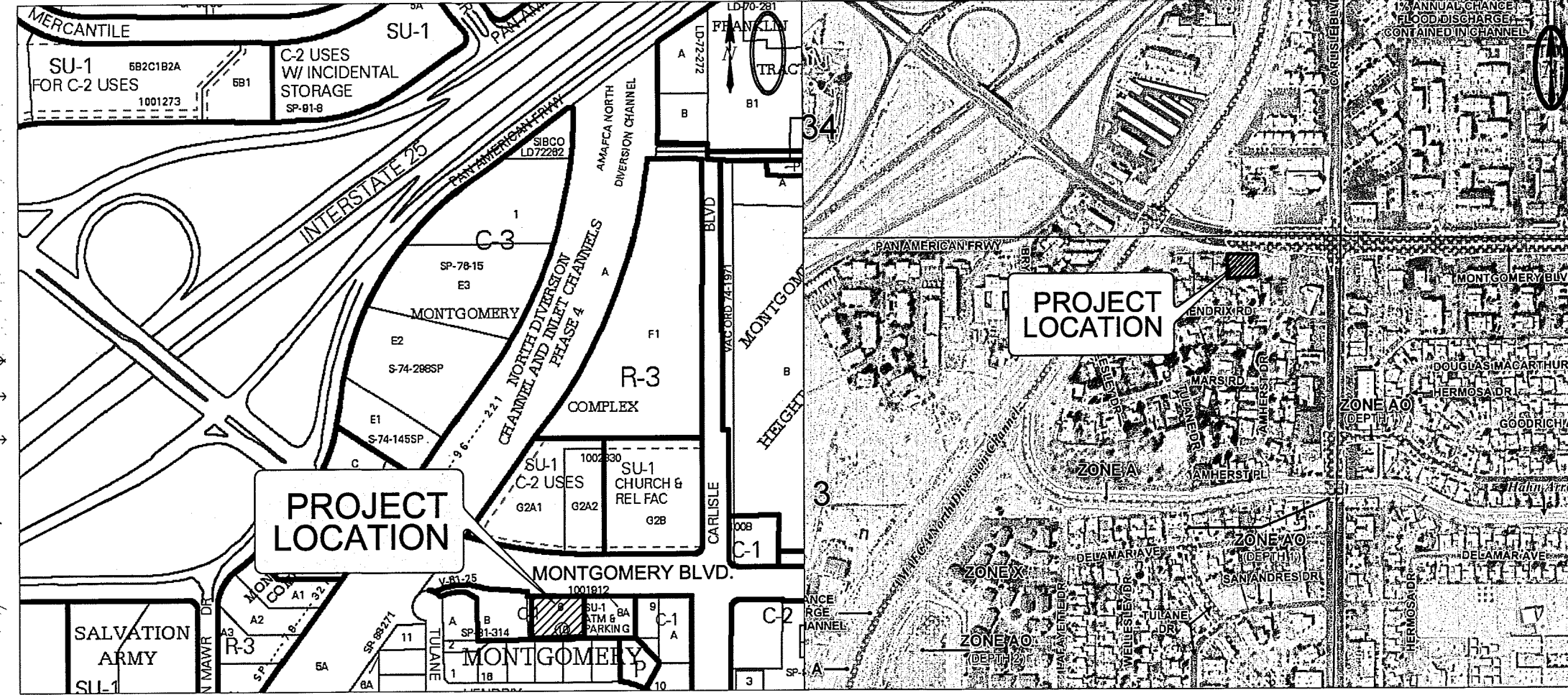




4-6-12



BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 885-6988 Fax: (505) 886-6186



1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

1. EXISTING CONCRETE CURB AND GUTTER.
2. EXISTING ASPHALT PAVEMENT.
3. EXISTING 4' SIDEWALK.
4. REMOVE AND DISPOSE EXISTING DRIVEPAD.
5. EXISTING H/C RAMP.
6. EXISTING RETAINING WALL.
7. EXISTING GARDEN WALL.
8. EXISTING CONCRETE VALLEY GUTTER.
9. CONSTRUCT 6' SIDEWALK PER COA STD. DWG. 2430 .
10. CONSTRUCT NEW 8' WIDE DRIVE PAD PER COA STD. DWG. 2428.
11. NEW REFUSE ENCLOSURE WITH STUCCO FINISH.
SEE SITE PLAN SHT. C-2
12. NEW ASPHALT PAVEMENT.
13. NEW TIRE STOPS (TYP.).
14. NEW 6" CONCRETE CURB, 8" CURB AND GUTTER (CITY).
15. REMOVE AND DISPOSE EXISTING SIDEWALK TO LIMITS SHOWN.
16. NEW LANDSCAPING.
17. CONSTRUCT RETAINING WALL. DESIGN BY OTHERS.
18. HANDICAP PARKING, STRIPING AND SYMBOLS PER ADA.
19. INSTALL 12" SIDEWALK CULVERT PER COA STD DWG 2236.
20. REMOVE AND DISPOSE EXISTING DRIVEPAD. CONSTRUCT CURB AND GUTTER PER COA STD. DWG. 2416A
21. 6" WIDE PEDESTRIAN WAY 2.0% MAX. CROSS SLOPE.
22. SIDEWALK TRANSITION PER COA STD. DWG. 2432
23. 12" WIDE ALLEY GUTTER PER COA STD. DWG. 2415A
24. NEW 12" GARDEN WALL (TYP.).
25. END 6" CONCRETE CURB. BEGIN 6" TURN-DOWN SIDEWALK.
26. NEW CONCRETE TURN-DOWN SIDEWALK WITH CURB. SEE SHEET C-2. FLUSH WITH ASPHALT.

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
LIGHT POLE		
OVERHEAD ELEC WITH POWER POLE	OHE	
OVERHEAD UTILITY LINE	OHU	
SPOT ELEV.	G=16.7	16.7
RIGHT OF WAY		
CENTERLINE		
TOP OF ASPHALT ELEV.	EX TA 16.2	TA 16.2
TOP OF CURB ELEV.	EX TC 16.2	TC 16.2
CONTOUR W/ ELEVATION	4992	92
ASPHALT PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
BUILDING		
RETAINING WALL		
SIDEWALK		
	ROOT DRAIN	

SCOPE

EXISTING CONDITIONS

The site is bounded by a 5' high block wall. Site topography is relatively flat, gently sloping to the west. Since the existing finish floor of the residence is positioned below the adjacent street grade of Montgomery Boulevard, all site drainage runoff remains on site.

PROPOSED IMPROVEMENT

In order to provide freeboard above the 100-year flood zone located in Montgomery Boulevard, the proposed finish floor is located at least 1-foot above the calculated floodway elevation.

The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

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ROOF DRAIN

PROPERTY LINE

EXISTING BLOCK WALL

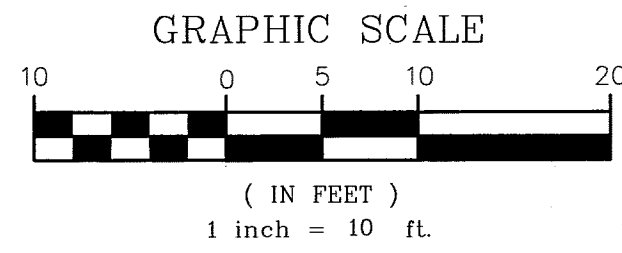
EXISTING GROUND (EG)

TOP OF WALL PER PLAN (TW)

FINISHED GRADE PER PLAN (FG)

NEW RETAINING WALL - DESIGN BY OTHERS - SEE SHEET C2

NTS



<u>PROPERTY ADDRESS</u>	<u>MAPPING</u>
3520 MONTGOMERY BLVD. NE ALBUQUERQUE, NM	ALL PROJECT SURVEYING BY BRASHER & LORENZ, INC. JUNE, 2011
<u>LEGAL DESCRIPTION</u>	<u>PROJECT BENCHMARK</u>
LOT 6, BLOCK10, MONTGOMERY HEIGHTS CITY OF ALBUQUERQUE BERNALILLO COUNTY, NM	ACS MONUMENT "M_6" ELEVATION 5113.206 FEET 1988 NAVD

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

