

Planning Department Transportation Development Services Section

April 20, 2012

Richard Bennett, Registered Architect Rick Bennett Architects 1104 Park Avenue SW Albuquerque, NM 87102

Re: Certification for Permanent Certificate of Occupancy (C.O.)

High Desert Dental, [G-16/D146]

3520 Montgomery Blvd.

Architect's Stamp Dated 04/11/12

Dear Mr. Bennett:

Based upon the information provided in your submittal received 04-19-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy.

PO Box 1293

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505)924-3630.

NM 87103

www.cabq.gov

Nilo M Salgado-Fernandez, P.E.

Semon Traffic Engineer

Development and Building Services

Rlanning Department

c:

Sincerely,

Engineer Hydrology file CO Clerk

(REV 02/2012)

G-16/13/44

PROJECT TITLE: HIGH DESCT+ BENTA	ZONE MAP: FIETZ
DRB#: EPC#:	
LEGAL DESCRIPTION: LOT 6, BLOCK CITY ADDRESS: 3520 Montgomery BLVD.	10, MONTHOMERY HEIGHTS
CITY ADDRESS: 3520 Montgomery BlvD.	<u>∧i3Q, √ ~ '</u>
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
	EMAIL:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: RBAINC	CONTACT: Darby
ADDRESS: <u>1104 PARK AVE SW</u> CITY, STATE: <u>ABQ</u> , NM	PHONE: <u>242-185年</u> ZIP CODE: <u>87102</u>
CITT, STATE: A 154, A	EMAIL: dacby & Shass com
SURVEYOR:	
ADDRESS:	
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
	GRADING CERTIFICATION OTHER (SPECIFY) SO-19
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	APR 1) 2012
NO NO	
COPY PROVIDED	HYDROLOGY
DATE SUBMITTED: 4/19/12	CECTION
DATE SUBMITTED:	BY: Owid McEacherh SECTION

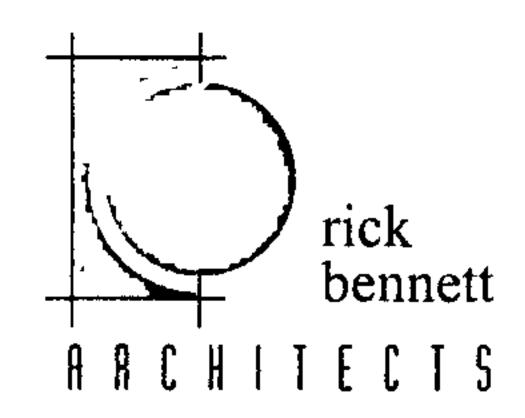
- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

(REV 02/2012)

G-16/10144

PRÖJECT TITLE: HIGH DESCT+ BENTA	
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOT 6, BLOCK CITY ADDRESS: 3520 Montgomery BLVD.	10, MONTHOMERY HEIGHTS ABQ, NM
ENGINEERING FIRM:	ĈONTĂCT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
	ÉMAIL:
<u>OWNER</u> :	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: RBAINC	CONTACT: $\mathbf{D}_{\mathbf{a}}$
ADDRESS: 1104 PARK AVE SW	CONTACT: <u>Darby</u> PHONE: 242-1854
CITY, STATE: ABQ, NM	ZIP CODE: 87102
	EMAIL: darby@ [ba81.com
SURVEYOR:	
ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
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CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	<u>ČHEČK TYPE ÖF APPROVAL SOUGHT:</u>
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
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EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY)	FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER (SPECIFY)	PAVING PERMIT APPROVAL
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	GRADING CERTIFICATION OTHER (SPECIFY) SO-19
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	Λ D D 1 3 2312
YES	APR 1 3 2012
NO COPY PROVIDED	
	HYDROLOGY
DÄTE SÜBMITTED: 4/19/12	BY: David McEacherh SECTION

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- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more



TRAFFIC CERTIFICATION

I, RICK BELLINETT, NMPE OR NMRA # 1240, OF THE FIRM
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN
INTENT OF THE APPROVED PLAN DATED 9/21/11. THE RECORD
INFORMATION EDITED ONTO THE ORIGINAL DÉSIGN DOCUMENT HAS BEEN
OBTAINED BY Rick OF THE FIRM REA.
FURTHER, CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON
4/11/12 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE
SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR
CERTIFICATE OF OCCUPANY
<list any="" exceptions,="" if=""></list>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

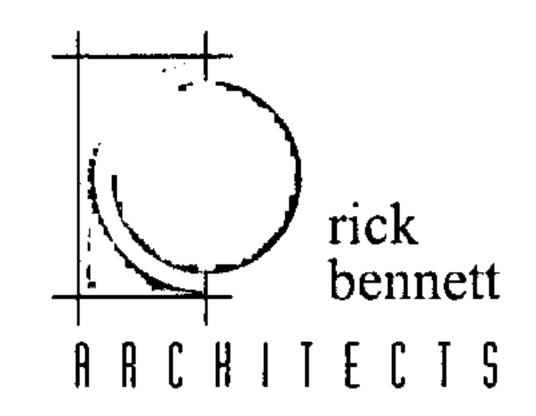
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HYDROLOGY
SECTION

APR 1 2012

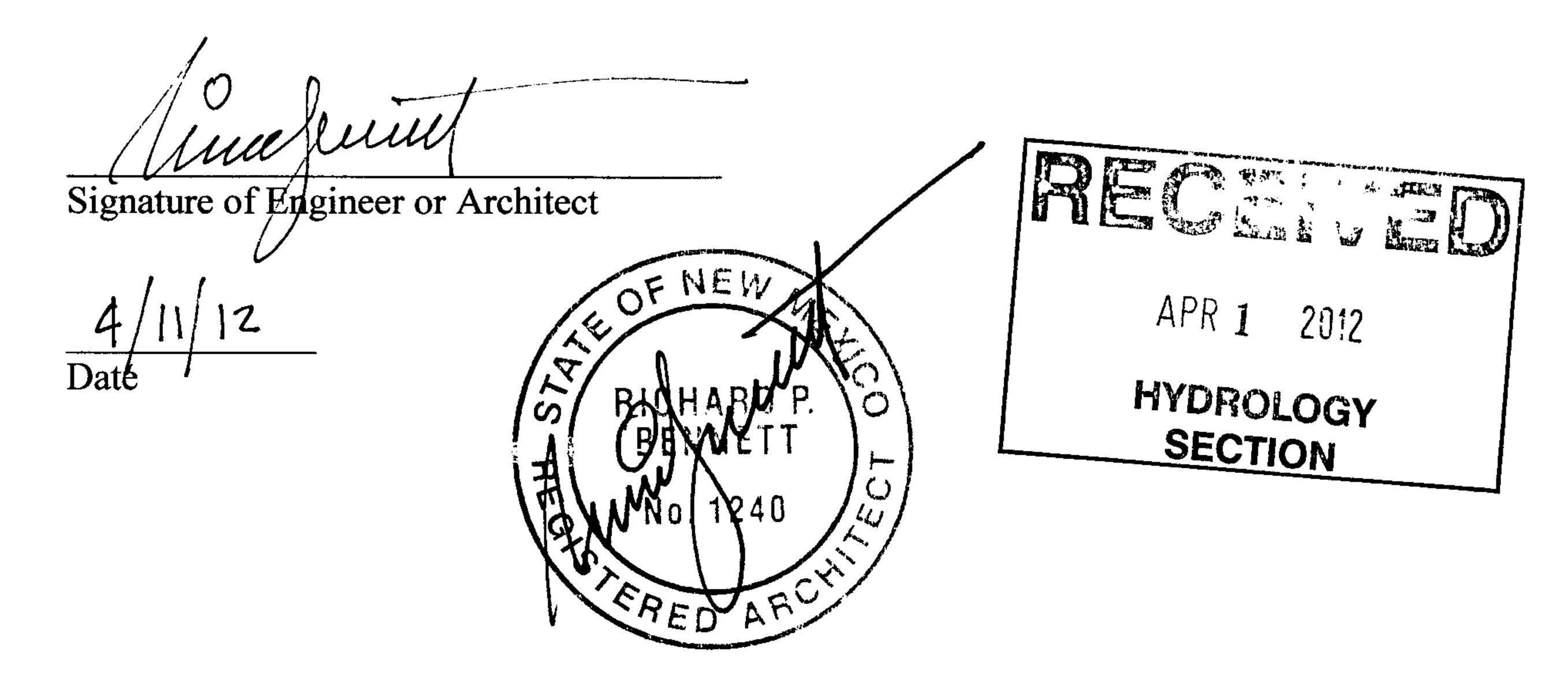
HYDROLOGY
SECTION



TRAFFIC CERTIFICATION

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RBA	, HEREBY	CERTIFY	THAT TH	IS PROJEC	T IS IN
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INTENT OF THE APPR	OVED PLAN	DATED 9	7/29/11	THE	RECORD
INFORMATION EDITED					
OBTAINED BY Rick	· <u>· · · · · · · · · · · · · · · · · · </u>	OF THE	FIRM RE	A	I
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4/11/12 AND HA	VE DETERMI	NED BY VI	SUAL INS	PECTION T	HAT THE
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AND IS TRUE AND CORE	RECT TO THE	BEST OF M	1Y KNOWI	LEDGE ANI	D BELIEF.
THIS CERTIFICATION I		D IN SUP	PORT OF	A REQU	EST FOR
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TOB I

January 15, 2013

Dennis Lorenz, P.E.
Brasher & Lorrenz, Inc.
2207 San Pedro NE Bldg. 1 Ste. 1200
Albuquerque, NM 87110

Re: Goodrich Roofing
Grading and Drainage Plan
Engineer's Stamp dated 1-10-13 (G16/D147)

Dear Mr. Lorrenz,

Based upon the information provided in your submittal received 1-10-13, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the moisture which falls on them. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely

Shahab Biazar, P.E., CFM

Senior Engineer, Planning Dept.

Development and Building Services

RER/SB

C: file

Albuquerque - Making History 1706-2006

PO Box 1293

Albuquerque

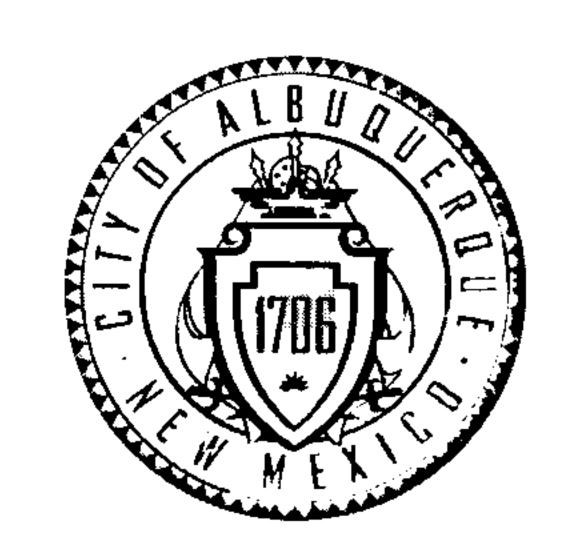
NM 87103

www.cabq.gov

(REV 04/2009)

	GOODRICH ROOFING				G-16 (0147
DRB#:	EPC#:		WORK	ORDER#:	
LEGAL DESCRIPTION:	: TR N3 AND NORTH 150	'TR M.	BLOCK N. COLE	S INDUSTRIAI	ADDITION
	3401 VASSAR DRIVE N				
	BRASHER & LORENZ,				DENNIS LORENZ
	2207 SAN PEDRO NE, B	<u> </u>			
CHT, STATE:	ALBUQUERQUE, NEW	<u> MEXIC</u>	<u> </u>	ZIP CODE:	87110
OWNER:	GOODRICH ROOFING			CONTACT: JO	OHN SANCHEZ
ADDRESS:		IE_		PHONE:	
CITY, STATE:	ALBUQUERQUE, NM			ZIP CODE:	87107
	WESLEY LANDSFORD				V. LANDSFORD
	UNKNOWN			PHONE:	
CITY, STATE:				ZIP CODE:	
SURVEYOR:	HARRIS SURVEYING			CONTACT:	T HARRIS
	2412-D MONROE NE			PHONE:	889-8056
	ALBUQUERQUE, NEW	MEXIC	O	ZIP CODE:	
	UNKNOWN	<u> </u>			<u>-</u>
ADDRESS:				PHONE:	· · ·
CITY, STATE:				ZIP CODE:	<u></u>
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COPY PROVII	_				
DATE SUBMITTED:	1-10-13	_BY:	DENNIS A. LOR	ENZ PE	OPMENT SECTION

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- 3. Drainage Report. Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



April 11, 2012

Steven K. Marrow, P.E. stevem@brasherlorenz.com

Brasher & Lorenz Consulting Engineers

2201 San Pedro NE Bldg 1 Ste. 1300

Albuquerque, NM 87110

Re: High Desert Dental, 3520 Montgomery Blvd NE,

Request for Permanent C.O. –Approved

Engineer's Stamp dated: 09-23-11, (G16/D146)

Certification dated: 04-04-12

Dear Mr. Marrow,

Based upon the information provided in the Certification received 04-06-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our

records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Albuquerque

PO Box 1293

NM 87103

www.cabq.gov

Timothy E. Sims,

Sincerely

Plan Checker—Hydrology Section Development and Building Services

C: CO Clerk—Katrina Sigala File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 04/2009)

PROJECT TITLE: HIGH DESERT DENTA	<u>L</u>		P: <u>G-16/D146</u>
DRB#: EPC#:		WORK OF	RDER#: N/A
LEGAL DESCRIPTION: LOT 6, BLOCK	10, MONTGOMERY H	EIGHTS	
CITY ADDRESS: 3520 MONTGO	MERY BOULEVARD 1	Æ ·	——————————————————————————————————————
ENGINEERING FIRM: BRASHER & LORENZ,	TNIC	ረረ ረን እተም ለ ረንጥ	's Descript on the second
ADDRESS: 2207 SAN PEDRO NE, I		ONTACI OPHONE:	: <u>Dennis Lorenz</u> 888-6088
CITY, STATE: ALBUQUERQUE, NEW		ZIP CODE:	
OWNER: GARY MC CABE ROSS ADDRESS: 5700 WEST UNIVERSIT			: Gary Mccabe Ross
CITY, STATE: ALBUQUERQUE, NM	T DE AD SE SOITE SI)PHONE: ZIP CODE:	<u>505-452-2600</u> 87106
			07100
ARCHITECT: RICK BENNETT ARCHI	TECT	CONTACT	: Rick Bennett
ADDRESS: 1104 PARK AVE NW			505-242-1859
CITY, STATE: <u>ALBUQUERQUE, NM</u>		ZIP CODE:	87102
SURVEYOR: BRASHER & LORENZ, 1	INC	CONTACT	Lenore Armijo
ADDRESS: 2201 SAN PEDRO NE, B		_	888-6088
CITY, STATE: ALBUQUERQUE, NEW		ZIP CODE:	· · · · · · · · · · · · · · · · · · ·
CONTRACTOR: CHESHIRE CO ADDRESS: 7400 HANC CITY, STATE: ALBOQ. NM	DCK CT STE	3 PHONE:	306-2999
CONTRACTOR: CHESHIRE CO ADDRESS: 7400 HANC CITY, STATE: ALBOQ. NM	DCK CT STE	PHONE: ZIP CODE:	306-299
CONTRACTOR: CHESHIRE CONTRACTOR: ADDRESS: 7400 HANCE CITY, STATE: ALBOQ. NATE TYPE-OF-SUBMITTAL: DRAINAGE REPORT	OCK CT STE	PHONE: ZIP CODE: COVAL SOUGI	306-299 (IT:
CONTRACTOR: CHESHIRE CO ADDRESS: 7400 HANC CITY, STATE: ALBOQ. NA TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL	CK CT STER 87109 CHECK TYPE OF APPI SIA/FINANCIA PRELIMINARY	PHONE: ZIP CODE: COVAL SOUGIAL GUARANTI Y PLAT APPRO	306-299 GERELEASE
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- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



September 29, 2011

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE
Albuquerque, NM 87110

Ré: High Desert Dental Office
Grading and Drainage Plan
Enginéer's Stamp dated 9-23-2011 (G16/D146)

Dear Mr. Lorenz,

PO Box 1293

Based upon the information provided in your submittal received 9/26/2011, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

Hydrology is requesting that all proposed landscape areas are depressed to retain/infiltrate the rain that falls on them.

NM 87103

If you have any questions, you can contact me at 924-3965.

www.cabq.gov

Singerely.

Shahab Biazar, P.E.

Senior Engineer, Planning Dept. Development and Building Services

C: File

(REV 04/2009)

PROJECT TITLE:	HIGH DESERT DENTA	<u>L</u>	ZONE MAI	P: <u>G-16/D146</u>
DRB#:	EPC#:		WORK OR	DER#: <u>N/A</u>
		10 160177001677777	~ · · · ·	
LEGAL DESCRIPTION:	• • • • • • • • • • • • • • • • • • • •	10, MONTGOMERY HEIO		
CITY ADDRESS:	<u>3520 MONTGO</u>	MERY BOULEVARD NE		
ENGINEERING FIRM:	BRASHER & LORENZ	INC.	CONTACT	Dennis Lorenz
	•	BUILDING 1, SUITE 1200		
	· · · - · · · · · · · · · · · · · · · ·	MEXICO	_	
_			_	
OWNER:	GARY MC CABE ROSS		_ CONTACT:	: Gary Mccabe Ross
ADDRESS:	5700 WEST UNIVERSIT	TY BLVD SE SUITE 310	PHONE:	505-452-2600
CITY, STATE: _	ALBUQUERQUE, NM		ZIP CODE:	87106
	RICK BENNETT ARCHI	ITECT	_	: Rick Bennett
	1104 PARK AVE NW		_	<u>505-242-1859</u>
CITY, STATE: _	ALBUQUERQUE, NM		_ZIP CODE: _	87102
CLIDVEVOD.	DDACHED & LODENIZ	INIC	CONTACT	I anara Armiia
		INC BUILDING 1, SUITE 1200	• -	Lenore Armijo
			-	888-6088 87110
CITT, STATE	ALBUQUERQUE, NEW	MEXICO	_ ZIP CODE.	0/110
CONTRACTOR:	UNKNOWN		CONTACT:	
			ZIP CODE:	
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- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

September 26, 2011

Curtis Cherne, PE
Senior Engineer, Planning Department
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: HIGH DESERT DENTAL

Grading and Drainage Plan update

G16/D146

Dear Curtis:

Submitted herewith for review and approval is one copy of the revised Grading and Drainage Plan for the subject project. The Plan has been updated to reflect the revision to the driveway, as required by Traffic as a condition of TCL approval. The remaining grading and drainage conditions are unchanged.

Please feel free to call me is you have any questions.

Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE

Principal

/dl/11514

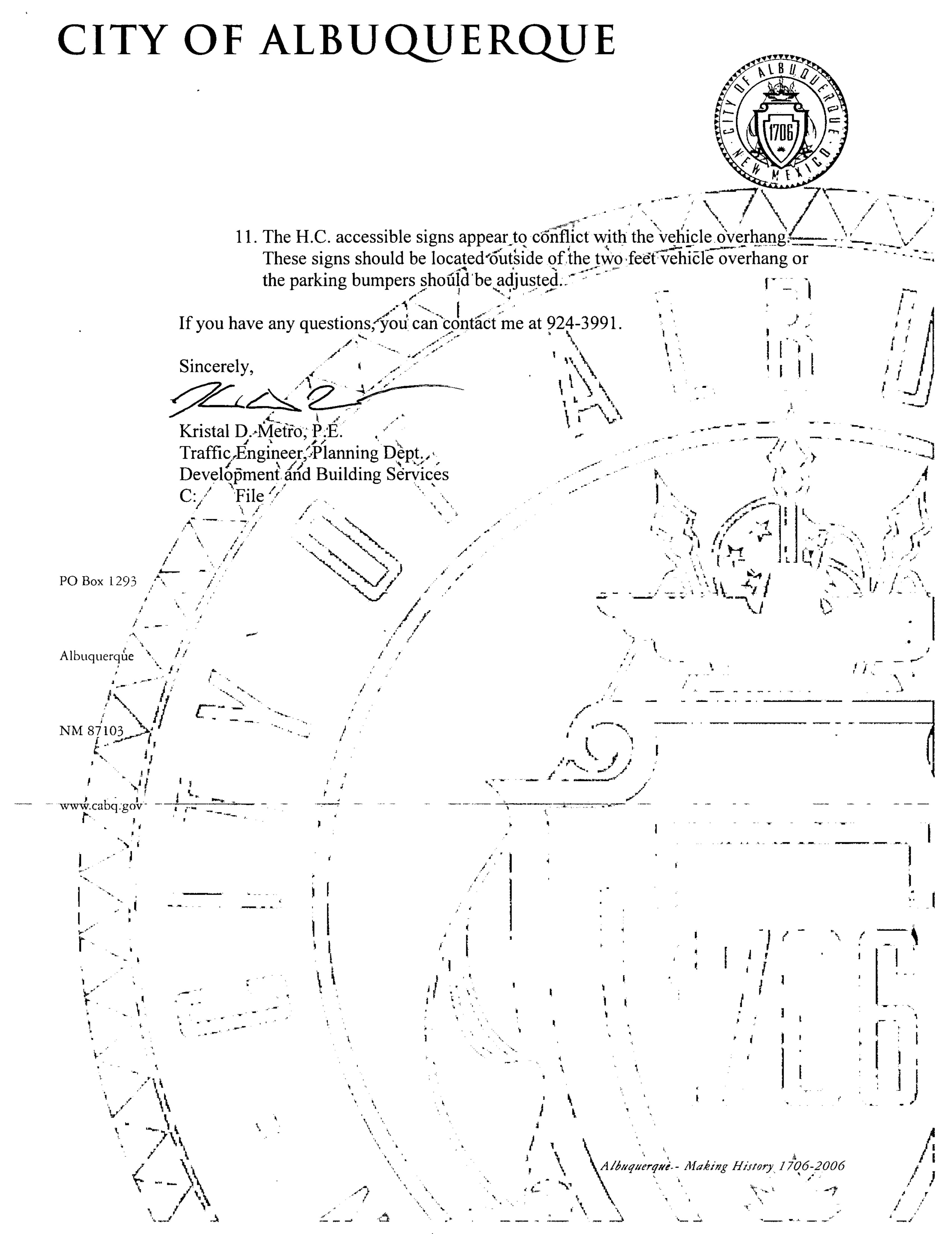
CITY OF ALBUQUERQUE June 27, 2011 Dennis A. Lorenz, P.E. Brasher & Lorenz, Inc. 2201 San Pedro NE Albuquerque, NM 87110 High Desert Dental Office Re: Grading and Drainage Plan Engineer's Stamp dated 7-7-2011 (G16/D146) Dear Mr. Lorenz, Based upon the information provided in your submittal received 7/11/2011, the above referenced plan is approved for Building Permit. Please attach a copy of this approvéd plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. One comment on the area between the new Retaining wall and the existing garden PO Box 1293 wall, please make sure that the soil slopes away from the garden wall to ensure that seepage from any precipitation does not occur on this wall. Hydrology is requesting that all proposed landscape areas are depressed to Albuquerque retain/infiltrate the rain that falls on them. If you have any questions, you can contact me at 924-3421 or Rudy Rael at 924-3977. NM 87103 Sincerely, www.cabq.gov Curtis Cherne, P.E. Principal Engineer, Planning Dept. Development and Building Services RER/CAC Albuquerque - Making History 17,06-2006

(REV 04/2009)

PROJECT TITLE:	HIGH DESERT DENTAL	· · · ·		G-16 D144
DRB#:	EPC#:	<u> </u>	WORK ORDE	R#: <u>N/A</u>
LEGAL DESCRIPTION:	LOT 6 BLOCK	10, MONTGOMERY HEIC	HTS	
CITY ADDRESS:		MERY BOULEVARD NE		
ENGINEERING FIRM:	BRASHER & LORENZ,	INC.	CONTACT: D	ennis Lorenz_
	· · · · · · · · · · · · · · · · · · ·	UILDING 1, SUITE 1300		8-6088
CITY, STATE:	ALBUQUERQUE, NEW	<u>MEXICO</u>	ZIP CODE:	<u>87110</u>
OWNER:	GARY MC CABE ROSS		CONTACT: G	ary Mccabe Ross
ADDRESS:	5700 WEST UNIVERSIT)5-452-2600
	ALBUQUERQUE, NM		ZIP CODE:	
-				
ARCHITECT:	RICK BENNETT ARCHI	TECT	CONTACT: R	ick Bennett
	1104 PARK AVE NW		PHONE: <u>50</u> :	
CITY, STATE:	ALBUQUERQUE, NM		ZIP CODE:	87102
SURVEYOR:	BRASHER & LORENZ,	INIC	CONTACT: Le	noro Armiio
ADDRESS:		SUILDING 1, SUITE 1200	_	3-6088
	ALBUQUERQUE, NEW		ZIP CODE:	
C11 1, D1711 D	TILDOQULIQUE, IIL II	TTLD/TICO		<u> </u>
CONTRACTOR:	UNKNOWN		CONTACT:	1
ADDRESS:		<u> </u>	PHONE:	<u> </u>
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DATE SUBMITTED:	7.11.11	BY:	ENZ	

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE July 28, 2011 Richard P. Bennett, R.A. Rick Bennett Architects 1104 Park Avenue SW Albuquerque, NM 87102 High Desert Dental, Traffic Circulation Layout Re: Architect's Stamp dated 07-26-11 (G16-D146) Dear Mr. Bennett, Baséd upon the information provided in your submittal received 07-26-11, the above referencéd plan cannot be approved for Building Permit until the following comments are addressed: PO Box 1293 Please refer to all applicable city standards. Define the address for this site on the plan. Provide a detail or call out the appropriate specification (CoA Standard Albuquerque Specification Drawing Number 2432) for the existing to proposed sidewalk transition. -4. Please ensure all ramps are ADA compliant and call out the ramp slopes. 5. Define the width of the drive pad. The curb radii at the entrance must be a NM 87103 minimum of 20 feet (see the Development Process Manual, Chapter 23, Section 6, Part B.9A). 6. Is there a median break at this site? If the site has left turn access, the www.cabq.gov drivepad has a 36-foot minimum width. Since Montgomery is an arterial roadway, driveways with right in / right out have a minimum driveway width of 30 feet (see the Development Process Manual, Chapter 23, Section 6, Part B.8). 7. Based on the information provided, the proposed entrance is located too close to the existing entrance on the adjacent lot. Please relocate. 8. Define the throat length for this entrance. A minimum throat length of 50 feet is required from the flow line (see Table 23.7.1 of Development Process Manual). 9.—Please provide a 6-foot wide pedestrian pathway from the roadway to the building. 10. Will the ADA parking stall be flush with the sidewalk or will a ramp be required? If a ramp is required include a detail. Albuquerque -- Making History 1706-2006



DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005) ZONE MAP: _______ PROJECT TITLE: HIGH DESFRT DENTAL DRB#: ______ EPC#: ______ WORK ORDER#: LEGAL DESCRIPTION: LOT 6, Block 10, MONTGOMERY HEIGHTS, 0.625 ACRES, C-1 CITY ADDRESS: ENGINEERING FIRM: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: OWNER: DR. GARY McCABE ROSS, DOS, FAGO, FICOL CONTACT: ADDRESS: 6830 MONTGOMERY BIVD. NE SUME A PHONE: CONTACT: CITY, STATE: ALBUKUERRUE NIM ZIP CODE: 87/09 ARCHITECT: LBA, INC CONTACT: RICK BENNETT ADDRESS: 1104 PARK AVE SW PHONE: 242-1959 CITY, STATE: ALBUQUERQUE NIN ZIP CODE: 97/02 SURVEYOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: CONTRACTOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SLA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERT (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR BUILDING PERMIT APPROVAL TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (PERM) ENGINEER'S CERT (TCL) CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL OTHER (SPECIFY) PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) JUL 26 2011

WAS A PRE-DESIGN CONFERENCE ATTENDED:

YES NO

COPY PROVIDED

DATE SUBMITTED:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

20/20

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

FALLCOA. Specifications & Details J DIMENSION DRIVE. How WIDE. DEED SITE HAVE IT. W/OUT? - R= 20-30'W/ ZROUIDE ALL ZAMP SIEPES. ADA PARKING. will there be a ramp or is submalk flushow prevent. H.C. Accessible sign Appears to confect w/ the overhang for H.C. Parking. these arens should be close of outside of the over Hang. 2 - 6 PEDESTRIAN PATH WAY ?- DRIVE LOCATION & 200'
23. 6.99 PS

- DEFINE HARDAT DEPTH. 50 min. VON ZONING. C-1



September 21, 2011

Richard P. Bennett, R.A. Rick Bennett Architects 1104 Park Avenue SW Albuquerque, NM 87102

Re:

High Desert Dental, 3520 Montgomery Blvd NE, Traffic Circulation Layout Architect's Stamp dated 09-15-11 (G16-D146)

Dear Mr. Bennett,

The TCL submittal received 09-16-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items:

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

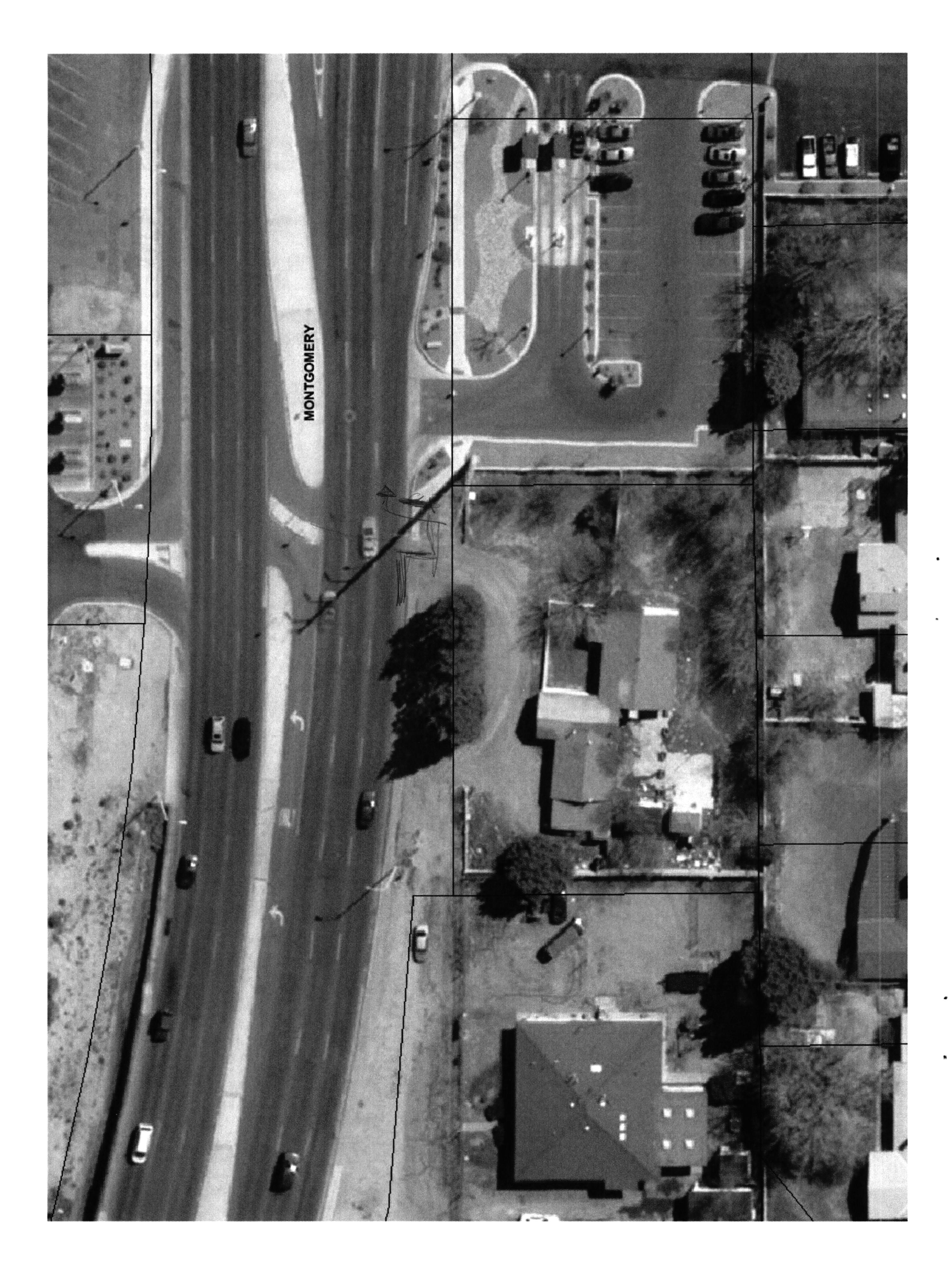
C:

File

(REV 12/2005)

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TTY ADDRESS: 335	3 MONTGOMERY 1	MONTGOMERY HEIGHTS, ABOWN
NGINEERING FIRM:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
WNER:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
CHITECT: RBA		CONTACT: PICK/DAVIS
ADDRESS:	1 PARK AUE SW. A	
CILY, STATE: A	14 ULTEUR, MIN	ZIP CODE: \$7102
RVEYOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
NTRACTOR:		CONTACT:
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CITY, STATE:		ZIP CODE:
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- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Metro, Kristal D.

and the same

From: Dourte, Richard H.

Sent: Thursday, September 08, 2011 4:37 PM

To: 'Dennis Lorenz' Cc: Metro, Kristal D.

Subject: FW: Scanned from a Xerox multifunction device



Dennis,

Attached is a sketch with a drivepad that is acceptable to the City and should work well with the existing median opening. The width is 30ft and the depth of the drivepad needs to be 12ft so that the slope is less steep than the standard drawings show, this will allow the turning vehicles to negotiate this movement a little easier.

All other of Kristal's comments need to be addressed.

Thanks,

Richard

----Original Message----

From: noreply@cabq.gov [mailto:noreply@cabq.gov]

Sent: Thursday, September 08, 2011 4:23 PM

To: Dourte, Richard H.

Subject: Scanned from a Xerox multifunction device

Please open the attached document. It was scanned and sent to you using a Xerox multifunction device.

Attachment File Type: pdf

multifunction device Location: machine location not set

Device Name: pwdnh07

For more information on Xerox products and solutions, please visit http://www.xerox.com

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