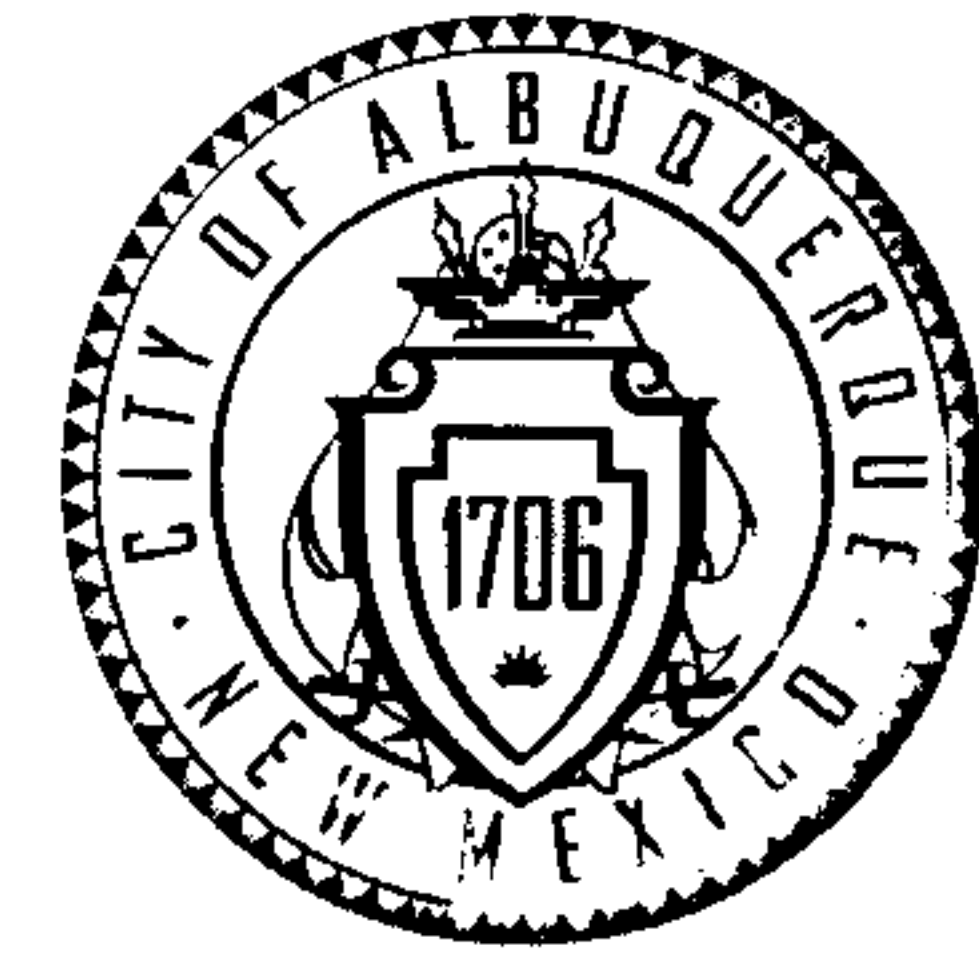


CITY OF ALBUQUERQUE



January 15, 2013

Dennis Lorenz, P.E.
Brasher & Lorrenz, Inc.
2207 San Pedro NE Bldg. 1 Ste. 1200
Albuquerque, NM 87110

**Re: Goodrich Roofing
Grading and Drainage Plan
Engineer's Stamp dated 1-10-13 (G16/D147)**

Dear Mr. Lorrenz,

Based upon the information provided in your submittal received 1-10-13, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the moisture which falls on them. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E., CFM
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: GOODRICH ROOFING ZONE MAP: G-16 6147
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TR N3 AND NORTH 150' TR M, BLOCK N, COLES INDUSTRIAL ADDITION
CITY ADDRESS: 3401 VASSAR DRIVE NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: DENNIS LORENZ
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

Dennis L
@

OWNER: GOODRICH ROOFING CONTACT: JOHN SANCHEZ
ADDRESS: 3401 VASSAR DRIVE NE PHONE: 884-0662
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

ARCHITECT: WESLEY LANDSFORD CONTACT: W. LANDSFORD
ADDRESS: UNKNOWN PHONE: 610-0393
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: HARRIS SURVEYING CONTACT: T. HARRIS
ADDRESS: 2412-D MONROE NE PHONE: 889-8056
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: UNKNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

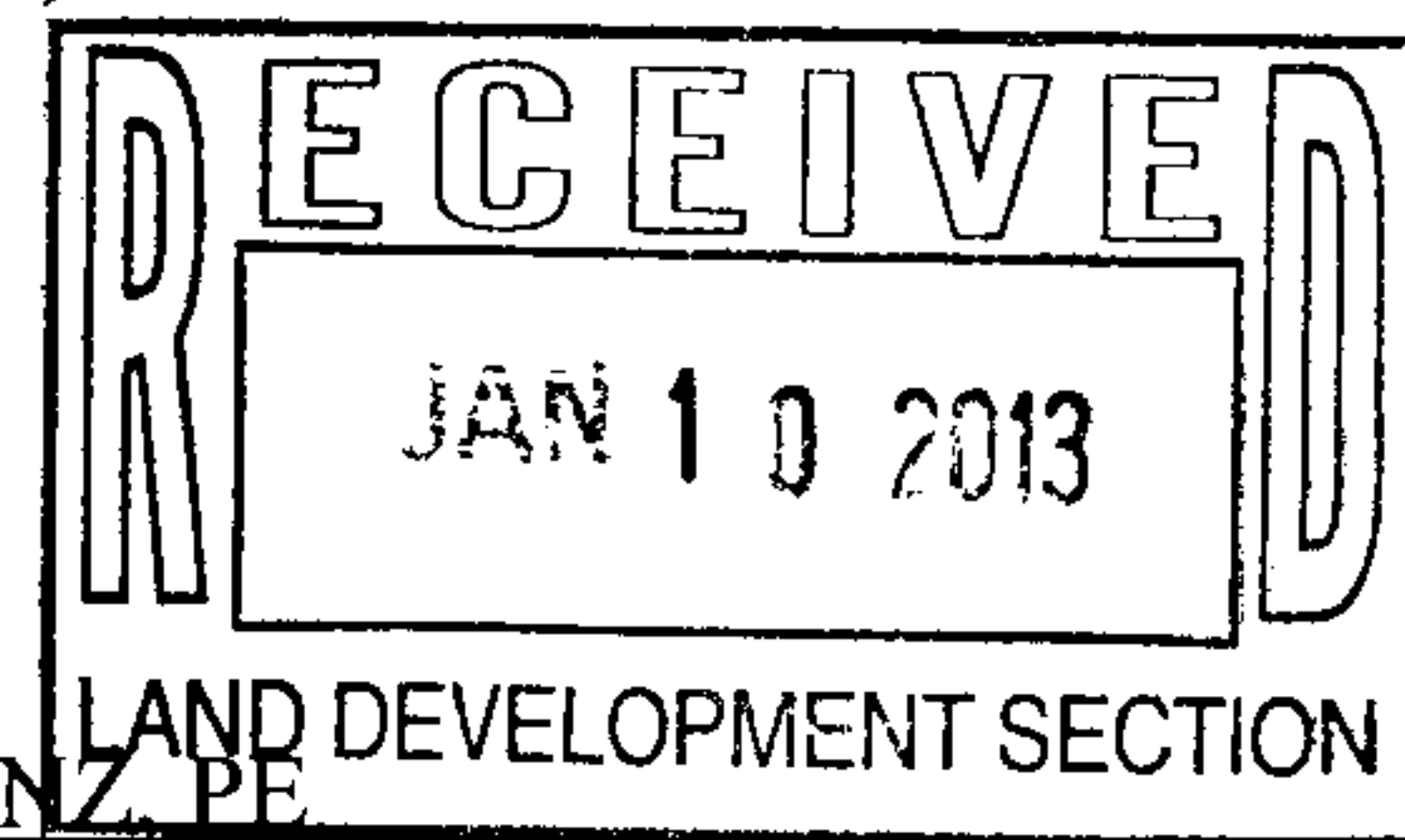
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1-10-13 BY: DENNIS A. LORENZ, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.