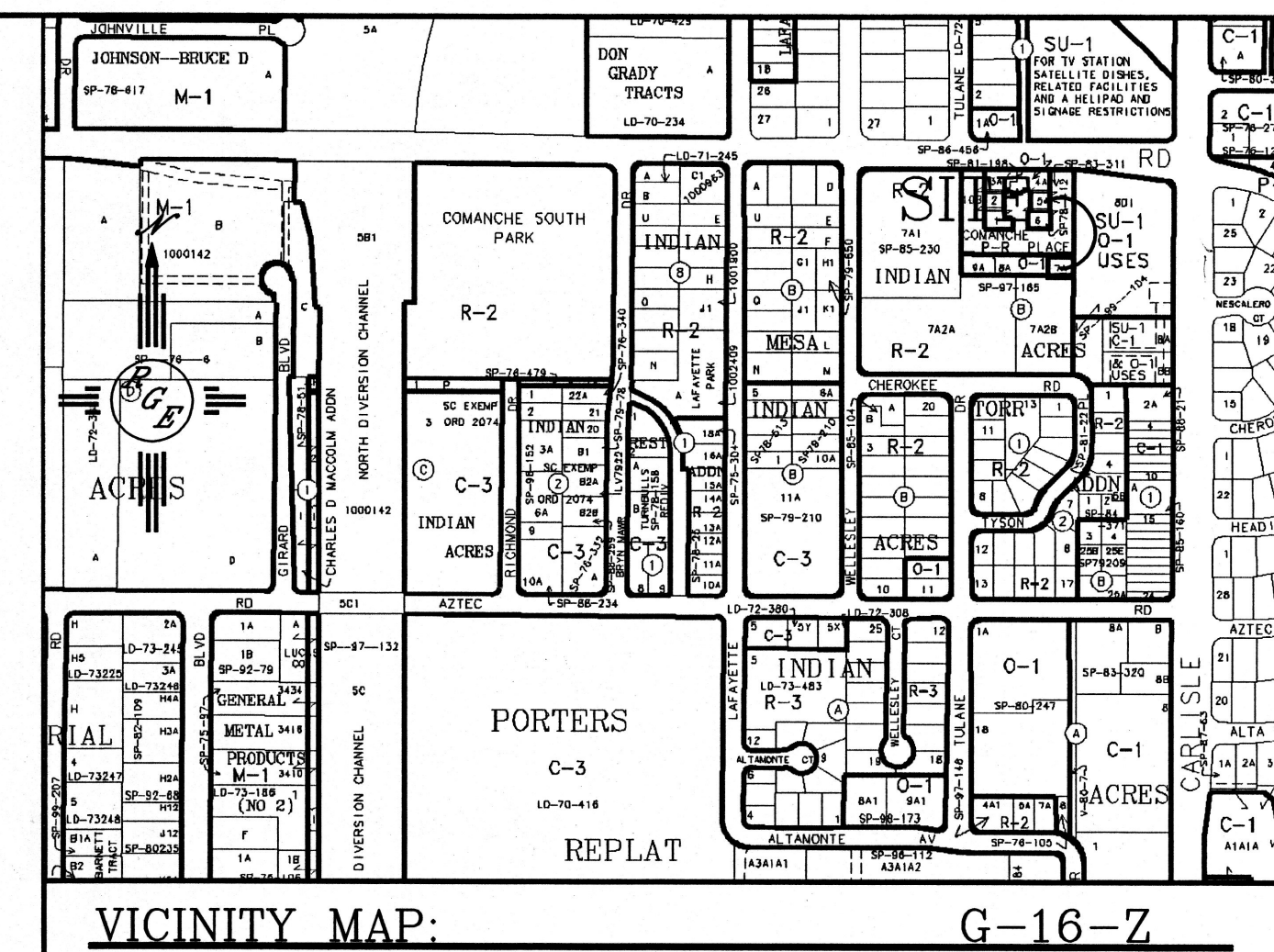
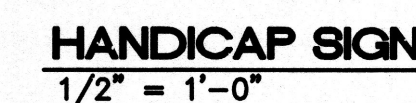
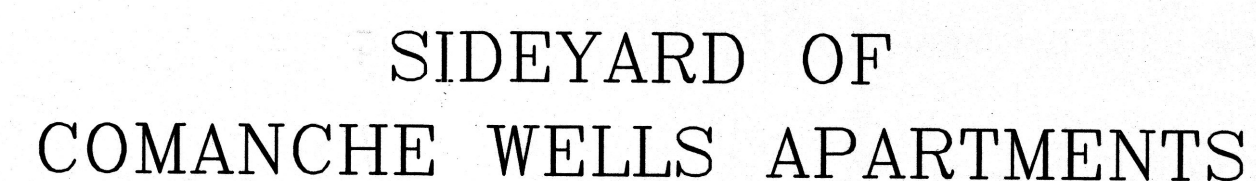
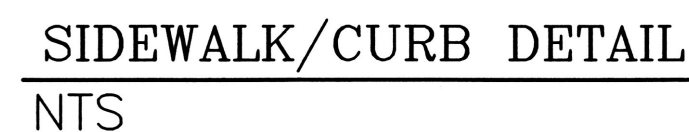
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	DATE	DRAWN BY WCKJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 9/18/06		DATE 3-02-06
COMANCHE OFFICE BUILDING		2602-GR-8-09-07X
GRADING AND DRAINAGE PLAN		SHEET #
Rio Grande Engineering 2105 GOLF COURSE ROAD SE SUITE 9 RIO RANCHO, NM 87124 (505) 872-0999		JOB # 2602



LEGAL DESCRIPTION:
LOT 7A, COMANCHE PLACE

- ## NOTES:
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
 4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
 5. HVAC EQUIPMENT ON THE ROOF SHALL BE SCREENED BY EXTERIOR SCREEN WALL.
 6. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
 7. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
 8. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
 9. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 20' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
 10. MAXIMUM BUILDING HEIGHT SHALL BE 26'.
 11. COMANCHE PLACE COMMON PARKING TRACT OWNED AND MAINTAINED BY OWNERS ASSOCIATION LOT 7A IS 10.45% OWNER.

SITE DATA

LOT SIZE:
EXISTING ZONING:
PROPOSED ZONING:
PROPOSED USE:
BUILDING SIZE:
FAR:

TOTAL SITE PARKING PROVIDED:
LOT 7A PARKING ALLOCATION
PARKING REQUIRED:

HC PARKING PROVIDED:
HC PARKING REQUIRED:
BIKE SPACES PROVIDED:
BIKE SPACES REQUIRED:
LANDSCAPE PROVIDED:
LANDSCAPE REQUIRED
(15% OF NET LOT AREA):

0.1030 AC±
0-1
0-1
OFFICE
3000 SF
.67
139 SPACES (CONDOMINIUM OWNS PARKING LOT PLUS 10 SPACES FORM CHURCH)
14.5 SPACES (10.5% OWNERSHIP OF COMMON PARKING LOT)
14 SPACES (W/10% BUS CREDIT)
1 SPACES
1 SPACES
2 SPACES
2 SPACES
1267 SF
223 SF

TRAFFIC CIRCULATION LAYOUT
APPROVED

LAJ 1/27/84

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

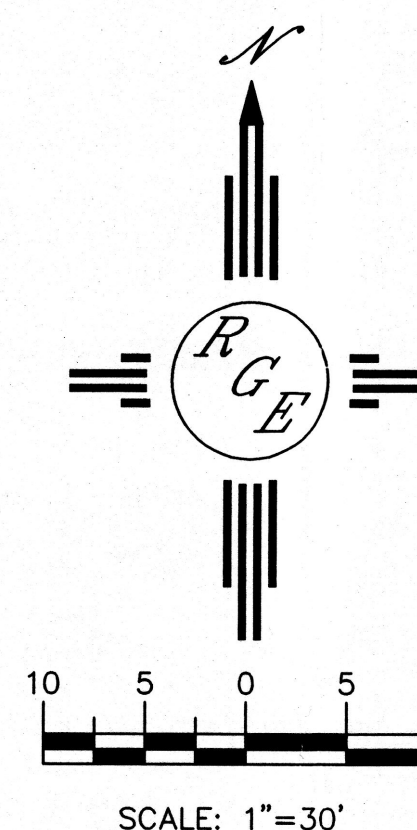
AKS 9/19/06

Signed Date

RECEIVED
SEP 19 2003
FBI - MEMPHIS

LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	CENTERLINE
=====	RIGHT-OF-WAY



ENGINEER
SEAL



DAVID SOULE
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14522
JMS

DAVID SOULE
P.E. #14522

COMANCHE OFFICE
BUILDING

SITE PLAN
FOR BUILDING PERMIT



*Rio Grande
Engineering*

3500 COMANCHE ROAD
BUILDING E, SUITE 5
ALBUQUERQUE, NM 87110
(505) 872-0999

DRAWN
BY WCWJ

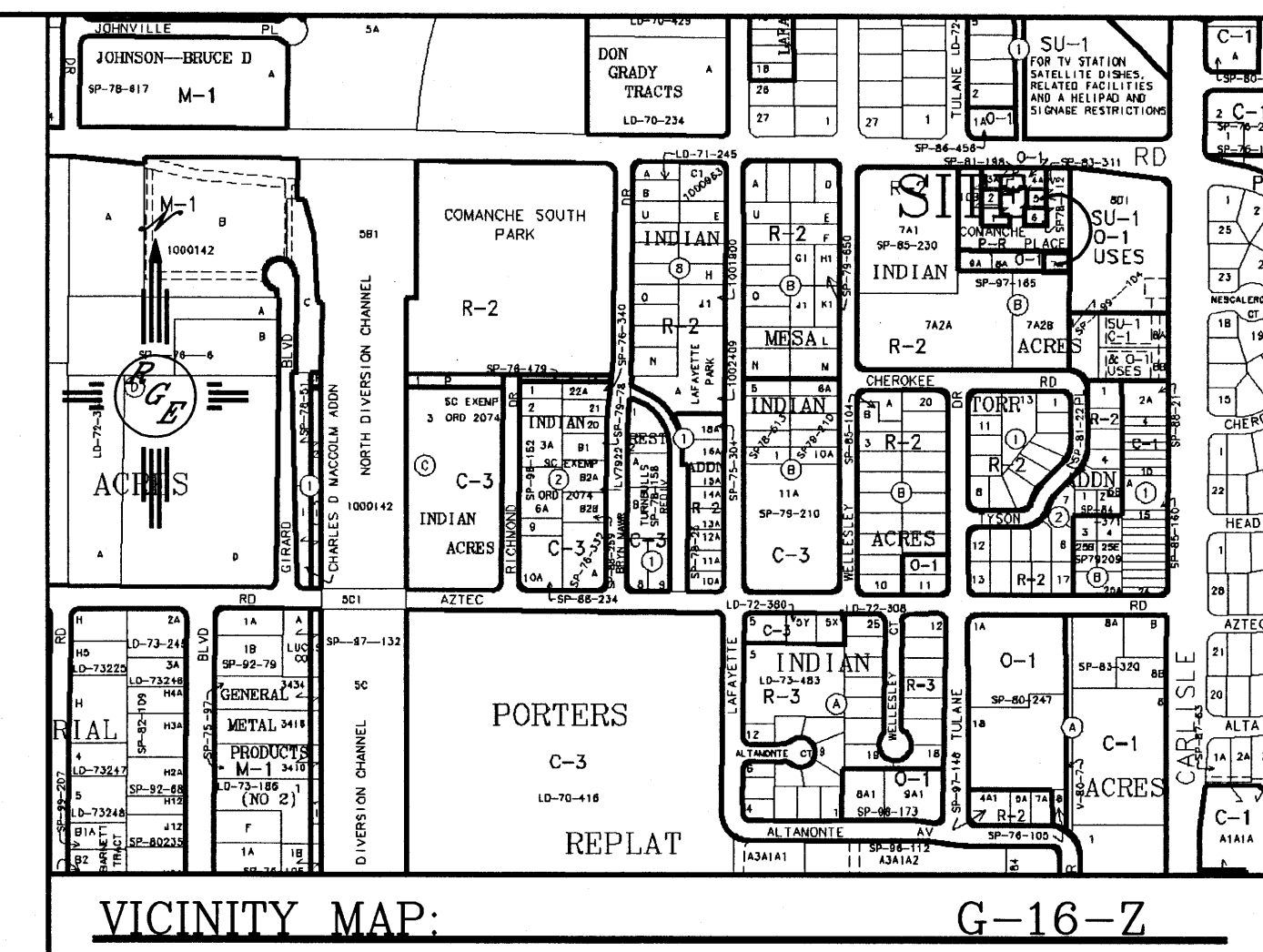
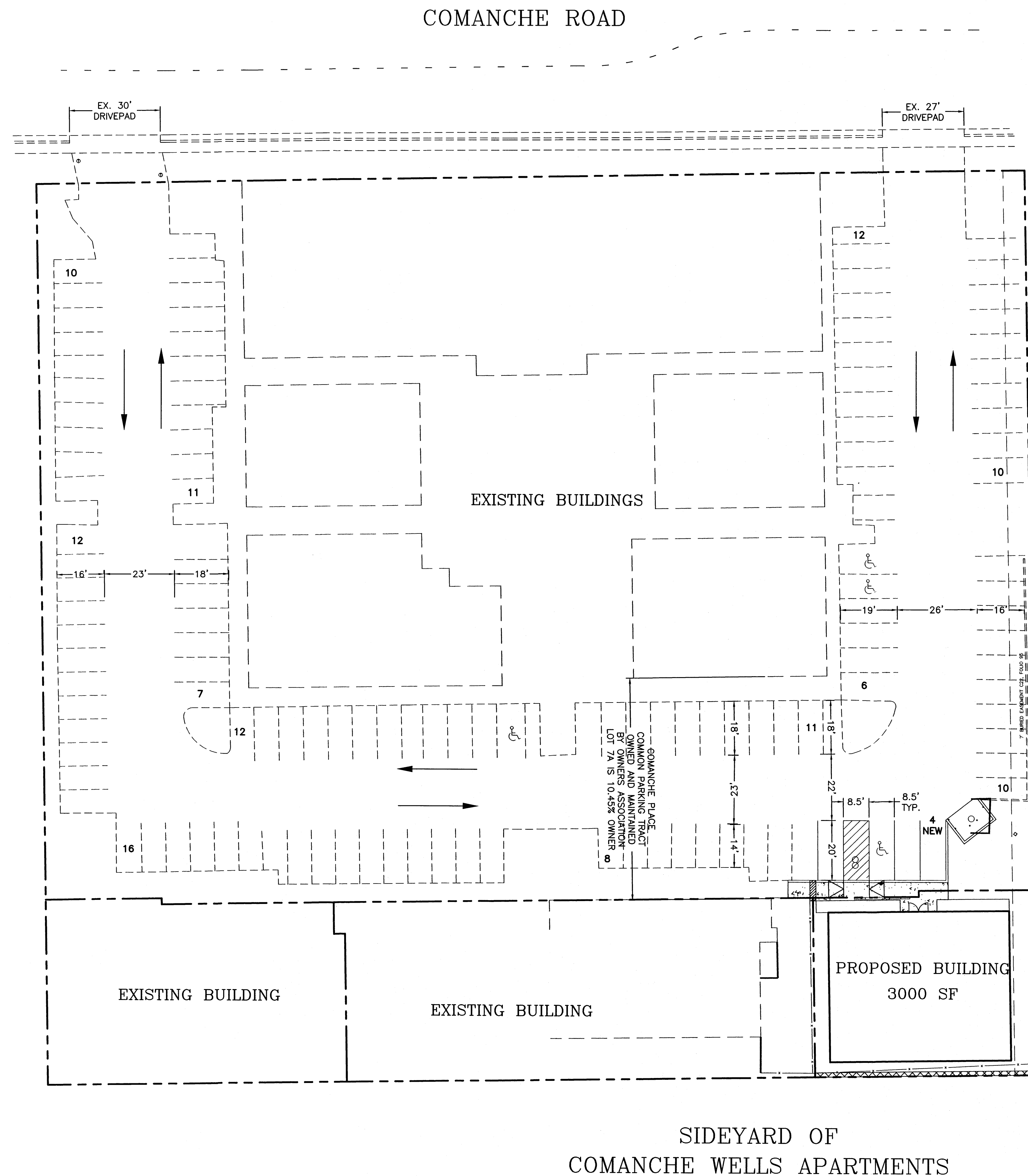
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3-02-06

2602-SP-3-02-06X

SHEET #

—

JOB #
2602



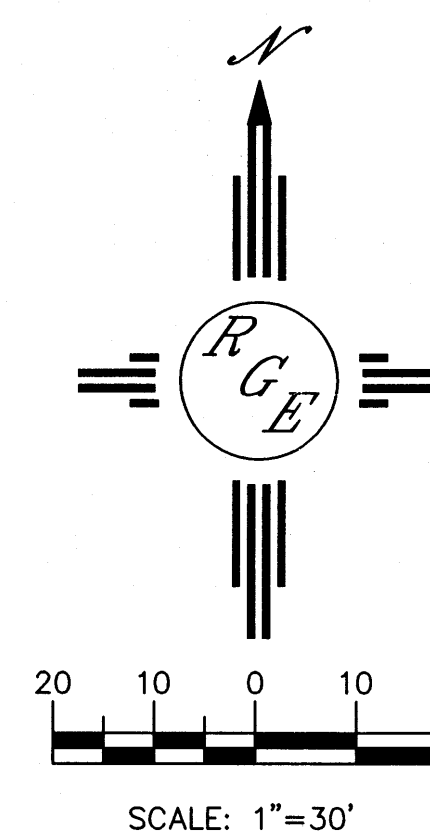
LEGAL DESCRIPTION:
LOT 7A, COMANCHE PLACE

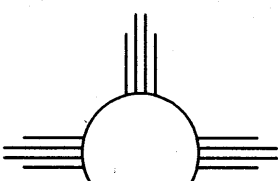
SITE DATA

LOT SIZE:	0.1030 AC±
EXISTING ZONING:	O-1
PROPOSED ZONING:	O-1
PROPOSED USE:	OFFICE
BUILDING SIZE:	3000 SF
FAR:	.67
TOTAL SITE PARKING PROVIDED:	139 SPACES (CONDOMINIUM OWNS PARKING LOT PLUS 10 SPACES FORM CHURCH)
LOT 7A PARKING ALLOCATION	14.5 SPACES (10.5% OWNERSHIP OF COMMON PARKING LOT)
PARKING REQUIRED:	14 SPACES (W/10% BUS CREDIT)
HC PARKING PROVIDED:	1 SPACES
HC PARKING REQUIRED:	1 SPACES
BIKE SPACES PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	2 SPACES
LANDSCAPE PROVIDED:	1267 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	223 SF

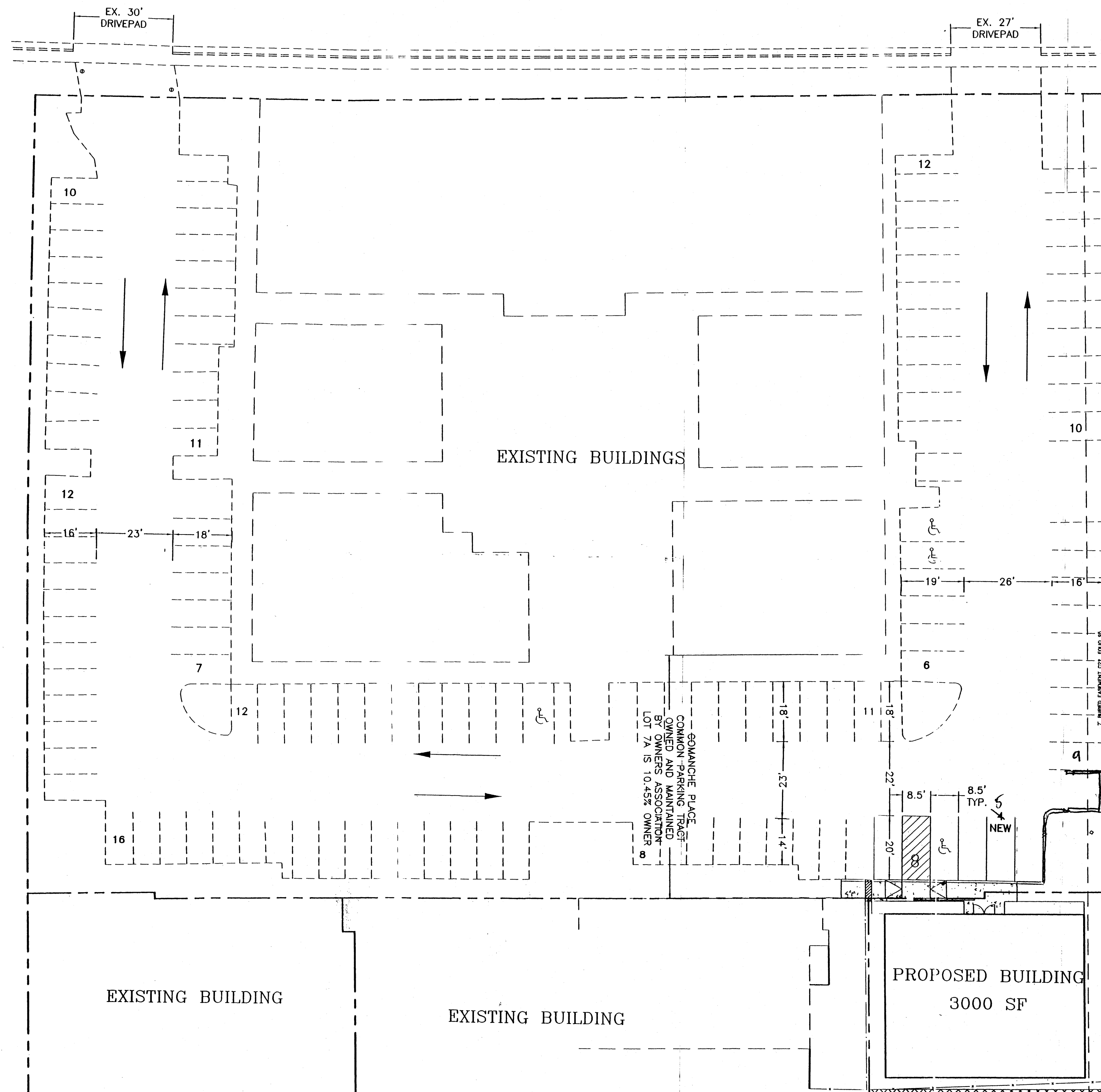
LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY



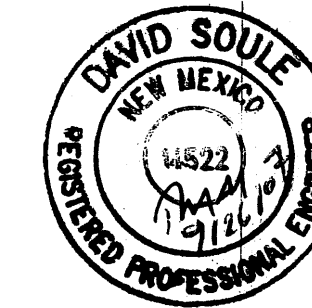
ENGINEER'S SEAL	COMANCHE OFFICE BUILDING	DRAWN BY WCWJ
		DATE 8-01-06
DAVID SOULE P.E. #14522	TRAFFIC CONTROL LAYOUT	2602-TCL-3-02-06X
	 <i>Rio Grande Engineering</i> 2105 GOLF COURSE ROAD SE SUITE B RIO RANCHO, NM 87124 (505) 872-0999	SHEET # —
		JOB # 2602

COMANCHE ROAD



SIDEYARD OF COMANCHE WELLS APARTMENTS

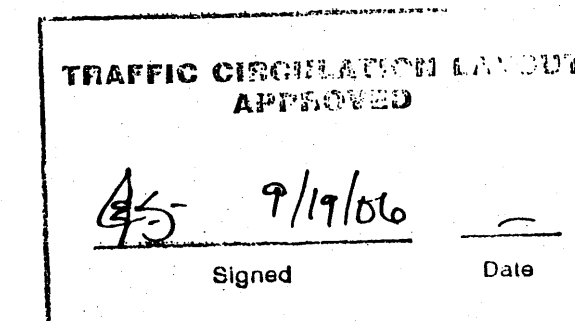
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will be constructed in substantial compliance with and in accordance with the design intent of the approved TCL plan dated 9/8/06. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



SITE DATA

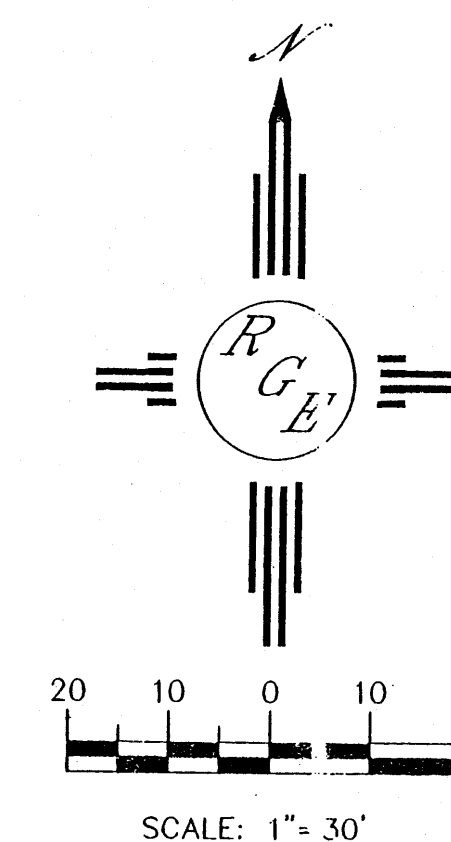
LOT SIZE:
EXISTING ZONING:
PROPOSED ZONING:
PROPOSED USE:
BUILDING SIZE:
FAR:
TOTAL SITE PARKING PROVIDED:
LOT 7A PARKING ALLOCATION
PARKING REQUIRED:
HC PARKING PROVIDED:
HC PARKING REQUIRED:
BIKE SPACES PROVIDED:
BIKE SPACES REQUIRED:
LANDSCAPE PROVIDED:
LANDSCAPE REQUIRED:
(15% OF NET LOT AREA):

0.1030 AC±
O-1
O-1
OFFICE
3000 SF
.67
139 SPACES (CONDOMINIUM OWNS PARKING LOT PLUS 10 SPACES FORM CHURCH)
14.5 SPACES (10.5% OWNERSHIP OF COMMON PARKING LOT)
14 SPACES (W/10% BUS CREDIT)
1 SPACES
2 SPACES
2 SPACES
1267 SF
223 SF

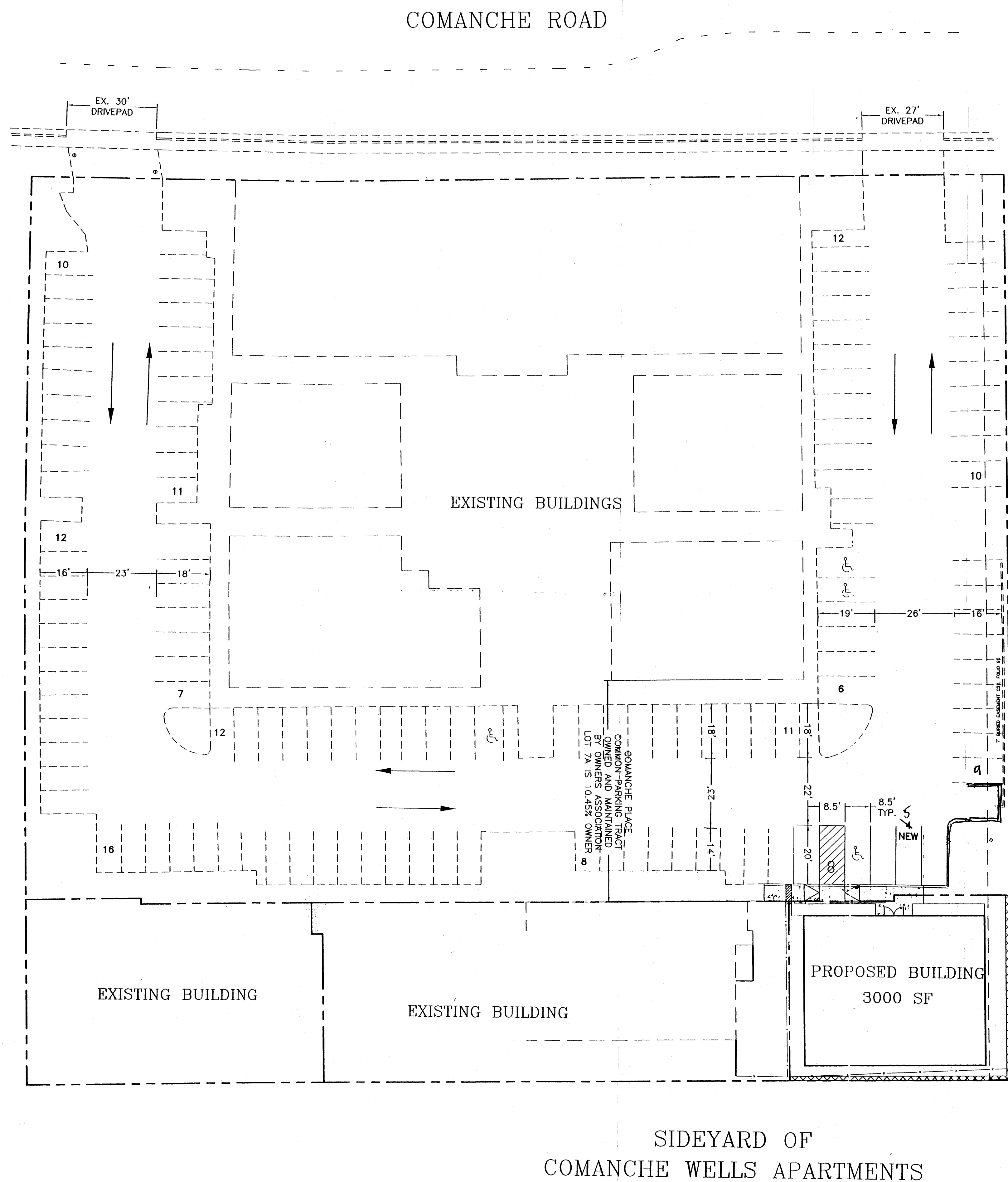


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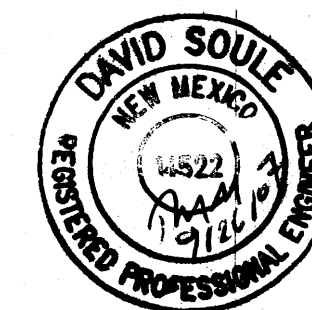
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY



 DAVID SOULE P.E. #14522	COMANCHE OFFICE BUILDING	DRAWN BY WCWJ
	TRAFFIC CONTROL LAYOUT	DATE 8-01-0
 Rio Grande Engineering 2105 GOLF COURSE ROAD SE SUITE B RIO RANCHO, NM 87124 (505) 872-0999		2802-TCL-3-01 SHEET 1 JOF 266

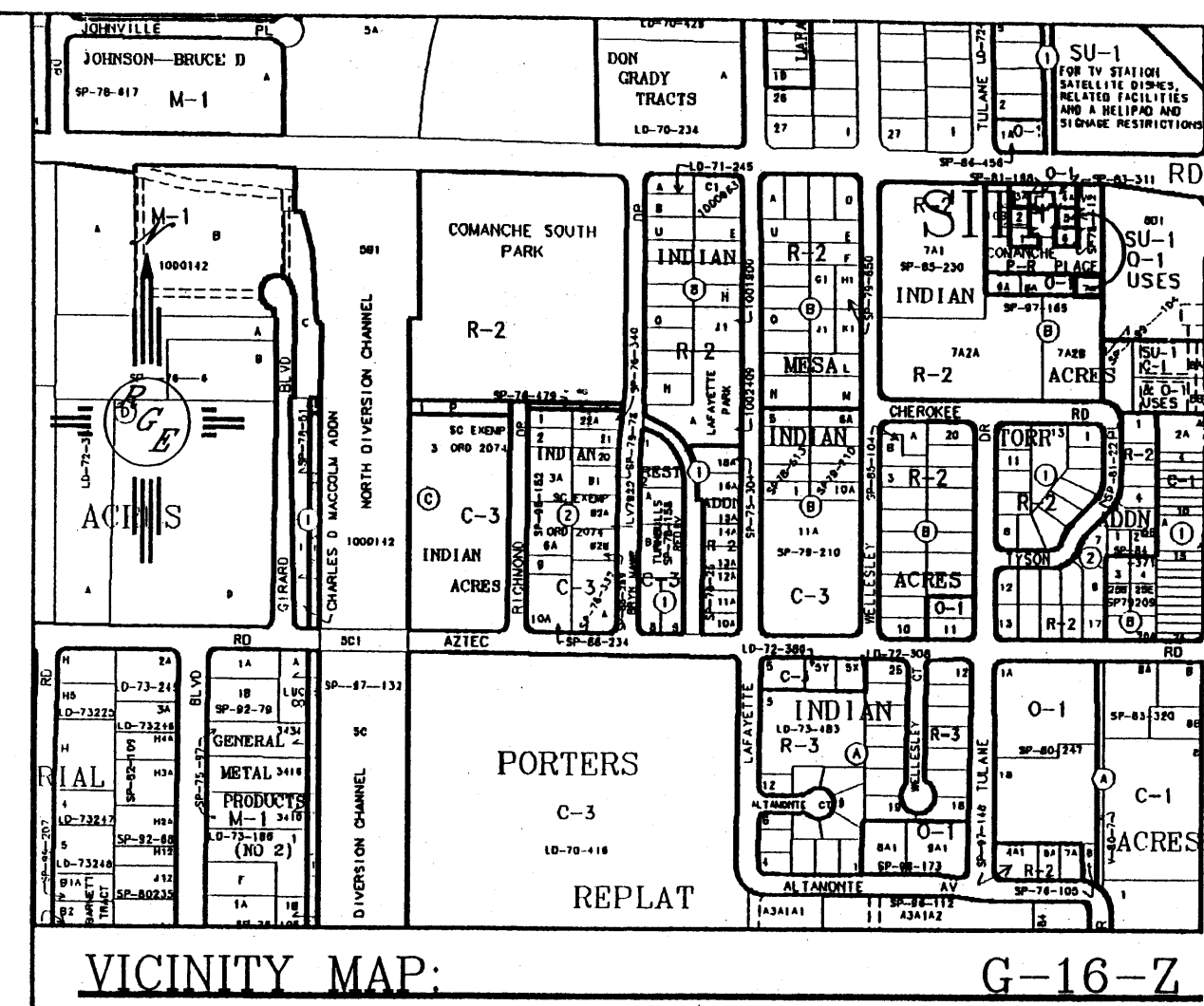
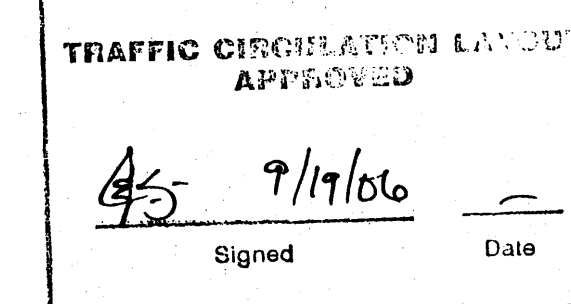


I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will be constructed in substantial compliance with and in accordance with the design intend of the approved TCL plan dated 9/8/06. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



SITE DATA

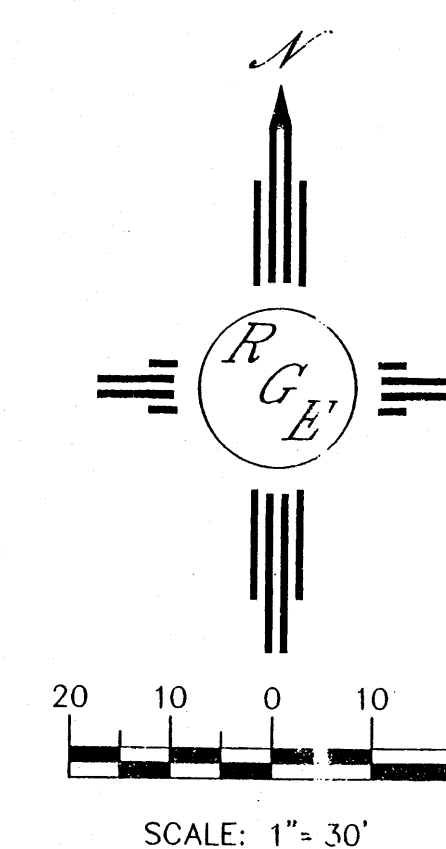
LOT SIZE:	0.1030 AC±
EXISTING ZONING:	O-1
PROPOSED ZONING:	O-1
PROPOSED USE:	OFFICE
BUILDING SIZE:	3000 SF
FAR:	.67
TOTAL SITE PARKING PROVIDED:	139 SPACES (CONDOMINIUM OWNS PARKING LOT PLUS 10 SPACES FORM CHURCH
LOT 7A PARKING ALLOCATION	14.5 SPACES (10.5% OWNERSHIP OF COMMON PARKING LOT)
PARKING REQUIRED:	14 SPACES (W/10% BUS CREDIT)
HC PARKING PROVIDED:	1 SPACES
HC PARKING REQUIRED:	1 SPACES
BIKE SPACES PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	2 SPACES
LANDSCAPE PROVIDED:	1267 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	223 SF



LEGAL DESCRIPTION:
LOT 7A, COMANCHE PLACE

LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
=====	BOUNDARY LINE
=====	EXISTING BOUNDARY LINE
=====	CENTERLINE
=====	RIGHT-OF-WAY



ENGINEER'S SEAL DAVID SOULE P.E. #14522	COMANCHE OFFICE BUILDING	DRAWN BY WCVJ
	TRAFFIC CONTROL LAYOUT	DATE 8-01-0
 Rio Grande Engineering 2105 GOLF COURSE ROAD SE SUITE B RIO RANCHO, NM 87124 (505) 872-0999		2602-TCL-3-01 SHEET JOF 266