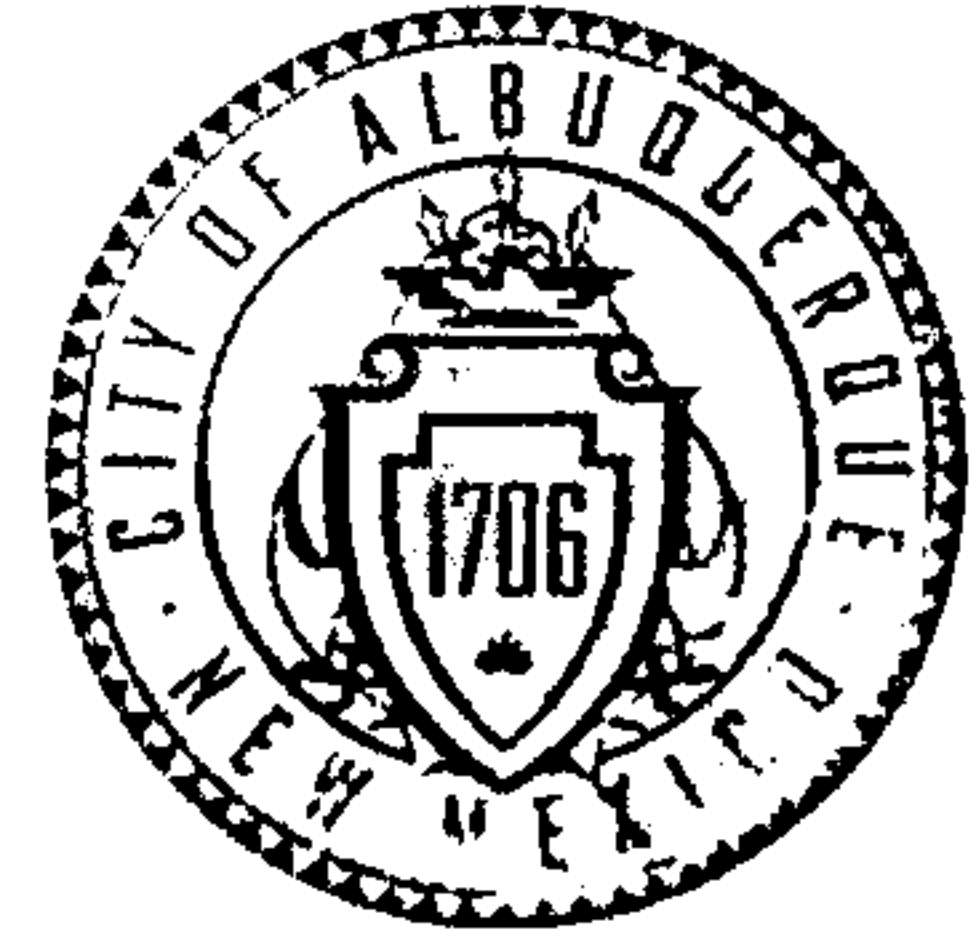


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 20, 2012

Richard Bennett, Registered Architect
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification for Permanent Certificate of Occupancy (**C.O.**)
High Desert Dental, [G-16/D146]
3520 Montgomery Blvd.
Architect's Stamp Dated 04/11/12

Dear Mr. Bennett:

Based upon the information provided in your submittal received 04-19-12,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

G-16/10144

PROJECT TITLE: HIGH Desert Dental ZONE MAP: F10-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS
CITY ADDRESS: 3520 Montgomery Blvd. ABQ, NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RBA, INC CONTACT: Darby
ADDRESS: 1104 PARK AVE SW PHONE: 242-1859
CITY, STATE: ABQ, NM ZIP CODE: 87102
EMAIL: darby@rba81.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

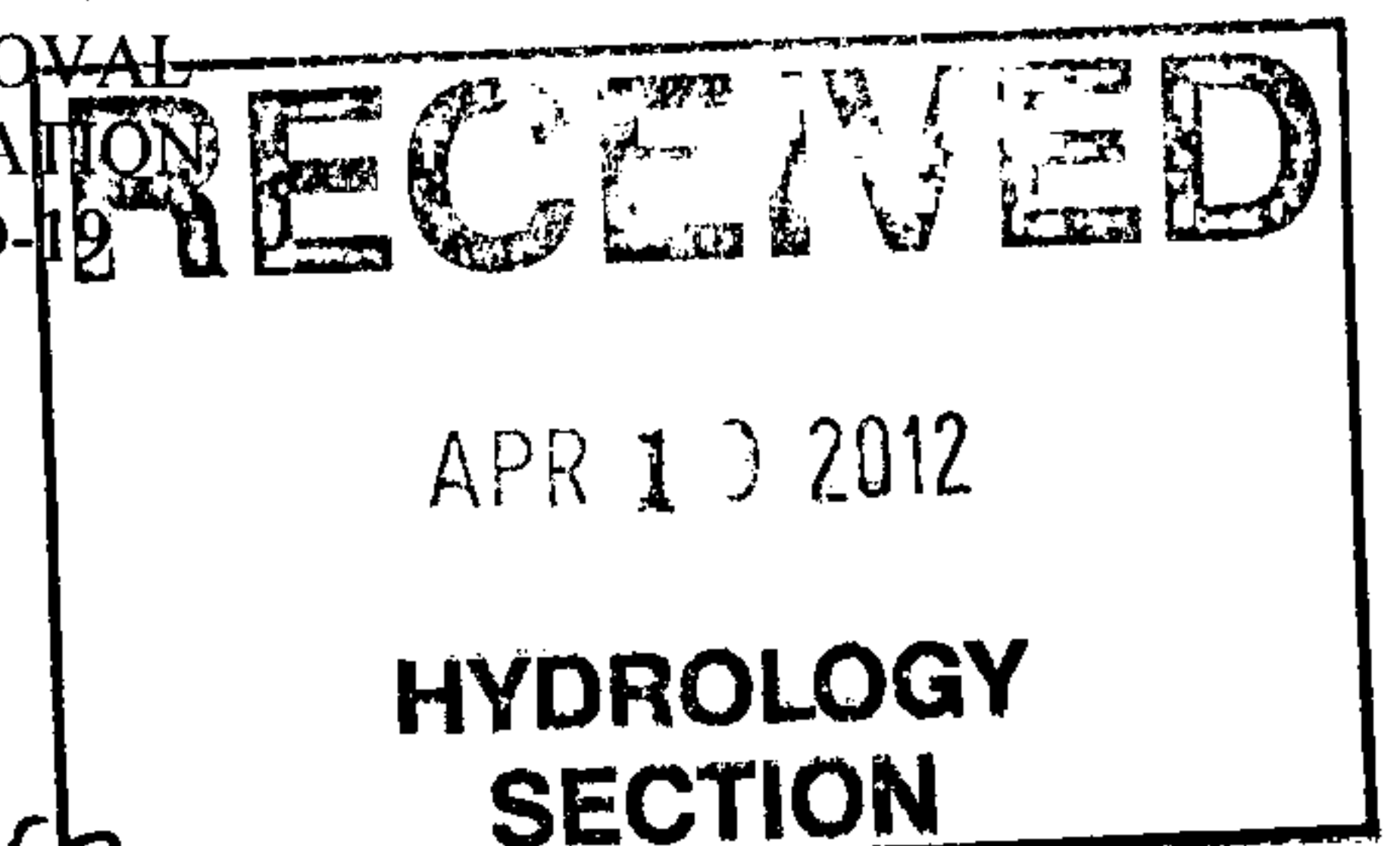
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ ☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ ☒ NO
____ COPY PROVIDED

DATE SUBMITTED: 4/19/12 BY: David McEachern



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

.4
.1
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.1

G-16/10144

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: HIGH Desert Dental ZONE MAP: F16-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS
CITY ADDRESS: 3520 Montgomery BLVD. ABQ, NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RBA, INC CONTACT: Darby
ADDRESS: 1104 PARK AVE SW PHONE: 242-1854
CITY, STATE: ABQ, NM ZIP CODE: 87102
EMAIL: darby@rba81.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

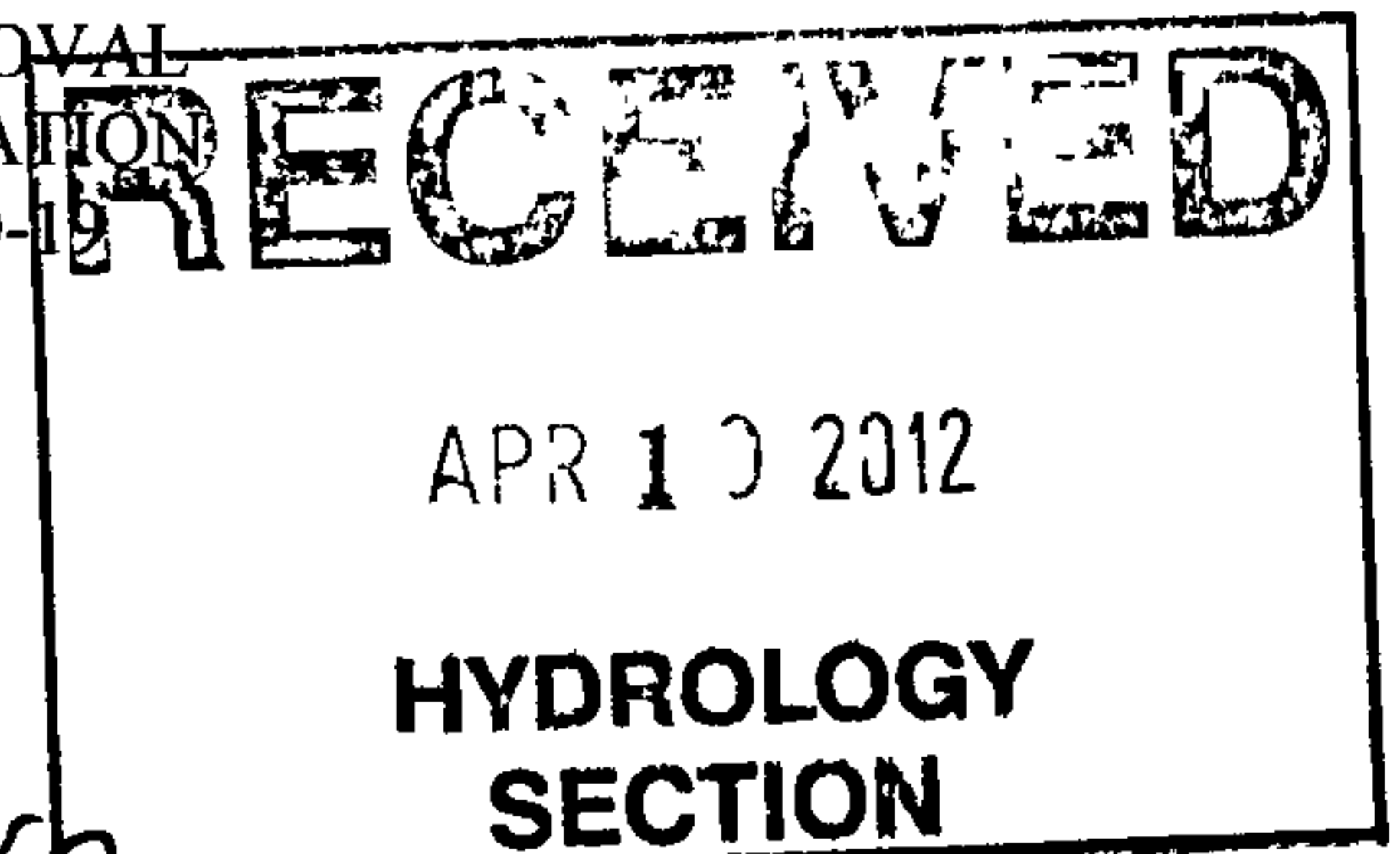
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ ☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-12

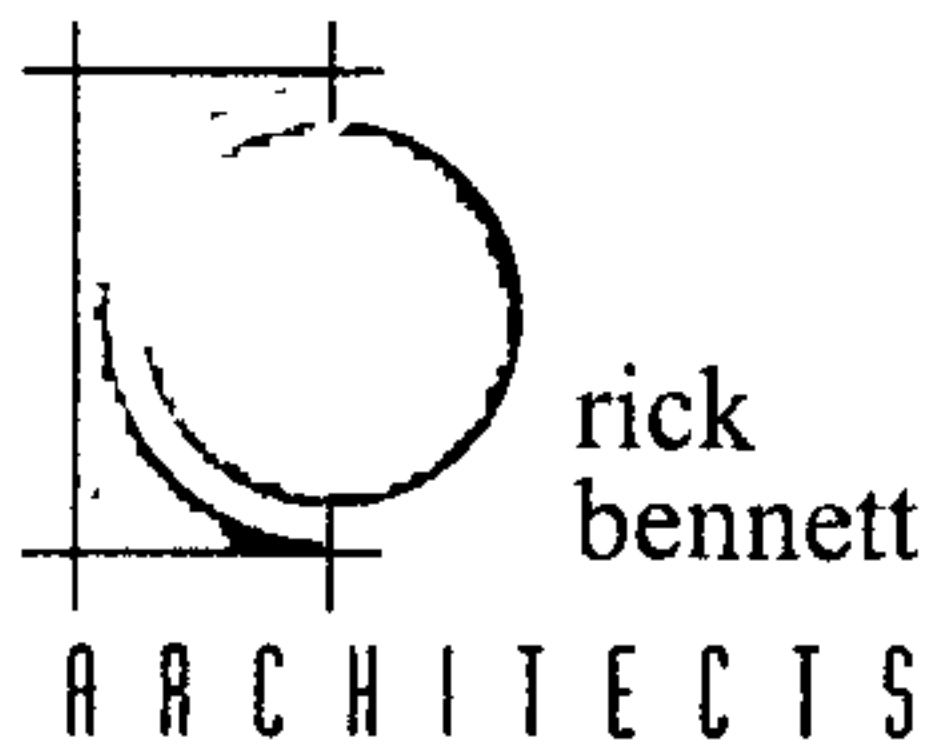
WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ ☒ NO
____ COPY PROVIDED

DATE SUBMITTED: 4/19/12 BY: David McEachern



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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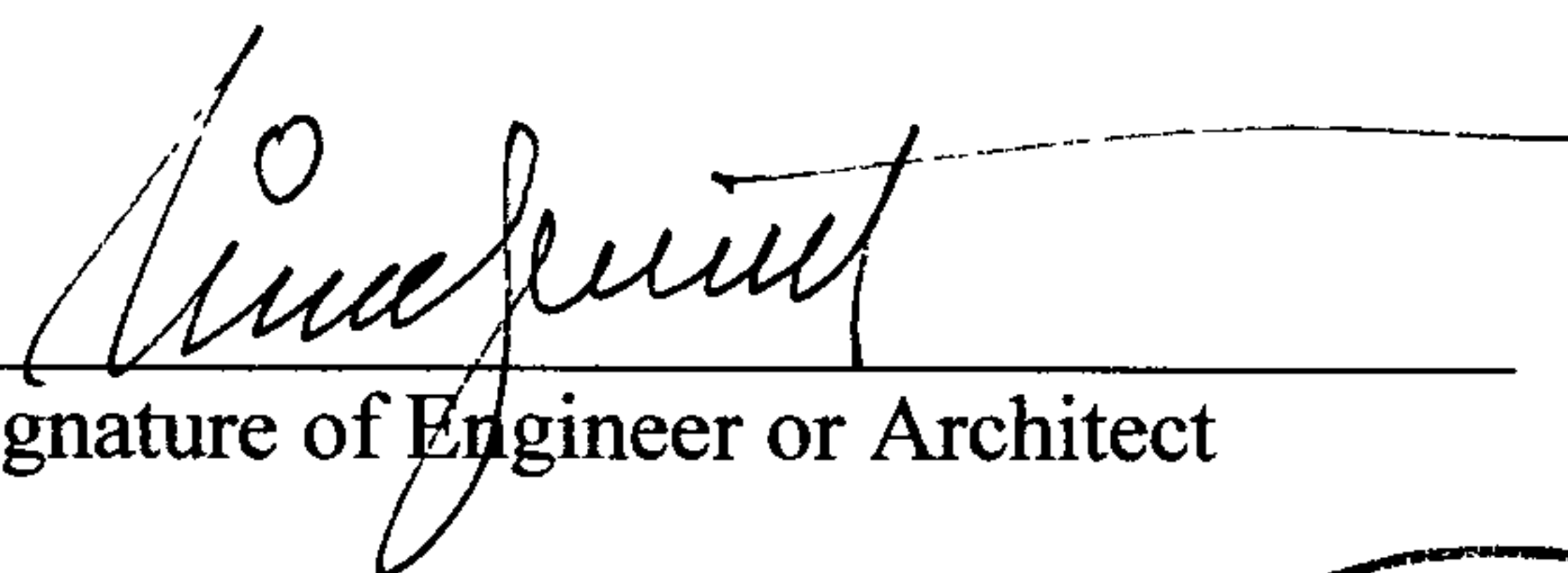


TRAFFIC CERTIFICATION

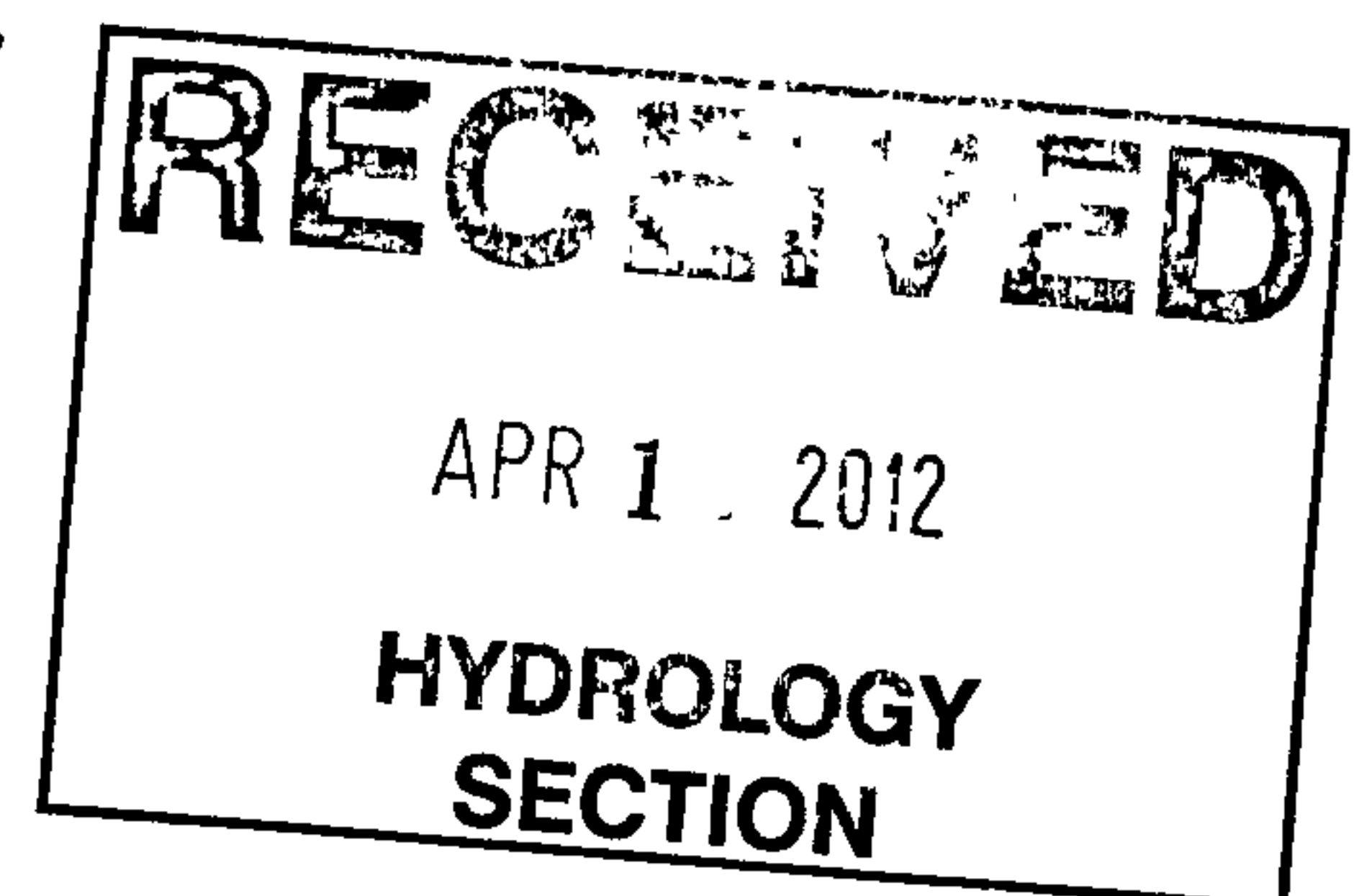
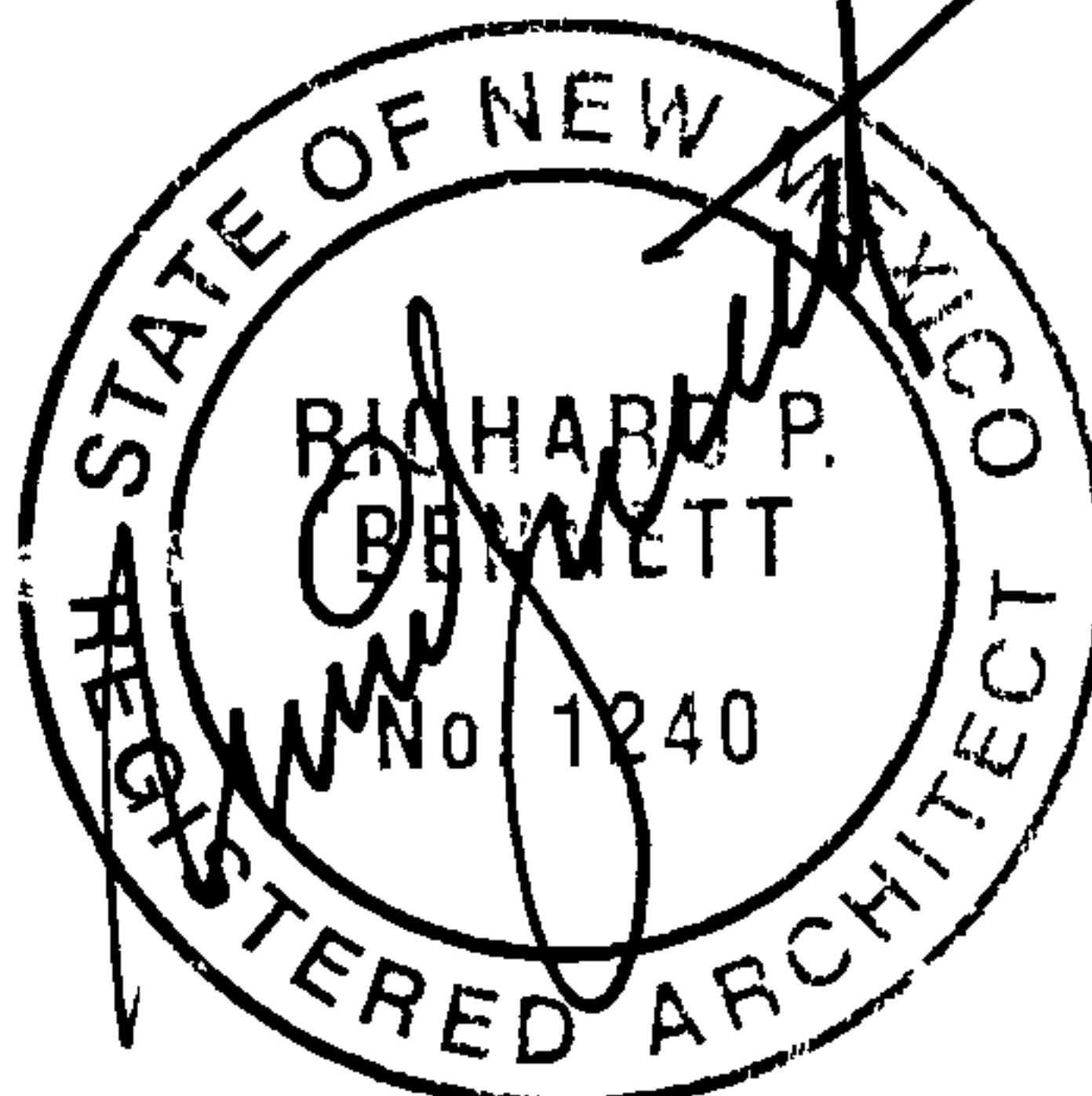
I, Rick Bennett, NMPE OR NMRA #1240, OF THE FIRM RBA, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/21/11. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Rick OF THE FIRM RBA. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/11/12 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

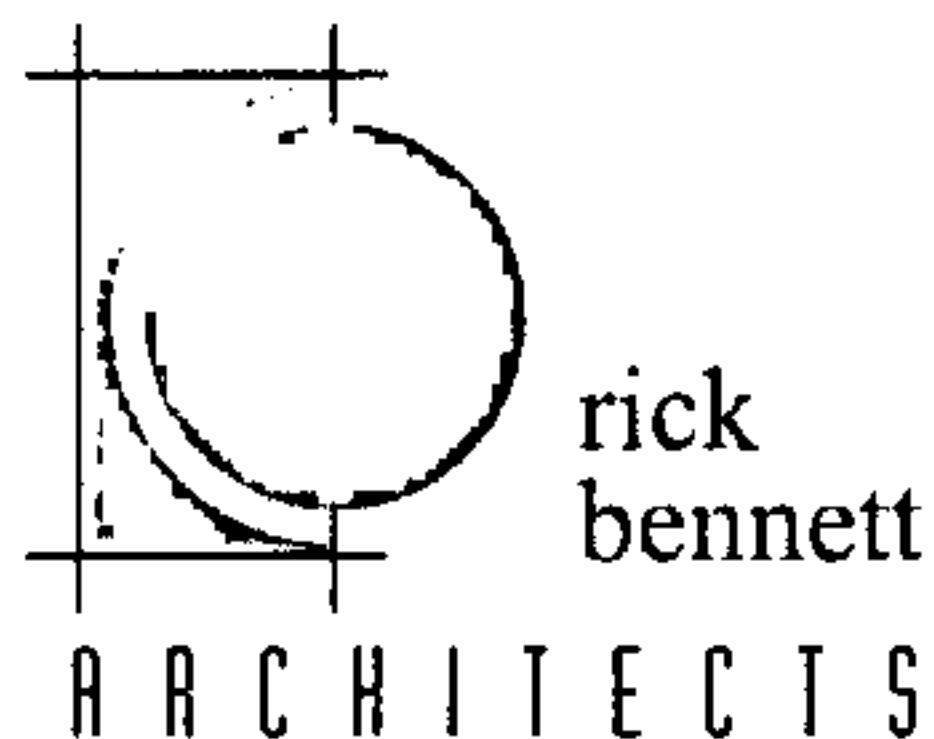
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

4/11/12
Date



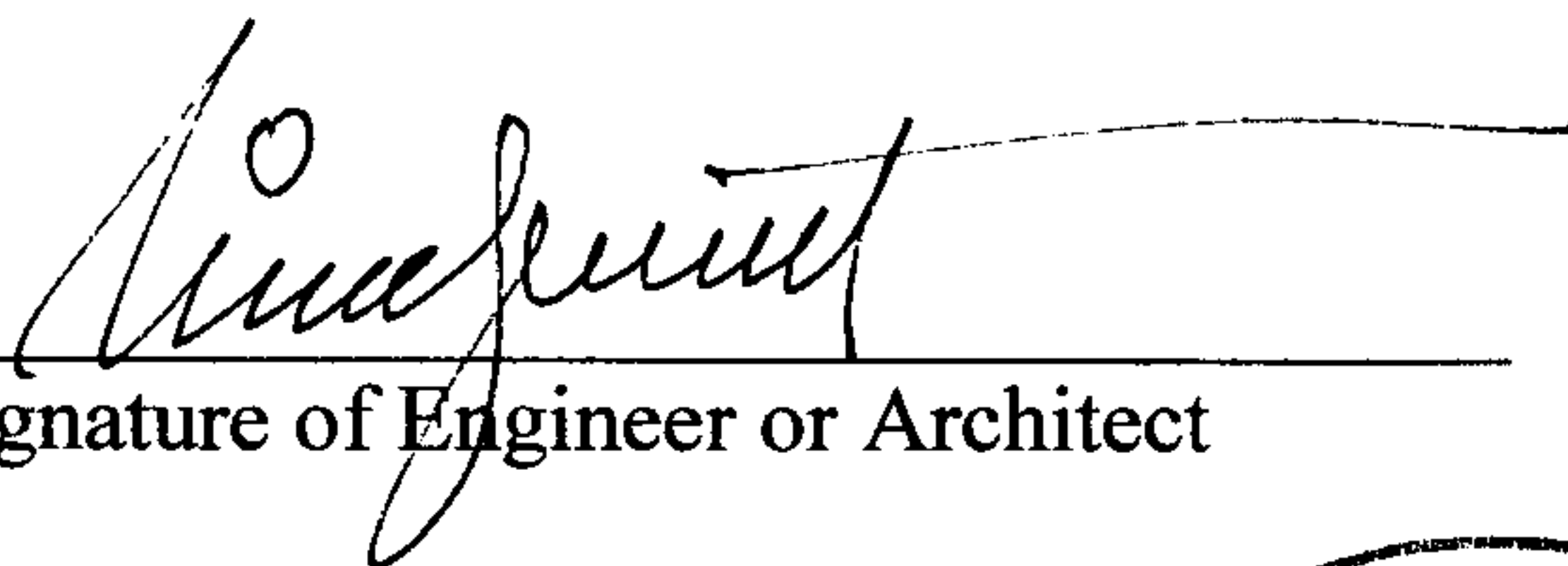


TRAFFIC CERTIFICATION

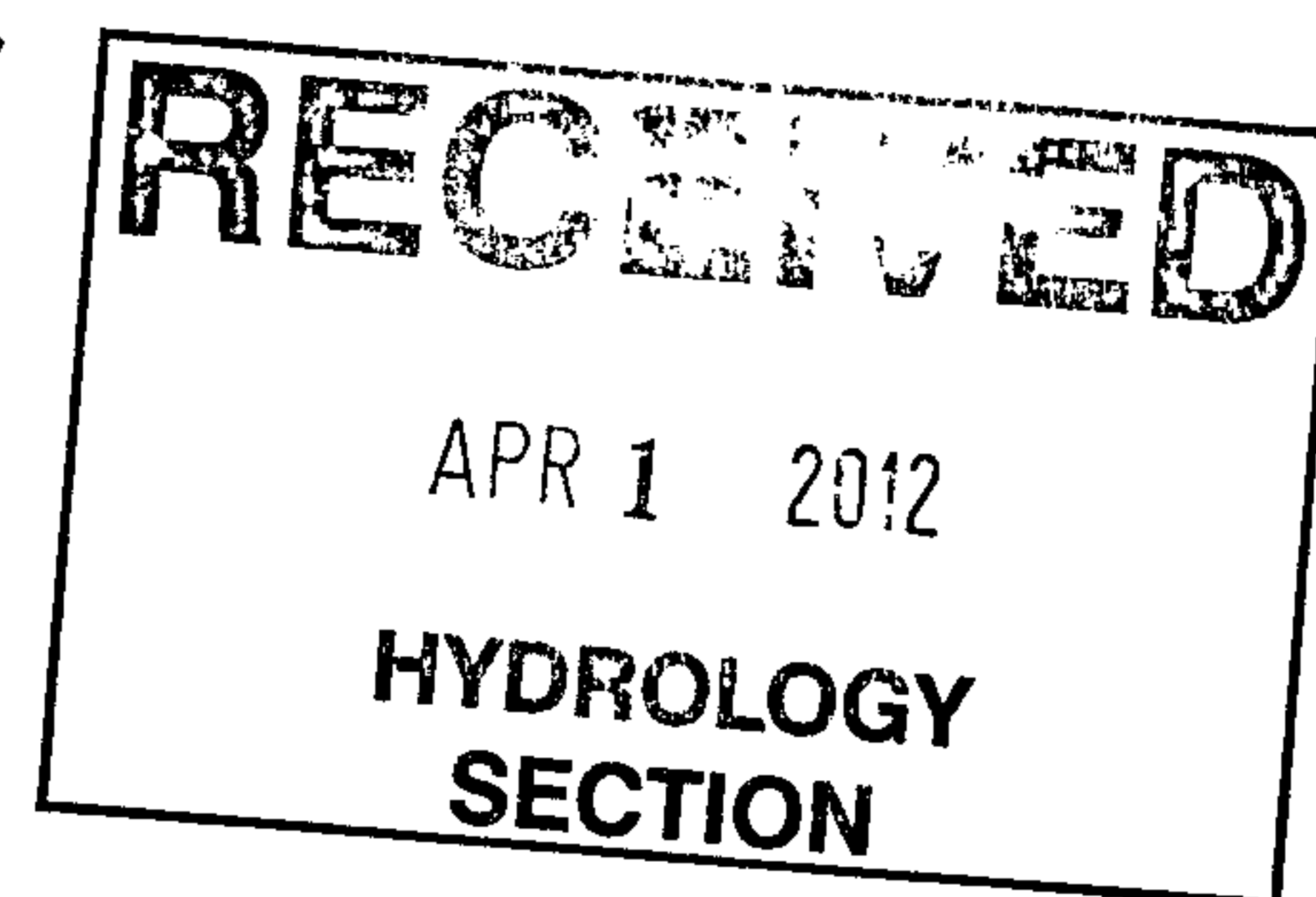
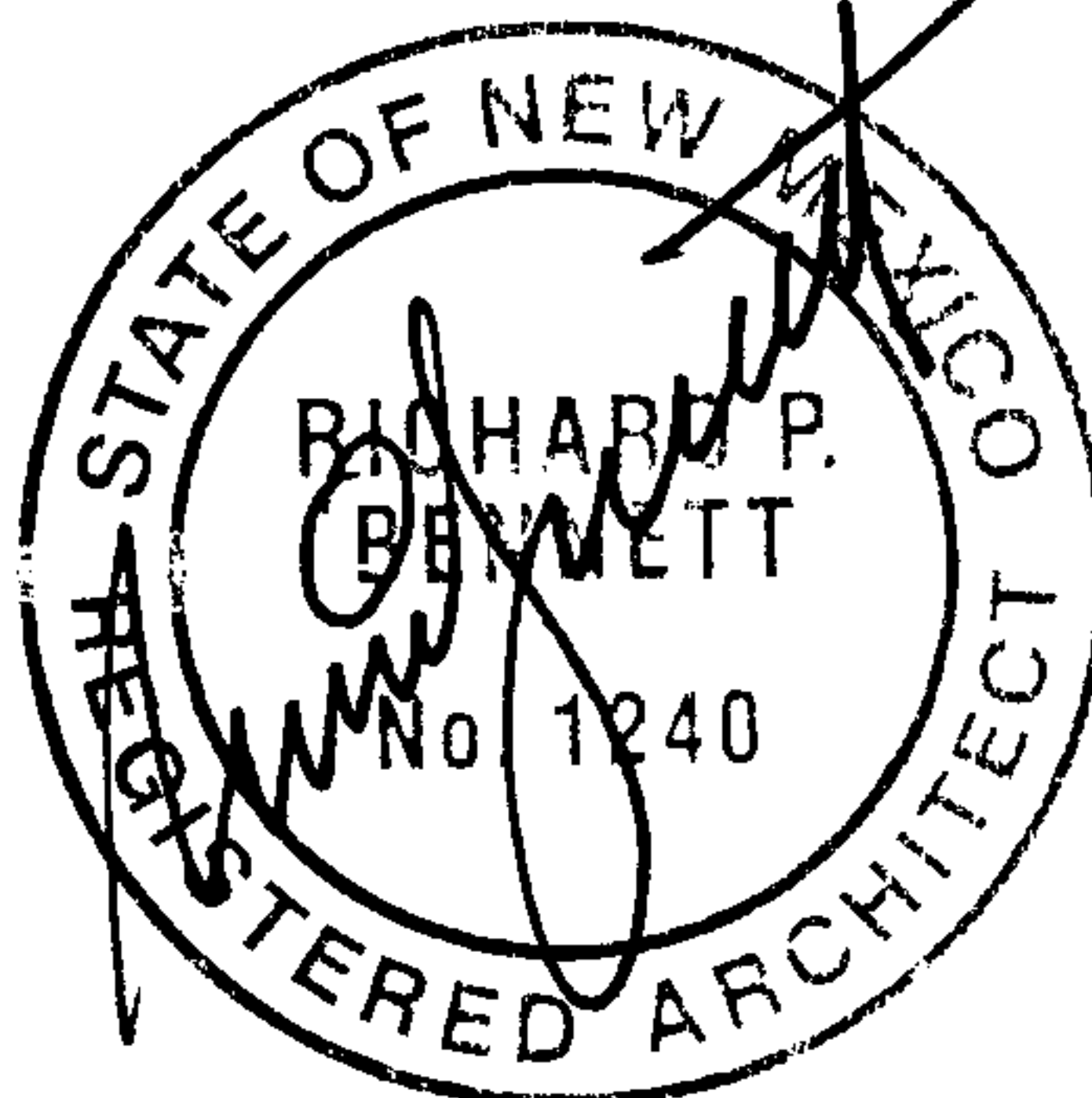
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<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

4/11/12
Date



CITY OF ALBUQUERQUE



January 15, 2013

Dennis Lorenz, P.E.
Brasher & Lorrenz, Inc.
2207 San Pedro NE Bldg. 1 Ste. 1200
Albuquerque, NM 87110

**Re: Goodrich Roofing
Grading and Drainage Plan
Engineer's Stamp dated 1-10-13 (G16/D147)**

Dear Mr. Lorrenz,

Based upon the information provided in your submittal received 1-10-13, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the moisture which falls on them. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E., CFM
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: GOODRICH ROOFING ZONE MAP: G-16 6147
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TR N3 AND NORTH 150' TR M, BLOCK N, COLES INDUSTRIAL ADDITION
CITY ADDRESS: 3401 VASSAR DRIVE NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: DENNIS LORENZ
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

Dennis L
@

OWNER: GOODRICH ROOFING CONTACT: JOHN SANCHEZ
ADDRESS: 3401 VASSAR DRIVE NE PHONE: 884-0662
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

ARCHITECT: WESLEY LANDSFORD CONTACT: W. LANDSFORD
ADDRESS: UNKNOWN PHONE: 610-0393
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: HARRIS SURVEYING CONTACT: T. HARRIS
ADDRESS: 2412-D MONROE NE PHONE: 889-8056
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

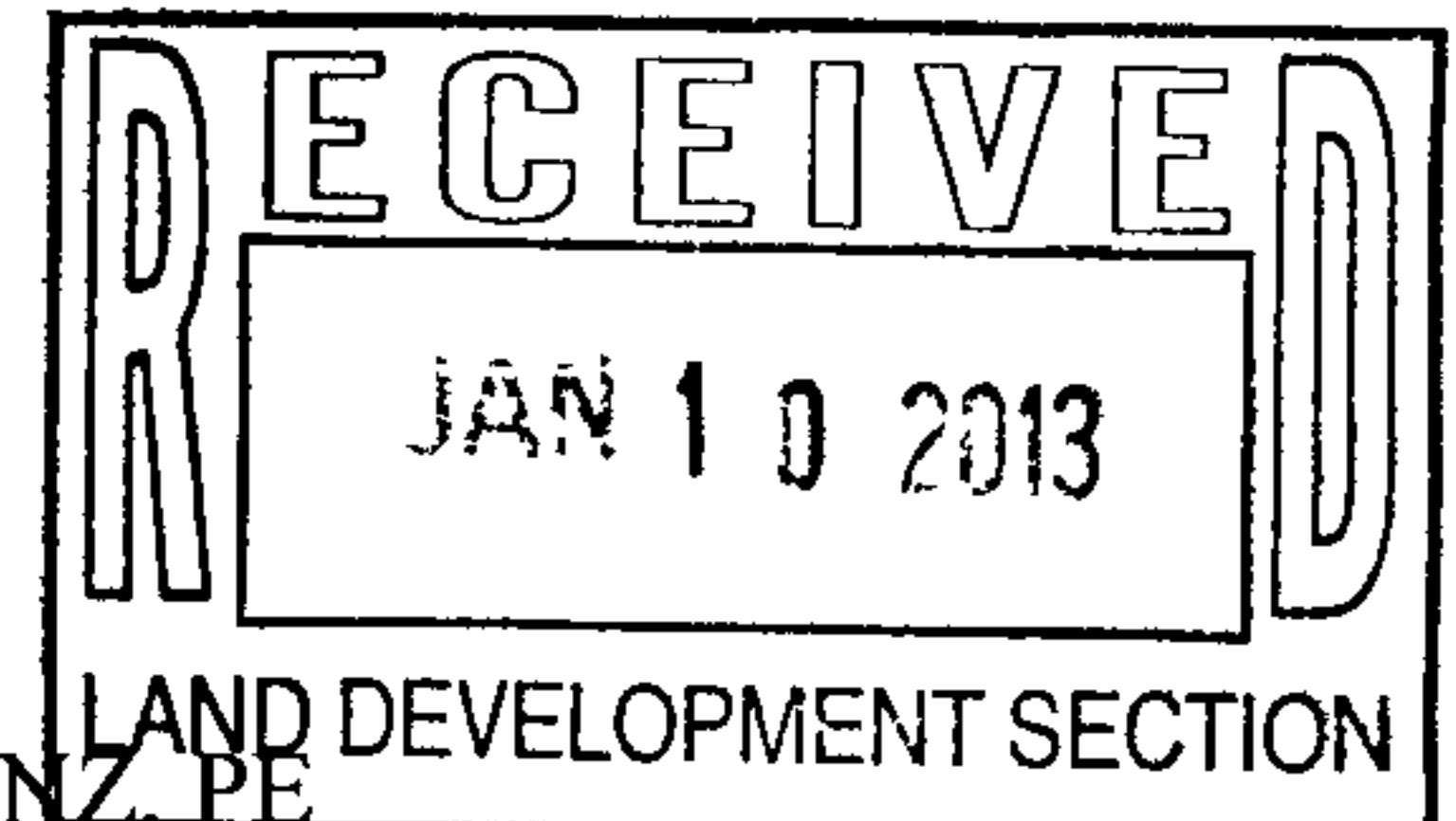
CONTRACTOR: UNKNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1-10-13 BY: DENNIS A. LORENZ PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 11, 2012

Steven K. Marrow, P.E.

stevem@brasherlorenz.com

Brasher & Lorenz Consulting Engineers

2201 San Pedro NE Bldg 1 Ste. 1300

Albuquerque, NM 87110

Re: High Desert Dental, 3520 Montgomery Blvd NE,

Request for Permanent C.O. –Approved

Engineer's Stamp dated: 09-23-11, (G16/D146)

Certification dated: 04-04-12

Dear Mr. Marrow,

Based upon the information provided in the Certification received 04-06-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: HIGH DESERT DENTAL ZONE MAP: G-16/D146
DRB#: _____ EPC#: _____ WORK ORDER#: N/A

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS
CITY ADDRESS: 3520 MONTGOMERY BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Dennis Lorenz
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: GARY MC CABE ROSS CONTACT: Gary McCabe Ross
ADDRESS: 5700 WEST UNIVERSITY BLVD SE SUITE 310 PHONE: 505-452-2600
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: RICK BENNETT ARCHITECT CONTACT: Rick Bennett
ADDRESS: 1104 PARK AVE NW PHONE: 505-242-1859
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: BRASHER & LORENZ, INC CONTACT: Lenore Armijo
ADDRESS: 2201 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: CHESHIRE COMPANY CONTACT: KEITH CHESHIRE
ADDRESS: 7400 HANCOCK CT STE B PHONE: 306-2999
CITY, STATE: ALBUQ. NM 87109 ZIP CODE: _____

<u>TYPE OF SUBMITTAL:</u>	<u>CHECK TYPE OF APPROVAL SOUGHT:</u>
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) _____

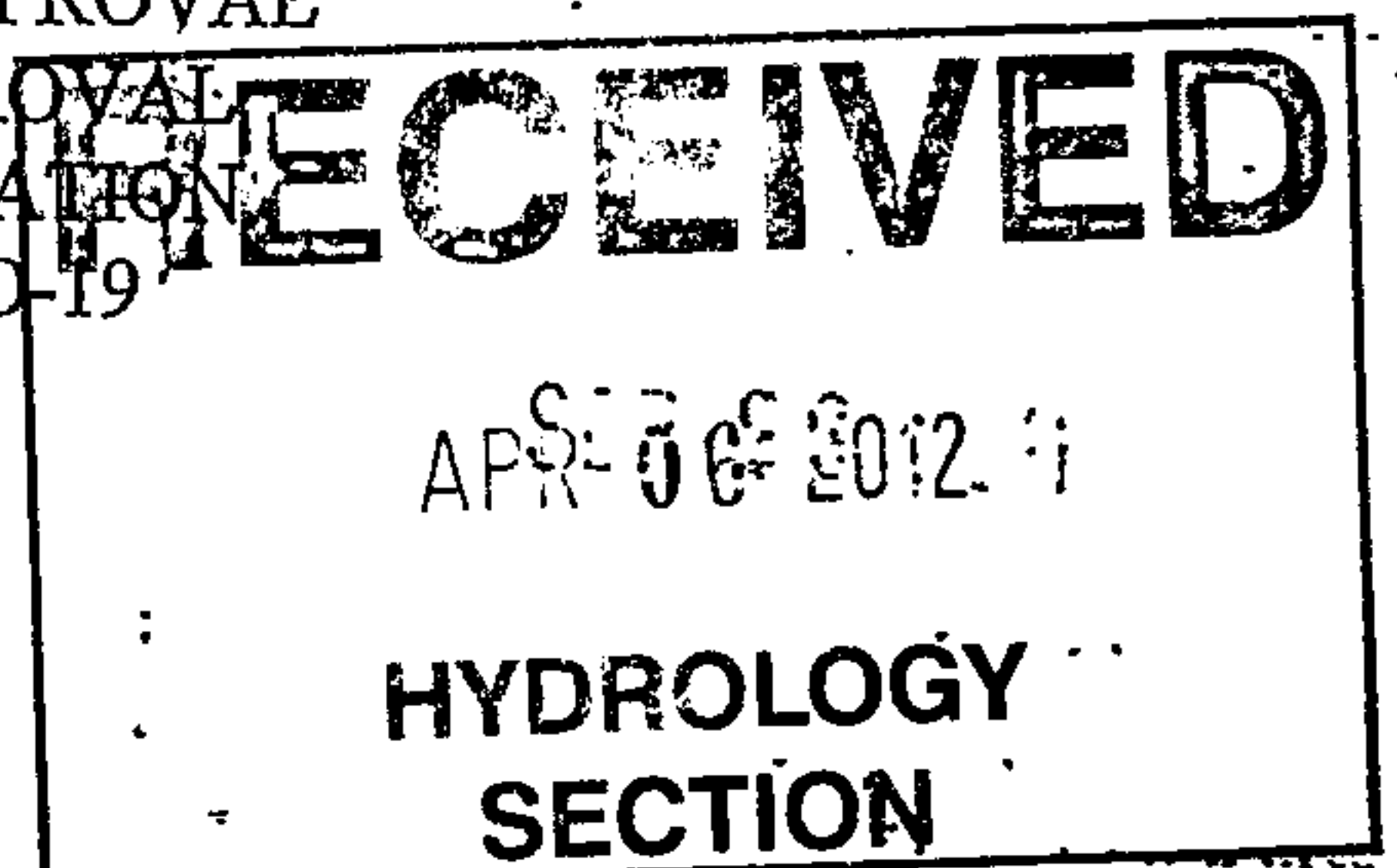
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

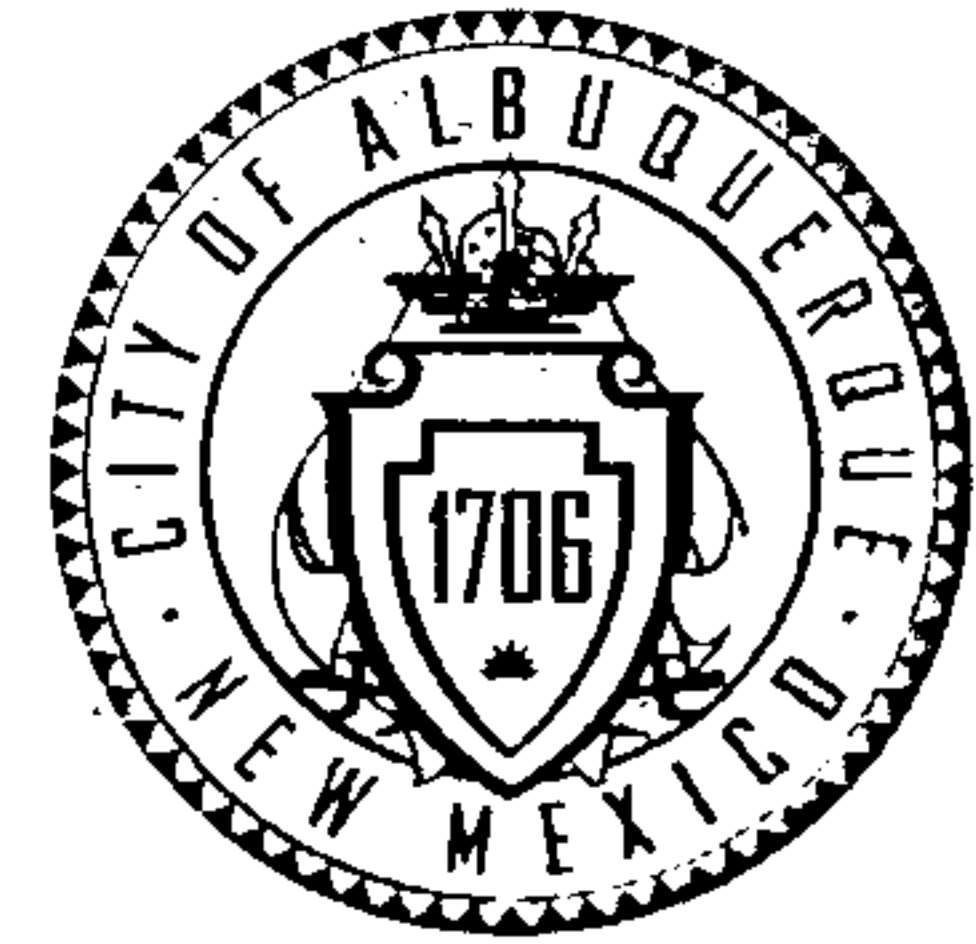
DATE SUBMITTED: 4-6-12 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



September 29, 2011

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE
Albuquerque, NM 87110

**Ré: High Desert Dental Office
Grading and Drainage Plan
Engineer's Stamp dated 9-23-2011 (G16/D146)**

Dear Mr. Lorenz,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 9/26/2011, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Hydrology is requesting that all proposed landscape areas are depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3965.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: HIGH DESERT DENTAL ZONE MAP: G-16/D146
DRB#: _____ EPC#: _____ WORK ORDER#: N/A

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS
CITY ADDRESS: 3520 MONTGOMERY BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Dennis Lorenz
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: GARY MC CABE ROSS CONTACT: Gary McCabe Ross
ADDRESS: 5700 WEST UNIVERSITY BLVD SE SUITE 310 PHONE: 505-452-2600
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: RICK BENNETT ARCHITECT CONTACT: Rick Bennett
ADDRESS: 1104 PARK AVE NW PHONE: 505-242-1859
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: BRASHER & LORENZ, INC CONTACT: Lenore Armijo
ADDRESS: 2201 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: UNKNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SEP 26 2011

DATE SUBMITTED: 9.26.11 BY: D. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

September 26, 2011

Curtis Cherne, PE
Senior Engineer, Planning Department
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: HIGH DESERT DENTAL
Grading and Drainage Plan update
G16/D146

Dear Curtis:

Submitted herewith for review and approval is one copy of the revised Grading and Drainage Plan for the subject project. The Plan has been updated to reflect the revision to the driveway, as required by Traffic as a condition of TCL approval. The remaining grading and drainage conditions are unchanged.

Please feel free to call me if you have any questions.

Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE
Principal

/dl/11514

SEP 26 2011

CITY OF ALBUQUERQUE



June 27, 2011

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE
Albuquerque, NM 87110

**Re: High Desert Dental Office
Grading and Drainage Plan
Engineer's Stamp dated 7-7-2011 (G16/D146)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 7/11/2011, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

One comment on the area between the new Retaining wall and the existing garden wall, please make sure that the soil slopes away from the garden wall to ensure that seepage from any precipitation does not occur on this wall.

Hydrology is requesting that all proposed landscape areas are depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3421 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

RER/CAC

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: HIGH DESERT DENTAL
DRB#: _____ EPC#: _____

ZONE MAP: G-16 / D144
WORK ORDER#: N/A

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS
CITY ADDRESS: 3520 MONTGOMERY BOULEVARD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Dennis Lorenz
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: GARY MC CABE ROSS CONTACT: Gary McCabe Ross
ADDRESS: 5700 WEST UNIVERSITY BLVD SE SUITE 310 PHONE: 505-452-2600
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: RICK BENNETT ARCHITECT CONTACT: Rick Bennett
ADDRESS: 1104 PARK AVE NW PHONE: 505-242-1859
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: BRASHER & LORENZ, INC CONTACT: Lenore Armijo
ADDRESS: 2201 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: UNKNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

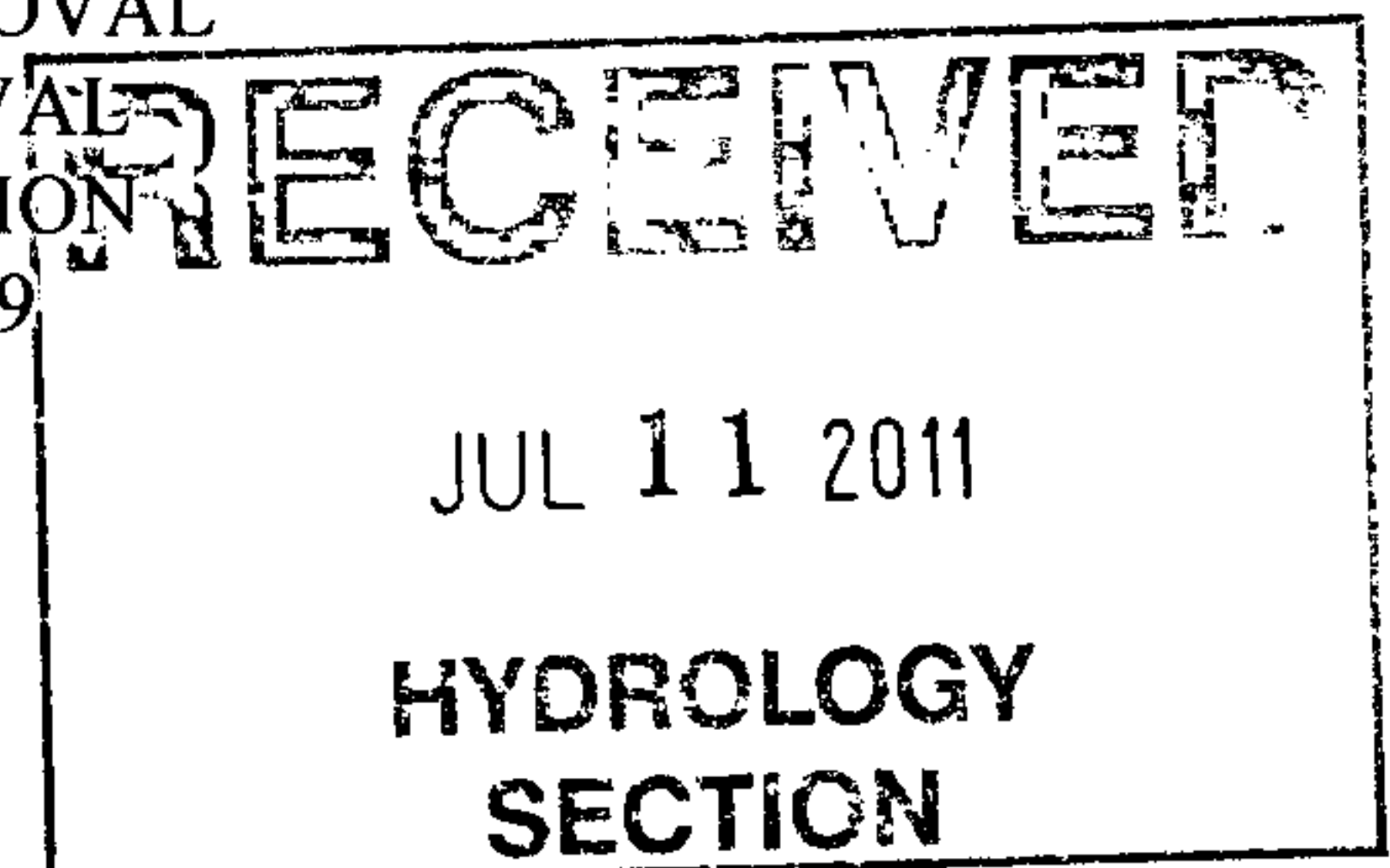
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7.11.11 BY: D. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



July 28, 2011

Richard P. Bennett, R.A.
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: High Desert Dental, Traffic Circulation Layout
Architect's Stamp dated 07-26-11 (G16-D146)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 07-26-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please refer to all applicable city standards.
2. Define the address for this site on the plan.
3. Provide a detail or call out the appropriate specification (*CoA Standard Specification Drawing Number 2432*) for the existing to proposed sidewalk transition.
4. Please ensure all ramps are ADA compliant and call out the ramp slopes.
5. Define the width of the drive pad. The curb radii at the entrance must be a minimum of 20 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.9A).
6. Is there a median break at this site? If the site has left turn access, the drivepad has a 36-foot minimum width. Since Montgomery is an arterial roadway, driveways with right in / right out have a minimum driveway width of 30 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).
7. Based on the information provided, the proposed entrance is located too close to the existing entrance on the adjacent lot. Please relocate.
8. Define the throat length for this entrance. A minimum throat length of 50 feet is required from the flow line (see Table 23.7.1 of *Development Process Manual*).
9. Please provide a 6-foot wide pedestrian pathway from the roadway to the building.
10. Will the ADA parking stall be flush with the sidewalk or will a ramp be required? If a ramp is required include a detail.

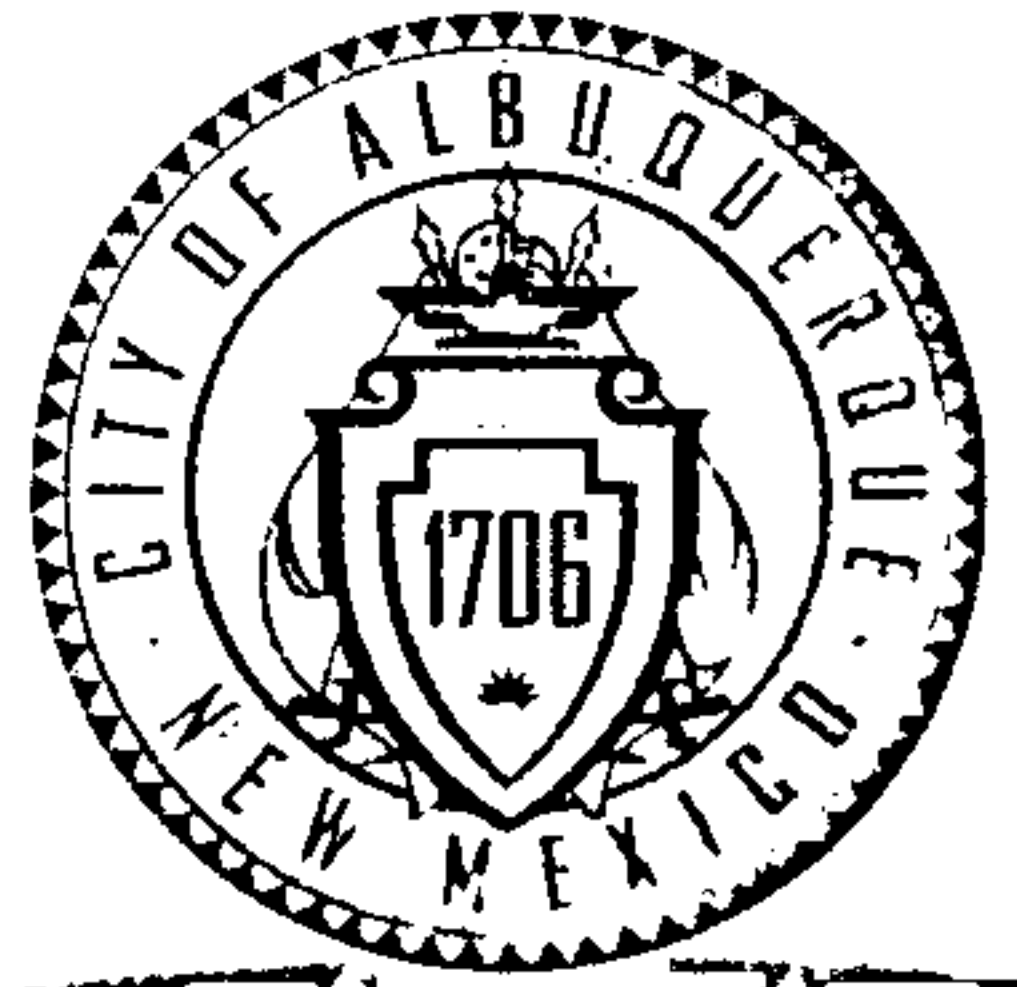
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



11. The H.C. accessible signs appear to conflict with the vehicle overhang. These signs should be located outside of the two feet vehicle overhang or the parking bumpers should be adjusted.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: HIGH DESERT DENTAL ZONE MAP: G-16/D146
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS, 0.425 ACRES, C-1
 CITY ADDRESS: _____

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: DR. GARY McCABE ROSS, DDS, FAGD, FICOI CONTACT: _____
 ADDRESS: 6830 MONTGOMERY BLVD. NE SUITE A PHONE: _____
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87109

ARCHITECT: RBA, INC CONTACT: RICK BENNETT
 ADDRESS: 1104 PARK AVE SW PHONE: 242-1859
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ~~TRAFFIC CIRCULATION LAYOUT~~
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

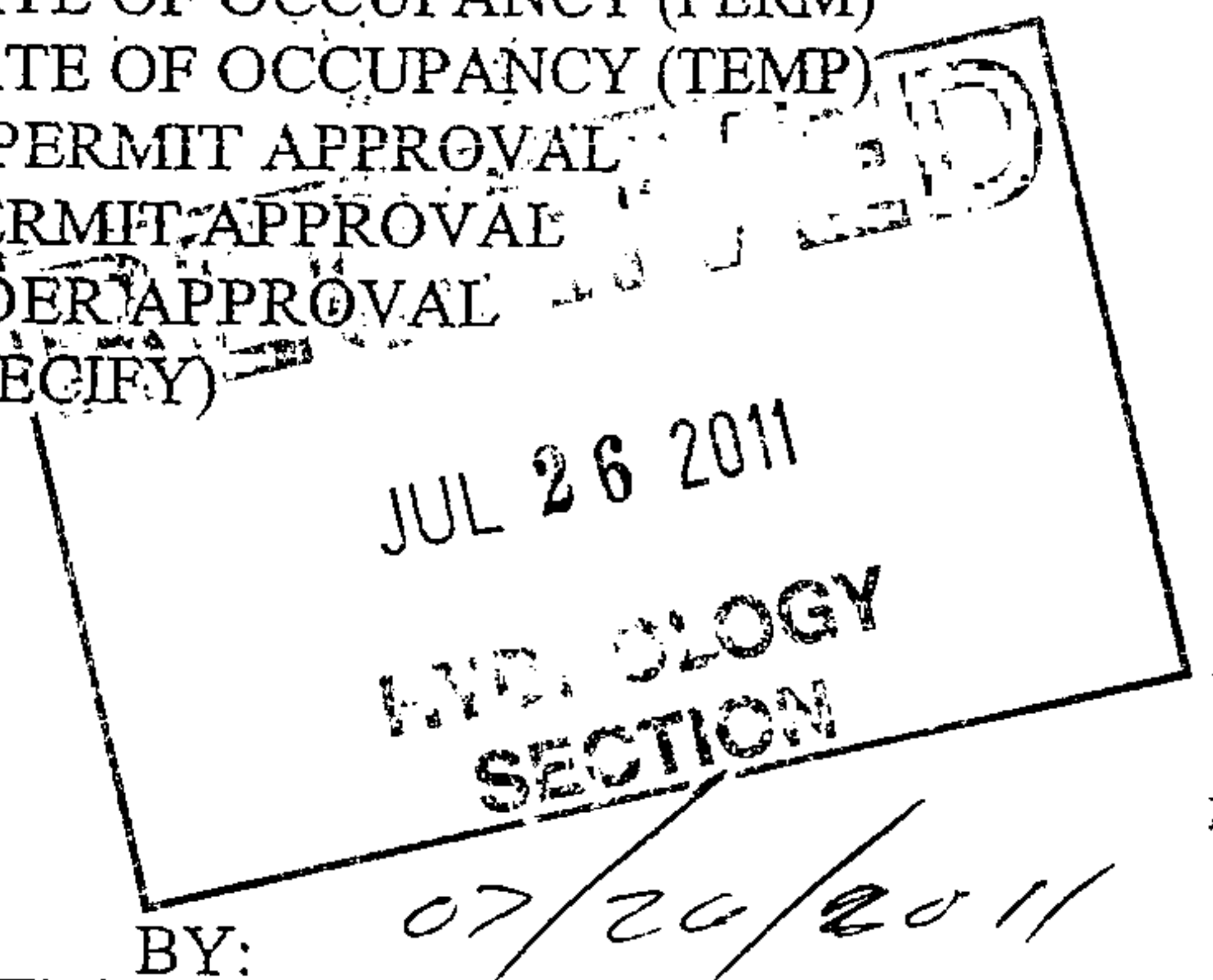
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: [Signature] BY: 07/26/2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



✓ ADDRESS
✓ ALL C.A. SPECIFICATIONS & DETAILS

✓ DIMENSION DRIVE. How wide. DOES SITE HAVE RT. W/OUT? - R = 20'-30' w/
- 36'-40' wide DRIVE.

✓ PROVIDE ALL RAMP SLOPES.

✓ ② ADA PARKING. will there be a ramp or is sidewalk flush w/ pavement.

• H.C. Accessible sign. Appears to conflict w/ the overhang
for H.C. PARKING. these signs should be ^{located} ~~close~~ outside of the overhang. 2'

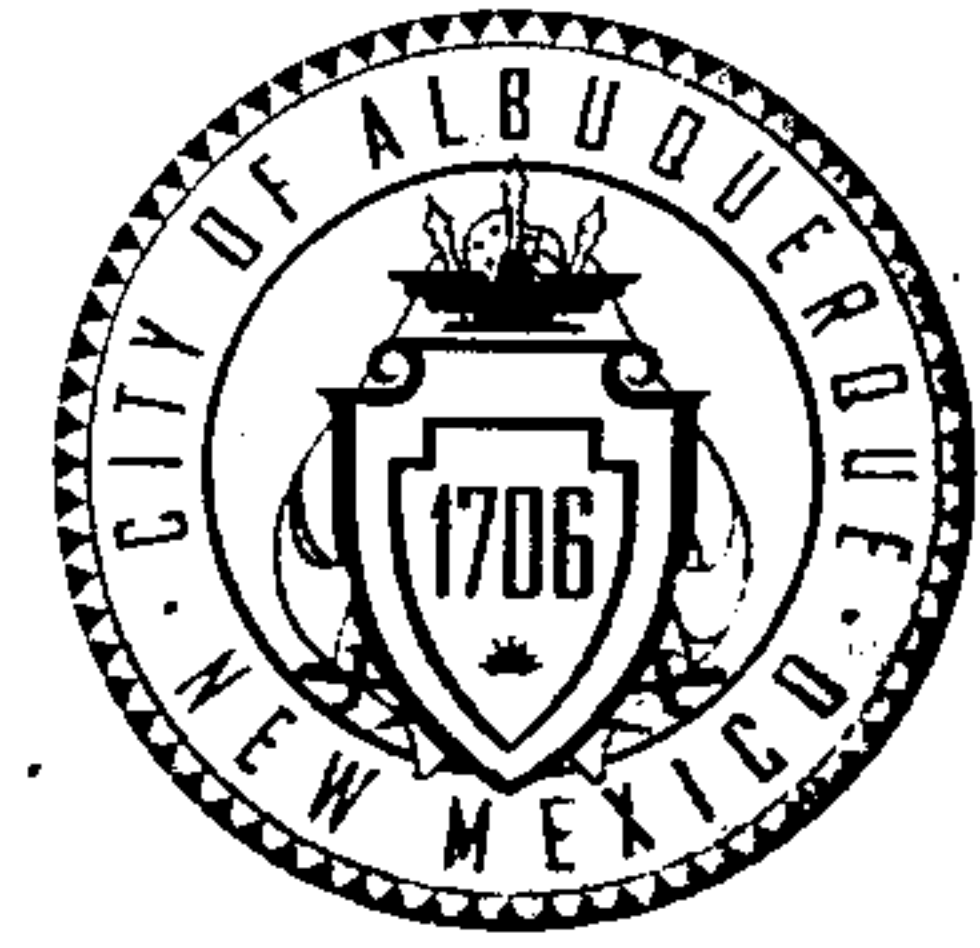
✓ 6 PEDESTRIAN PATHWAY

? - DRIVE LOCATION $\leq 200'$
23.6.92 PS 23-70

- DEFINE THROAT DEPTH. 50' min.

✓ ON ZONING. C-1

CITY OF ALBUQUERQUE



September 21, 2011

Richard P. Bennett, R.A.
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: High Desert Dental, 3520 Montgomery Blvd NE,
Traffic Circulation Layout
Architect's Stamp dated 09-15-11 (G16-D146)

Dear Mr. Bennett,

The TCL submittal received 09-16-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

G-16/D146

PROJECT TITLE: HIGH DESERT DENTAL ZONE MAP: FE
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 6, BLOCK 10, MONTGOMERY HEIGHTS, ABQ NM
 CITY ADDRESS: 3353 MONTGOMERY BLVD

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: TBA CONTACT: DICK/DAVID
 ADDRESS: 1104 PARK AVE SW, ALBUQUERQUE, NM 87102 PHONE: 242-1859
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

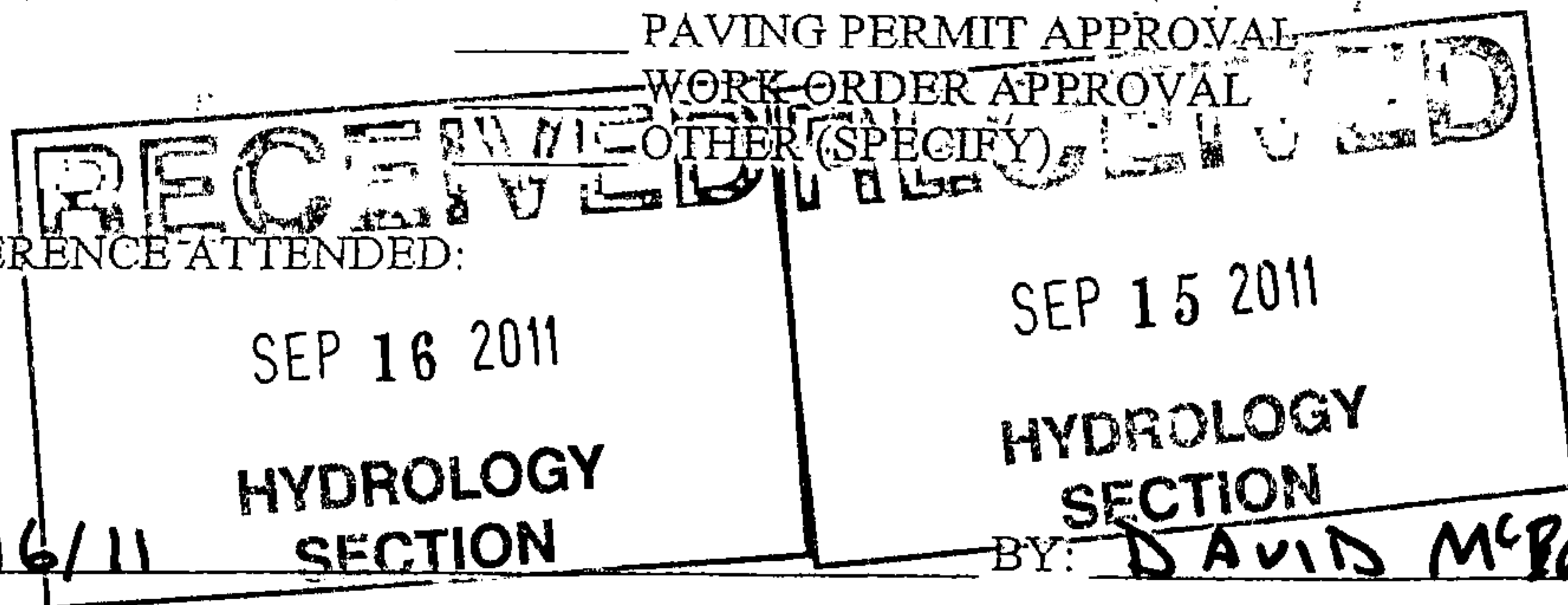
CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/16/11



BY: DAVID McPachera

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Metro, Kristal D.

From: Dourte, Richard H.
Sent: Thursday, September 08, 2011 4:37 PM
To: 'Dennis Lorenz'
Cc: Metro, Kristal D.
Subject: FW: Scanned from a Xerox multifunction device



Scanned from a
Xerox multifunc...

Dennis,

Attached is a sketch with a drivepad that is acceptable to the City and should work well with the existing median opening. The width is 30ft and the depth of the drivepad needs to be 12ft so that the slope is less steep than the standard drawings show, this will allow the turning vehicles to negotiate this movement a little easier.

All other of Kristal's comments need to be addressed.

Thanks,

Richard

-----Original Message-----

From: noreply@cabq.gov [mailto:noreply@cabq.gov]
Sent: Thursday, September 08, 2011 4:23 PM
To: Dourte, Richard H.
Subject: Scanned from a Xerox multifunction device

Please open the attached document. It was scanned and sent to you using a Xerox multifunction device.

Attachment File Type: pdf

multifunction device Location: machine location not set
Device Name: pwdnh07

For more information on Xerox products and solutions, please visit <http://www.xerox.com>

SEWER

SEWER

MED

show median
- left turn
access?

MONTGOMERY BOULEVARD N.E.

(R/W VARIES)
(ASPHALT PAVING)

20'-30'

30'

