

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 25, 2016

Ron Bohannon, PE  
Tierra West, LLC  
5571 Midway Park Pl NE  
Albuquerque, NM 87109

Richard J. Berry, Mayor

**RE: Main Event, Albuquerque Carpenters Training Center (File: G16-D149)**  
**4040 Pan American Freeway NE 87107**  
**Grading Plan and Drainage Plan, Engineer's Stamp Date 5-14-2015**  
**Engineer's Certification Dated 5-19-16 sheet C5 only**

Dear Mr. Bohannon:

Based on the Certification received 5/19/2016, the site is acceptable for a TEMPORARY 30-day Certificate of Occupancy by Hydrology.

The grading plan that was approved showed two developed lots, with the northern lot draining to the southern lot. The southern lot has not been developed. Since the entire development was intended to be phased, there should have been an "interim" grading plan submitted and approved. The correct procedure is to have the engineer submit an interim grading plan for approval and then have that plan certified. In the future, provide an interim plan if the project is to be phased.

Prior to permanent C.O. the following improvements must be complete:

1. Drainage Plan, Sheet C6 must be Certified. All private Storm Drain improvements must be as-built and certified on this sheet.
2. Permanent ponds must be as-built and certified. Additionally, the interim sediment ponds that were to be built around the inlets on the undeveloped lot must also be certified. Curb-cuts need to be also shown on the as-built.
3. The Work-order for the Public Storm Drain has punch list items. Either the work-order must be accepted, or the punch list items completed:
  - Grout I-beam at modified double "D" inlet on Vassar Dr
  - Clip corner of concrete SD collar and remove excess concrete from SDMH at NW corner of site.
  - Grout MH barrel joints at NW corner of site.

*Noted: Storm drain video is under review by Jason. Additional punchlist items may be determined upon review.*

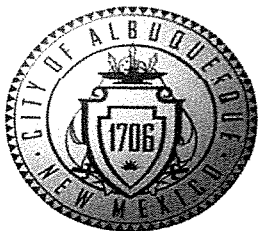
If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita P.H.", with a long horizontal line extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf recipient , Jon Niski



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** MAIN EVENT ENTERTAINMENT CENTER **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** 1006865 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOTS 2-A AND 2-B SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER  
**City Address:** 4040 PAN AMERICAN FREEWAY NE ALBUQUERQUE, NM 87017

**Engineering Firm:** TIERRA WEST LLC **Contact:** JON NISKI  
**Address:** 5571 Midway Park Place NE Albuquerque, NM 87109  
**Phone#:** 505 858-3100 **Fax#:** \_\_\_\_\_ **E-mail:** jniski@tierrawestllc.com

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

\_\_\_\_ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
\_\_\_\_ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

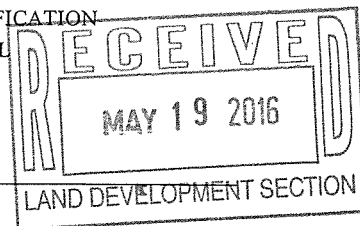
☒ ENGINEER/ ARCHITECT CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: \_\_\_\_ Yes \_\_\_\_ No

**DATE SUBMITTED:** 5/19/16 **By:** BF for RRB

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

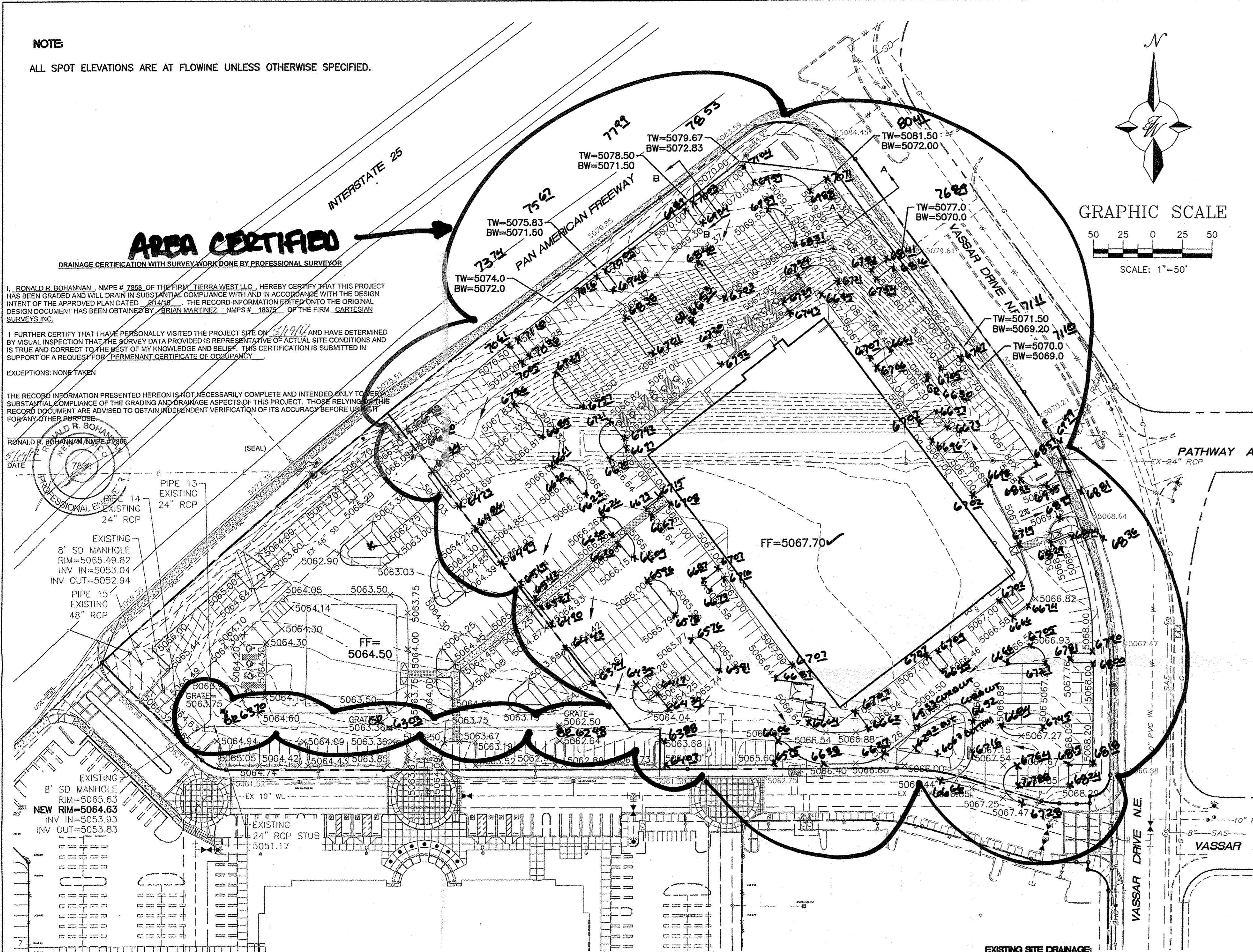
\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ PRE-DESIGN MEETING  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

**NOTE:**

ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE SPECIFIED.

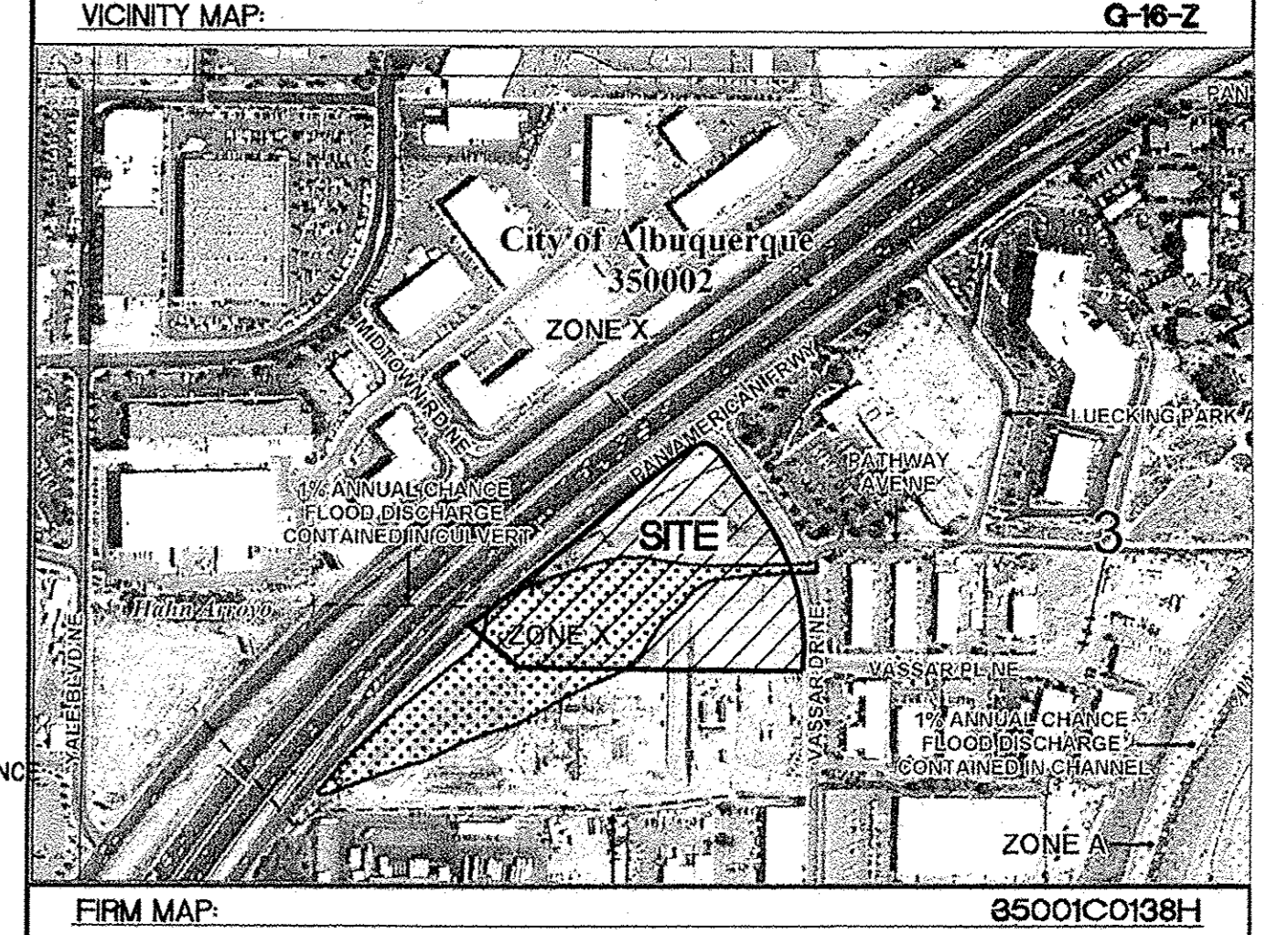
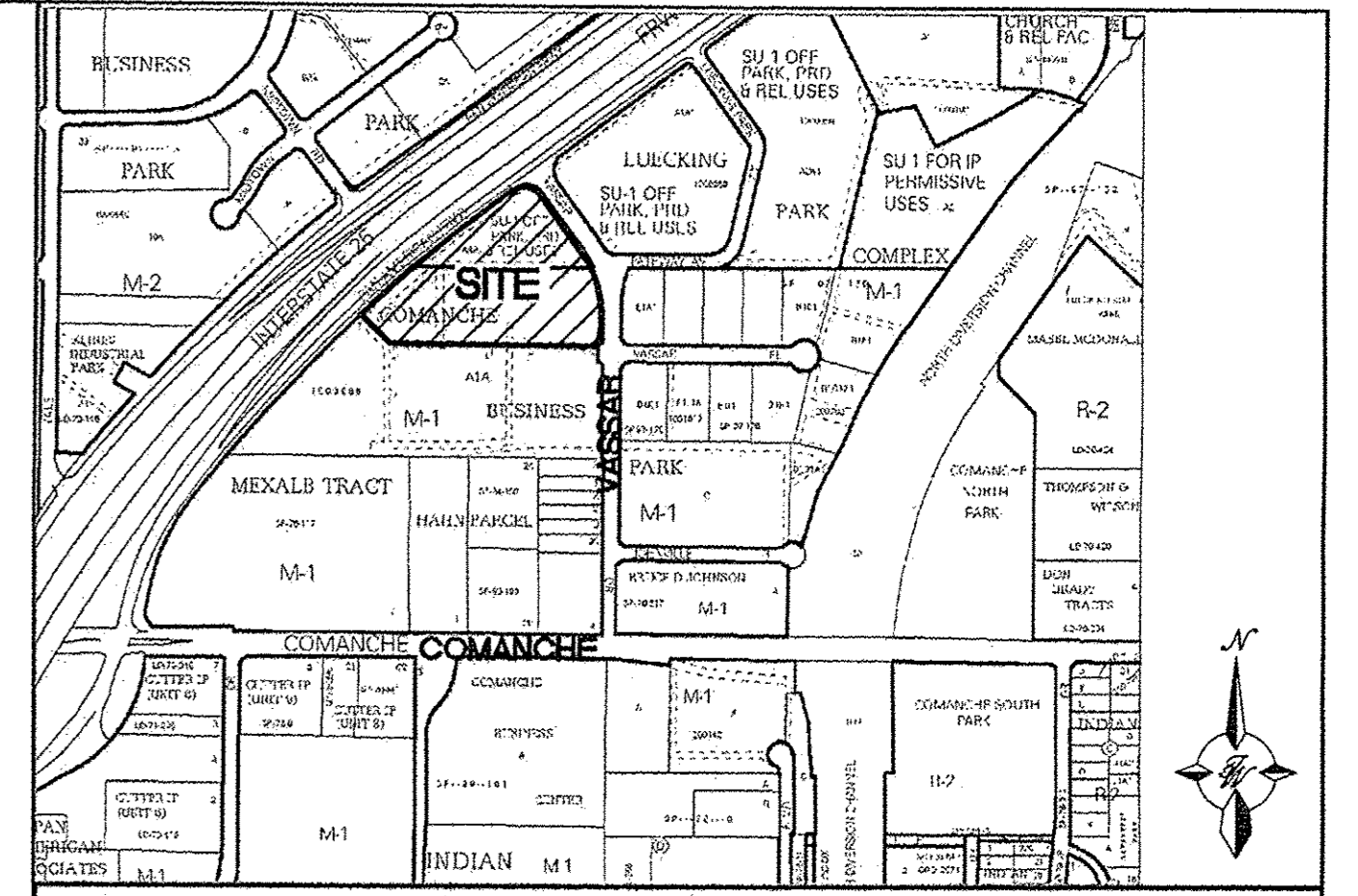


**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 --- CONTOUR MAJOR
- 5011 --- CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 --- EXISTING CONTOUR MAJOR
- 5011 --- EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



**PROPOSED SITE DRAINAGE**

THIS SITE WILL BE DEVELOPED WITH A ENTERTAINMENT/RESTAURANT BUILDING ON THE PAD ALONG VASSAR DRIVE AND A FUTURE RESTAURANT PAD SITE ALONG THE PAN AMERICAN FREEWAY. THE TEMPORARY RETENTION POND WILL BE ELIMINATED AND THE EXISTING 42-INCH PUBLIC STORM SEWER WILL BE RETROFITTED AND CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER DEVELOPMENT (G16/D145). THE SITE WILL UTILIZE LOW IMPACT DEVELOPMENT (LID) WHERE POSSIBLE ALLOWING SURFACE STORM WATER TO FLOW THROUGH LANDSCAPED AREAS PRIOR TO DISCHARGING TO THE STORM SEWER. THERE ARE SEVEN PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP ON SHEET C6.

BASIN A CONSISTS OF THE BUILDING WITH ALL OF THE ROOF DRAINAGE FLOWING TO THE BACK OF THE BUILDING AND CONVEYED TO THE PARKING LOT VIA EXTERNAL ROOF DRAINS. THESE FLOWS ALONG WITH THE PARKING LOT FLOWS WILL DRAIN TO A LANDSCAPED PONDING AREA WITH A STAND PIPE SO THAT TRASH AND SEDIMENT CAN BE CAPTURED PRIOR TO THE STORM WATER ENTERING A STORM SEWER SYSTEM. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 8.62 CFS.

BASIN B CONSISTS OF THE SOUTHWEST PARKING LOT WHERE SURFACE STORM WATER WILL BE ROUTED THROUGH LANDSCAPING PRIOR TO DISCHARGING TO A DROP INLET AT A 100-YEAR PEAK FLOW OF 5.11 CFS.

BASIN C CONSISTS OF A PART OF THE FUTURE RESTAURANT PAD. THIS BASIN WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.54 CFS AND WILL DISCHARGE INTO A DROP INLET.

BASIN D CONSISTS OF A PORTION OF THE FUTURE RESTAURANT PAD AND WILL GENERATE A DEVELOPED 100-YEAR PEAK FLOW OF 1.46 CFS WHICH DISCHARGES INTO A DROP INLET.

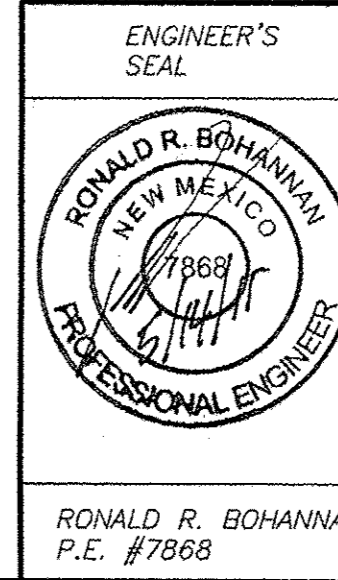
BASIN E CONSISTS OF A PARKING LOT WHERE THE TEMPORARY RETENTION POND IS BEING RECLAIMED. AN EXISTING 42-INCH PUBLIC STORM SEWER (93.4 CFS) ENTERS THIS BASIN FROM THE WEST AND WILL BE REALIGNED TO THE NORTH TO INTERCEPT AN EXISTING PUBLIC 24-INCH STORM SEWER (24.5 CFS) THAT ENTERS THE SITE FROM THE NORTH. THIS BASIN WILL GENERATE A 100-YEAR PEAK FLOW OF 3.45 CFS AND DISCHARGE TO A DROP INLET CONNECTED TO THE 42-INCH STORM SEWER.

BASIN F CONSISTS OF A PARKING LOT GENERATING A 100-YEAR PEAK FLOW OF 3.44 CFS WHICH DISCHARGES TO A DROP INLET.

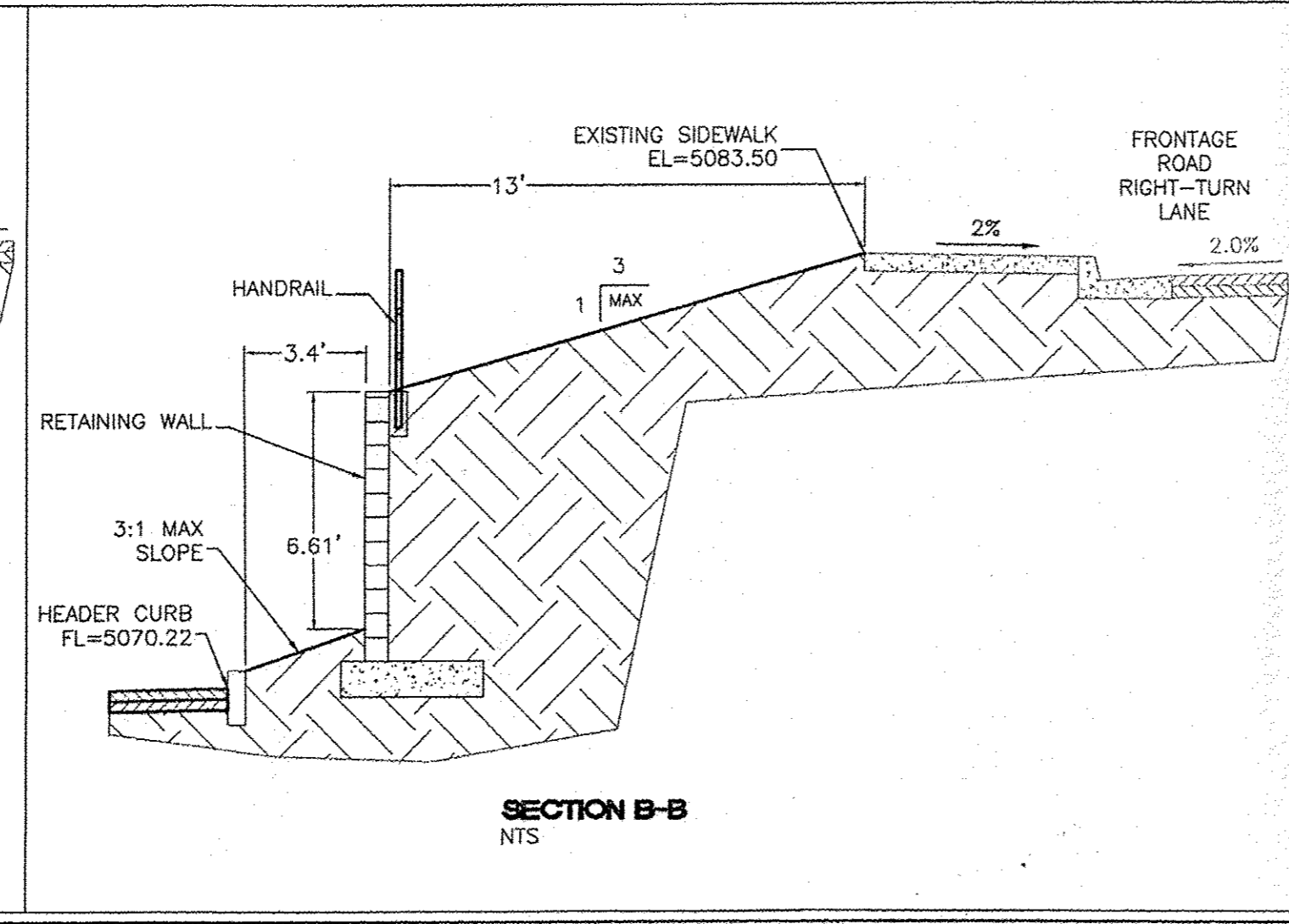
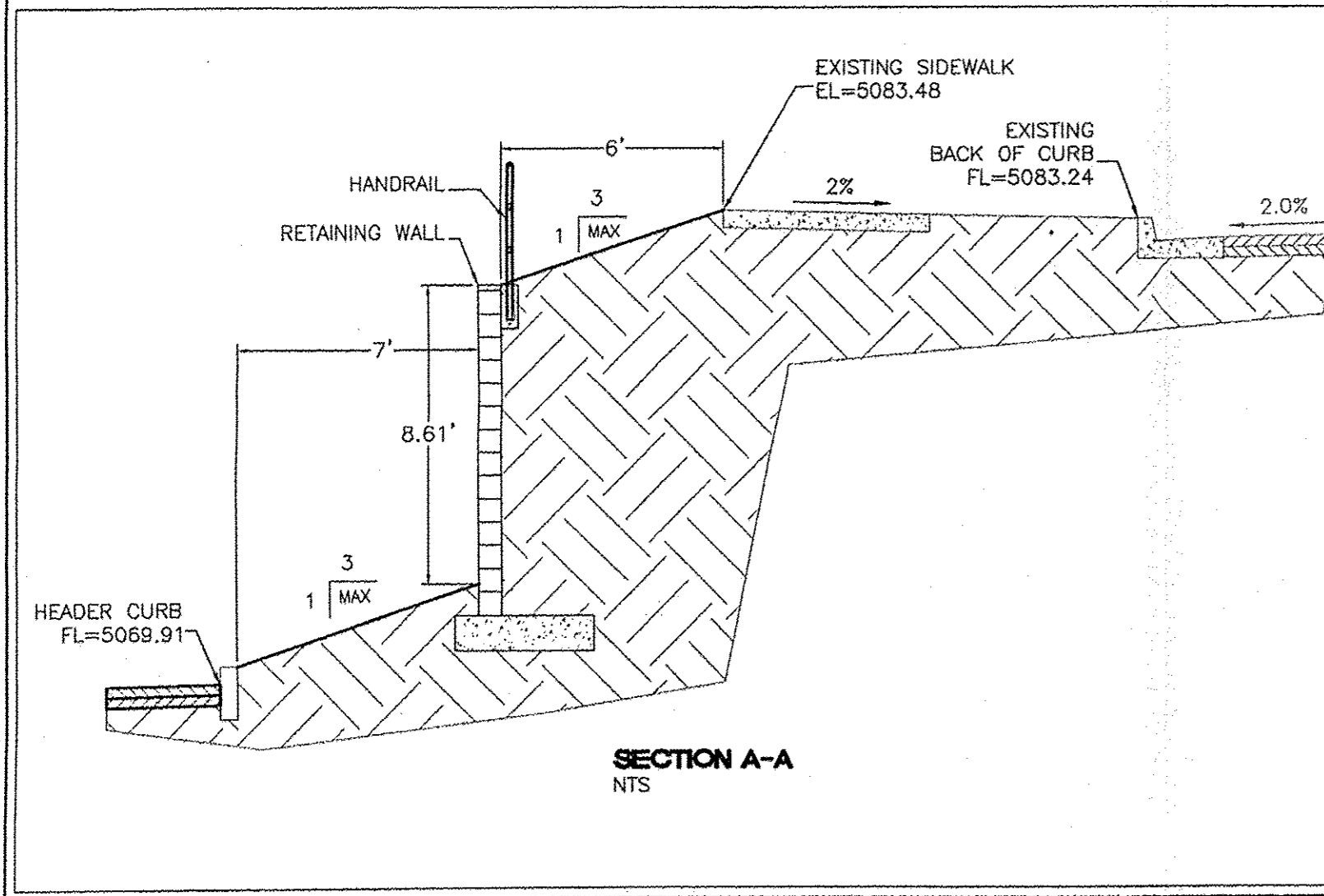
BASIN G CONSISTS OF A PARKING LOT AND THE REMAINING PORTION OF THE FUTURE RESTAURANT PAD. THE REALIGNED 42-INCH PUBLIC STORM SEWER WILL BE CONNECTED TO AN EXISTING 48-INCH PUBLIC STORM SEWER THAT WAS DESIGNED TO CONTAIN ALL OF THE DEVELOPED FLOW FROM THIS PROPERTY AS WELL AS FROM THE PATHWAY OFFICE PARK. THIS BASIN GENERATES A 100-YEAR PEAK FLOW OF 6.25 CFS.

ALL OF THE STORM SEWER CONSTRUCTED WITH THIS PROJECT WILL BE CONNECTED TO AN EXISTING 48-INCH STORM SEWER CONSTRUCTED WITH THE CARPENTERS TRAINING CENTER PROJECT. THE PREVIOUSLY APPROVED DRAINAGE REPORT FOR CARPENTERS CENTER ESTIMATED A TOTAL DEVELOPED DISCHARGE THROUGH THAT PIPE OF 159.55 CFS. THIS PROJECT WILL GENERATE A TOTAL DEVELOPED 100-YEAR FLOW OF 29.88 CFS AND COMBINED WITH THE 117.9 CFS FROM THE PATHWAY OFFICE PARK DEVELOPMENT WILL DISCHARGE A 100-YEAR FLOW OF 147.79 CFS WHICH IS LESS THAN THE 159.55 CFS PREVIOUSLY APPROVED. THE PROPOSED STORM SEWER WAS ANALYZED USING STORMCAD AND A PROFILE IS PROVIDED ON SHEET C6. AS SHOWN IN THAT PROFILE THE HGL FOR THE SYSTEM STAYS WELL WITHIN THE STORM SEWER.

IN ORDER TO MEET THE FIRST FLUSH REQUIREMENTS STORM WATER WILL BE ROUTED THROUGH LANDSCAPED AREAS WHERE POSSIBLE. THERE ARE SMALL RETENTION PONDS LOCATED IN BASINS A, B AND G TO RETAIN THE REQUIRED VOLUME BASED ON THE CALCULATIONS SHOWN SHEET C6.



MAIN EVENT		DRAWN BY
PAN AM FREEWAY AND VASSAR AV.		BJF
GRADING PLAN		DATE
		05/14/15
		2015015-GRB
		SHEET #
<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		<b>C5</b>
		JOB #
		2015015



**EXISTING SITE DRAINAGE**

THE 6.82 ACRE SITE IS LOCATED AT THE SOUTHEAST CORNER OF PAN AMERICAN FREEWAY AND VASSAR DRIVE NE. THE SITE IS BOUNDED ON THE NORTH AND WEST BY PAN AMERICAN FREEWAY, ON THE EAST BY VASSAR DRIVE NE AND ON THE SOUTH BY AN INDUSTRIAL/MANUFACTURING DEVELOPMENT.

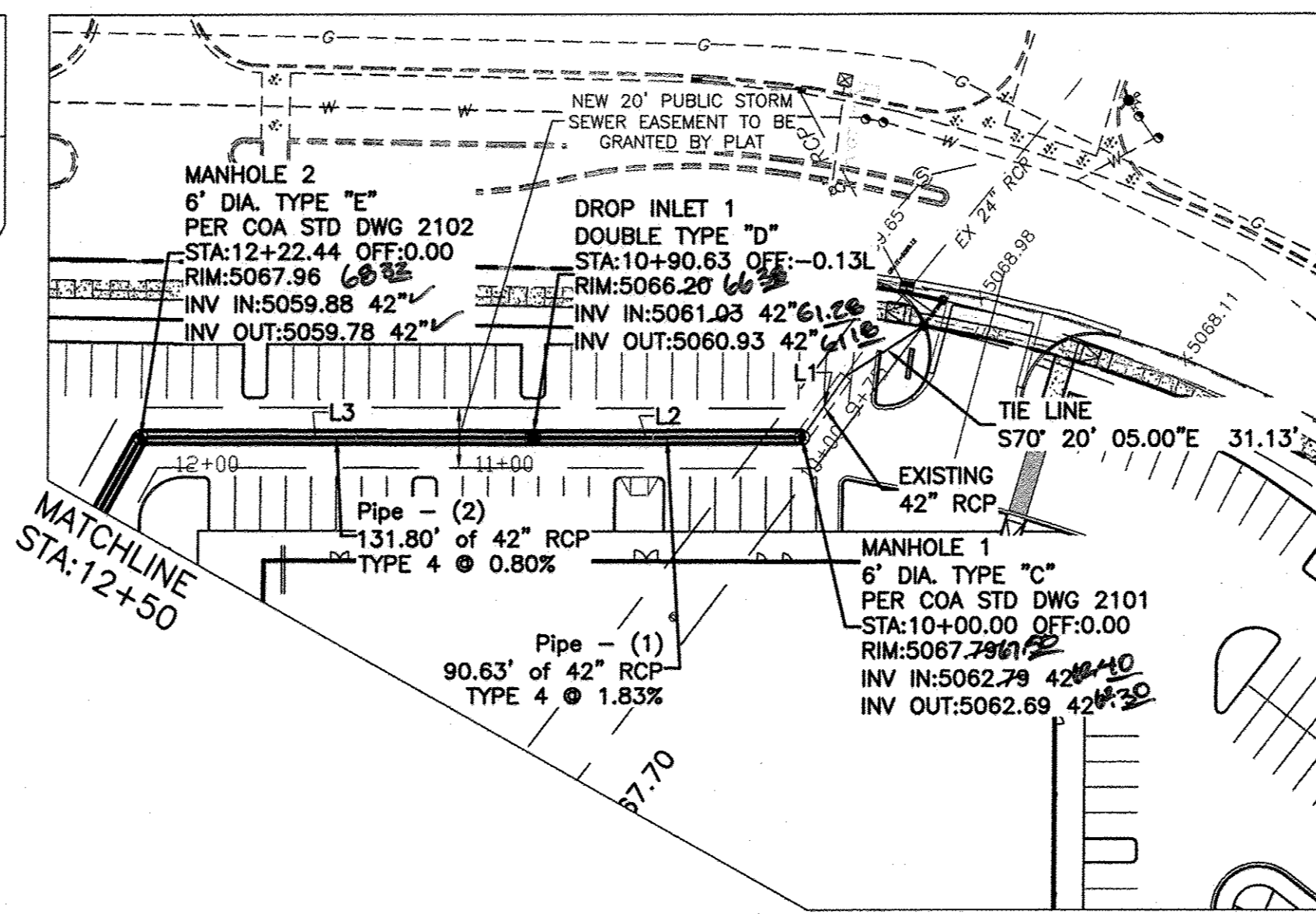
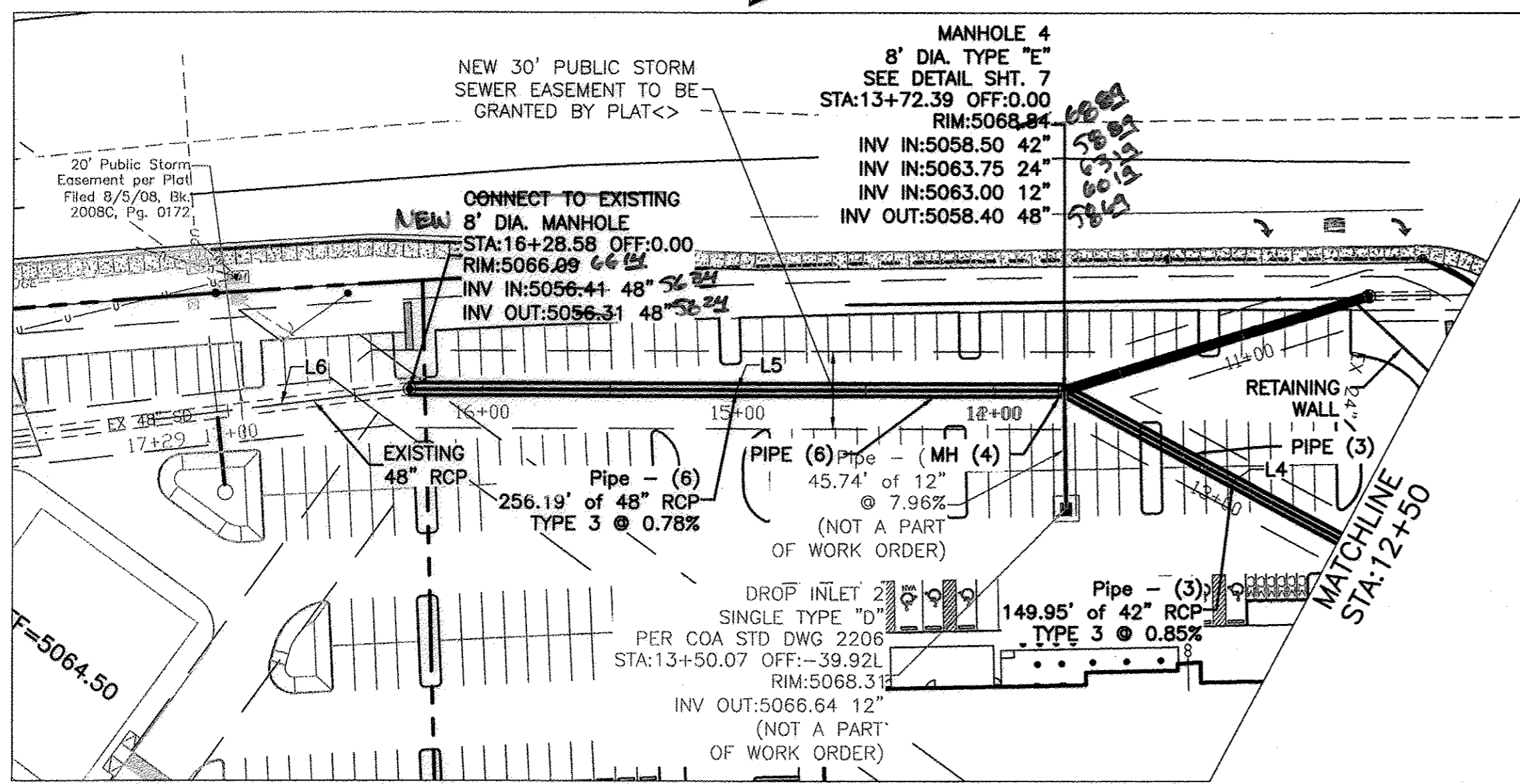
THE SITE IS CURRENTLY VACANT WITH ONE THIRD OF THE PROPERTY BEING A TEMPORARY RETENTION POND FOR THE PATHWAY OFFICE PARK (G16/D114) AND THE REMAINING TWO THIRDS DRAINING FROM EAST TO WEST TO A TEMPORARY DESILTING POND AND STORM SEWER INLET WHERE THE WATER IS THEN CONVEYED BY STORM SEWER AND OPEN CHANNEL TO THE GRIEGOS POND THAT WAS CONSTRUCTED WITH SAD 216.

THERE ARE OFF-SITE FLOWS ENTERING THE POND FROM THE PATHWAY OFFICE PARK DEVELOPMENT AS WELL AS MINIMAL FLOWS FROM THE PAN AMERICAN FREEWAY. THIS SITE IS LOCATED IN A SHADED "X" ZONE AS SHOWN ON FIRM MAP #35001C0138H.

BASED ON THE APPROVED DRAINAGE REPORT FOR THE CARPENTERS TRAINING CENTER (G16/D145) THIS PROJECT MAY DISCHARGE A TOTAL OF 159.55 CFS WHICH TAKES INTO ACCOUNT ALL OF THE STORM WATER ENTERING THE TEMPORARY RETENTION POND AS WELL AS FLOWS FROM INTERSTATE 25. PLEASE SEE THE BASIN MAP ON SHEET C6 FOR ALL OF THE BASINS DRAINING THROUGH THE PIPE UNDER INTERSTATE 25. THE INFORMATION PERTAINING TO THE AMOUNT OF DISCHARGE ALLOWED FROM THIS PARCEL IS DETAILED ON PAGE 12 OF THE CARPENTERS TRAINING CENTER REPORT. ALL OF THE FLOWS WILL PASS THROUGH AN EXISTING 48" RCP UNDER INTERSTATE 25 WHICH HAS A CAPACITY FOR 161 CFS. THIS PIPE DAYLIGHTS INTO A PONDING AREA WEST OF THE INTERSTATE AND EVENTUALLY DRAINS INTO THE GRIEGOS POND.

THE TEMPORARY RETENTION POND RECEIVES 24.5 CFS FROM A STORM SEWER THAT RUNS ALONG INTERSTATE 25 AND ANOTHER 93.4 CFS FROM THE STORM SEWER IN VASSAR DRIVE. ONCE A CONNECTION IS MADE BETWEEN THOSE STORM SEWERS AND THE ONE UNDER INTERSTATE 25 THE POND MAY BE RECLAIMED FOR DEVELOPMENT.

THE CARPENTERS TRAINING CENTER REPORT SHOWS A HIGHER FLOW RATE (159.55 CFS) THAN THE SAD 216 REPORT (101 CFS) DUE TO USING THE RAW BASIN DRAINAGE NUMBERS WITHOUT ROUTING THEM ALONG WITH A CHANGE IN THE PERCENTAGE OF LAND TREATMENTS FROM 15% "A", 15% "B", 70% "D" TO 20% "B" AND 80% "D". THE INCREASE IN FLOW PROVIDES A MORE CONSERVATIVE FLOW AMOUNT TO ENSURE ALL OF THE DOWNSTREAM DRAINAGE FACILITIES HAVE CAPACITY FOR THE UPLAND FLOWS AS IDENTIFIED IN SAD 216. THE CHANGE IN LAND TREATMENT NUMBERS DID INCREASE THE VOLUME GENERATED FROM THIS AREA AND THAT IS CAPTURED IN A PONDING AREA BETWEEN INTERSTATE 25 AND YALE BOULEVARD AS DISCUSSED ON PAGE 12 OF THE CARPENTERS TRAINING CENTER DRAINAGE REPORT.



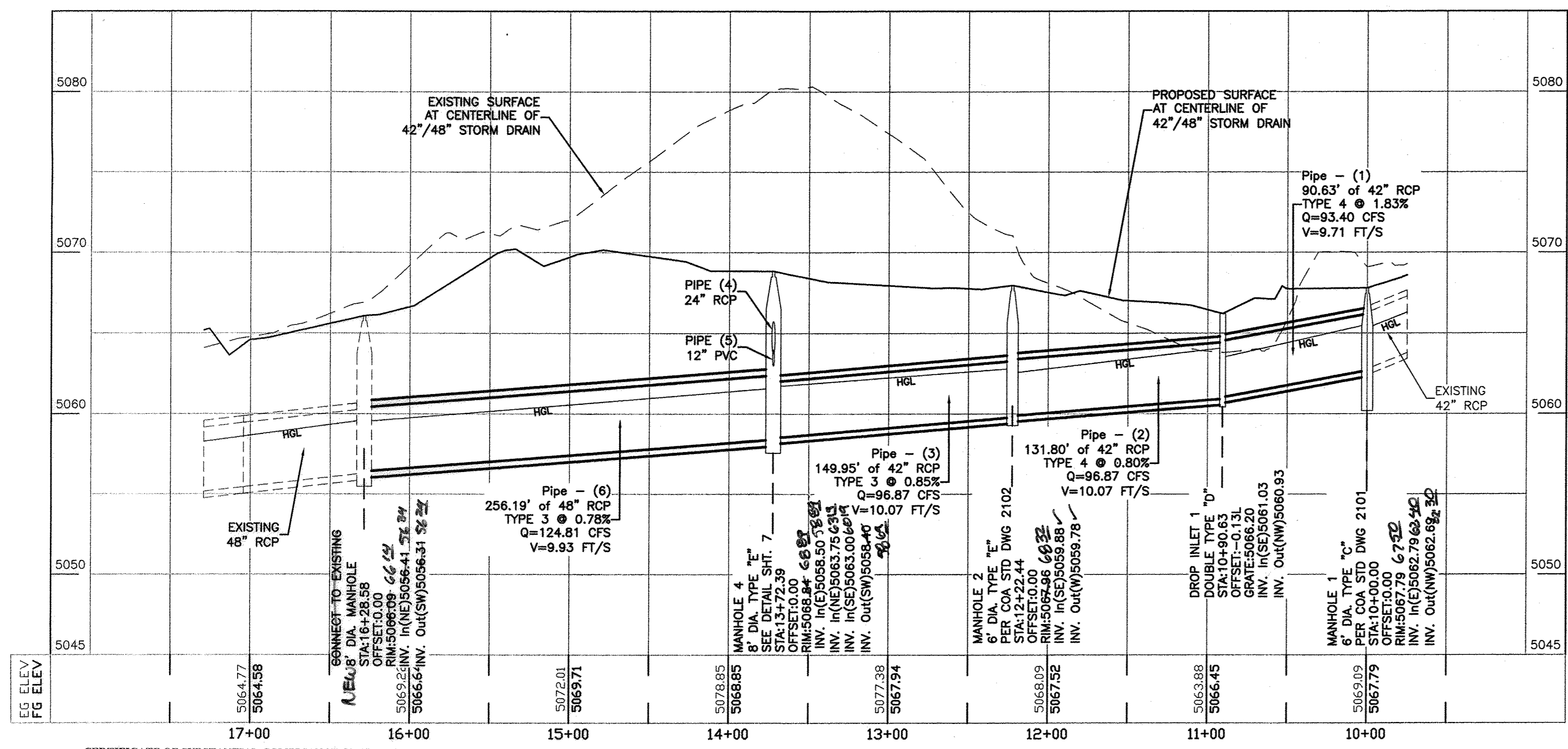
**STORM DRAIN 1  
ALIGNMENT LINE TABLE**

Line #	Length	Direction
L1	25.000	S88° 11' 27.15"W
L2	104.804	N37° 29' 38.08"W
L3	117.634	N37° 25' 35.02"W
L4	149.951	S81° 50' 28.58"W
L5	256.190	S53° 51' 04.23"W
L6	100.666	S47° 01' 00.90"W

NOTE:  
CENTERLINE OF STORM DRAIN IS  
BASIS OF STATIONING.

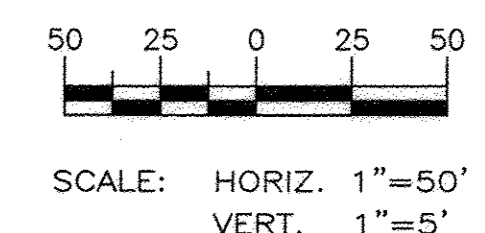
**LEGEND**

=====	EXISTING CURB & GUTTER
----	BOUNDARY LINE
----	EASEMENT
=====	PROPOSED SCREEN WALL
=====	PROPOSED RETAINING WALL
=====	PROPOSED SIDEWALK
○	EXISTING SD MANHOLE
○	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING FIRE HYDRANT
○	EXISTING WATER METER
○	EXISTING POWER POLE
○	EXISTING GAS VALVE
○	PROPOSED CLEAN OUT
○	PROPOSED DOUBLE CLEAN OUT
---	EXISTING GAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATERLINE
---	JOINT UTILITY TRENCH
---	TRANSFORMER
○	BOLLARD



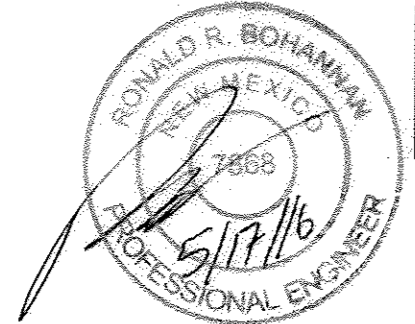
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACK FILL COMPACTION SHALL BE ACCORDING TO ABCWUA TRENCH DETAIL
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GENERAL NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH C.O.A. STANDARDS AND SPECIFICATIONS LATEST EDITION.
  - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
  - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED. BACKFLOW PREVENTOR TO BE INSTALLED INSIDE OF BUILDING.
  - ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
  - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

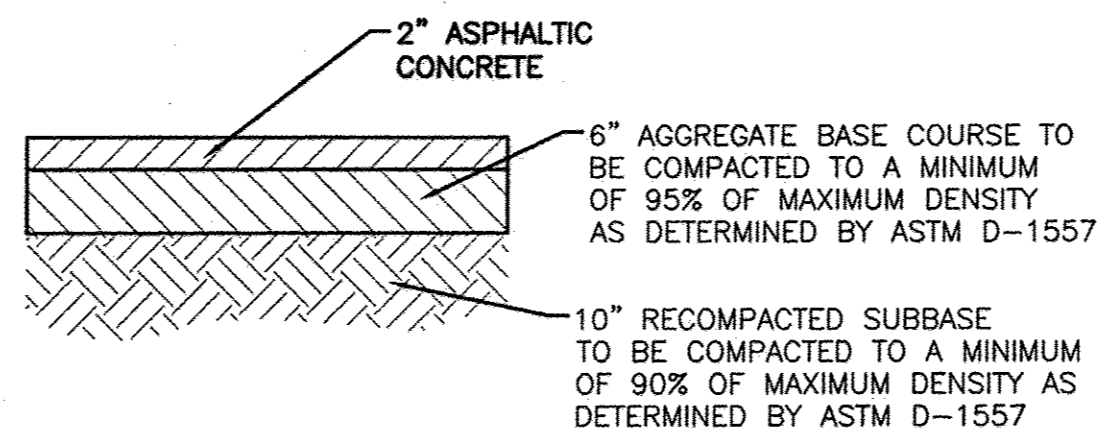


**CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS**

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of \_Cartesian Surveys, Inc., NMP# number 18374



Engineer's Seal & Signature

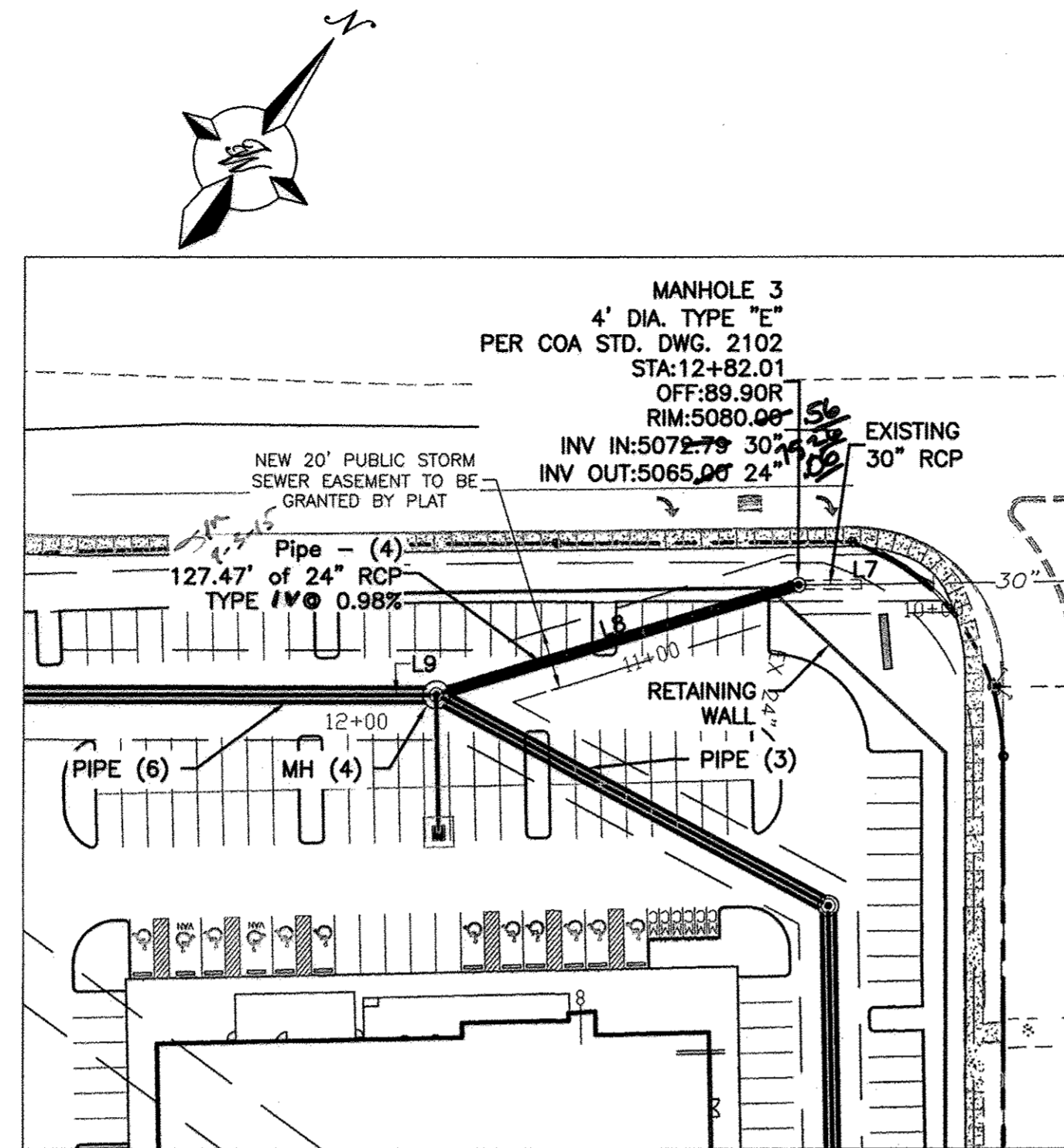


**DRIVE AISLE/PARKING PAVING SECTION**  
OR 3.5" ASPHALT OVER NATIVE

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

<p><b>AS BUILT INFORMATION</b></p> <p>CONTRACTOR: <u>Tierra West LLC</u> DATE: <u>06/17/2015</u></p> <p>WORK: <u>ONSITE STORM DRAIN IMPROVEMENTS</u> DATE: <u>06/17/2015</u></p> <p>STARTED BY: <u>Brian Martinez</u> ACCEPTED BY: <u>Ronald R. Bohannon</u></p> <p>FIELD NOTES BY: <u>Tierra West LLC</u> DATE: <u>06/17/2015</u></p> <p>FIELD LOCATION BY: <u>Tierra West LLC</u> DATE: <u>06/17/2015</u></p> <p>DRAWINGS CORRECTED BY: <u>Tierra West LLC</u> DATE: <u>06/17/2015</u></p> <p>RECORDED BY: <u>Ronald R. Bohannon</u> DATE: <u>06/17/2015</u></p> <p>NO. <u>18374</u></p>		<p><b>BENCH MARKS</b></p> <p>M. 6</p> <p>CENTRAL STATION DATA</p> <p>NM STATE PLANE COORDINATES</p> <p>CENTRAL ZONE (NAD 83)</p> <p>X=503015.185</p> <p>Y=1533745.184</p> <p>G-G=0.999672339</p> <p>D=071219.10"</p> <p>Elev=5113.206 (NAVD 1988)</p>	
<p><b>SURVEY INFORMATION</b></p> <p>FIELD NOTES</p> <p>NO. <u>18374</u></p> <p>DATE <u>06/17/2015</u></p> <p>BY <u>Ronald R. Bohannon</u></p>		<p><b>ENGINEER'S SEAL</b></p> <p>RONALD R. BOHANNON</p> <p>NEW MEXICO</p> <p>PROFESSIONAL ENGINEER</p> <p>NO. <u>7868</u></p>	
<p><b>REVISIONS</b></p> <p>DESIGN</p> <p>NO. <u>1</u> DATE <u>06/17/2015</u></p> <p>BY <u>Brian Martinez</u></p> <p>REMARKS <u>ONSITE STORM DRAIN IMPROVEMENTS</u></p>		<p><b>DESIGNED BY: JN</b> DATE: <u>06/17/2015</u></p> <p><b>DRAWN BY: BJF</b> DATE: <u>06/17/2015</u></p> <p><b>DRAWING NAME:</b> 2015015-02-ONSITE-SD</p> <p><b>CHECKED BY: JN</b> DATE: <u>06/17/2015</u></p>	
<p><b>CITY OF ALBUQUERQUE</b></p> <p><b>PUBLIC WORKS</b></p> <p><b>ENGINEERING GROUP</b></p> <p>TITLE: <u>ONSITE STORM DRAIN IMPROVEMENTS</u></p> <p>STA: <u>10+00.00 TO 19+00.00</u></p>			
<p>DESIGN REVIEW COMMITTEE</p> <p>APPROVED</p> <p>SEP 04 2015</p>		<p>CITY ENGINEER APPROVAL</p> <p>APPROVED</p> <p>OCT 06 2015</p>	
<p>LAST DESIGN UPDATE</p> <p>MO./DAY/YR.</p>		<p>MO./DAY/YR.</p>	
<p>CITY PROJECT NO. <u>733182</u></p>		<p>ZONE MAP NO. <u>G-16-Z</u></p>	
<p>SHEET <u>6</u> OF <u>8</u></p>		<p>SHEET <u>6</u> OF <u>8</u></p>	



STORM DRAIN 1 ALIGNMENT LINE TABLE		
Line #	Length	Direction
L7	45.503	S53° 11' 01.64"W
L9	26.916	S53° 51' 04.23"W
L8	127.470	S36° 59' 35.82"W

NOTE:  
CENTERLINE OF STORM DRAIN IS  
BASIS OF STATIONING.

**CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS**

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of Cartesian Surveys, Inc., NMPS number 18374.



Engineer's Seal  
& Signature

- |  |                              |
|--|------------------------------|
|  | EXISTING CURB & GUTTER       |
|  | BOUNDARY LINE                |
|  | EASEMENT                     |
|  | PROPOSED SCREEN WALL         |
|  | PROPOSED RETAINING WALL      |
|  | PROPOSED SIDEWALK            |
|  | EXISTING SD MANHOLE          |
|  | EXISTING INLET               |
|  | EXISTING SAS MANHOLE         |
|  | EXISTING FIRE HYDRANT        |
|  | EXISTING WATER METER         |
|  | EXISTING POWER POLE          |
|  | EXISTING GAS VALVE           |
|  | PROPOSED CLEAN OUT           |
|  | PROPOSED DOUBLE CLEAN OUT    |
|  | EXISTING GAS                 |
|  | EXISTING SANITARY SEWER LINE |
|  | EXISTING WATER LINE          |
|  | EXISTING STORM SEWER LINE    |
|  | PROPOSED SANITARY SEWER LINE |
|  | PROPOSED FIRE HYDRANT        |
|  | PROPOSED WATERLINE           |
|  | JOINT UTILITY TRENCH         |
|  | TRANSFORMER                  |
|  | BOLLARD                      |

[illegible]

## NOTICE TO CONTRACTORS

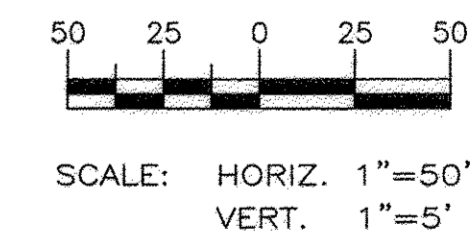
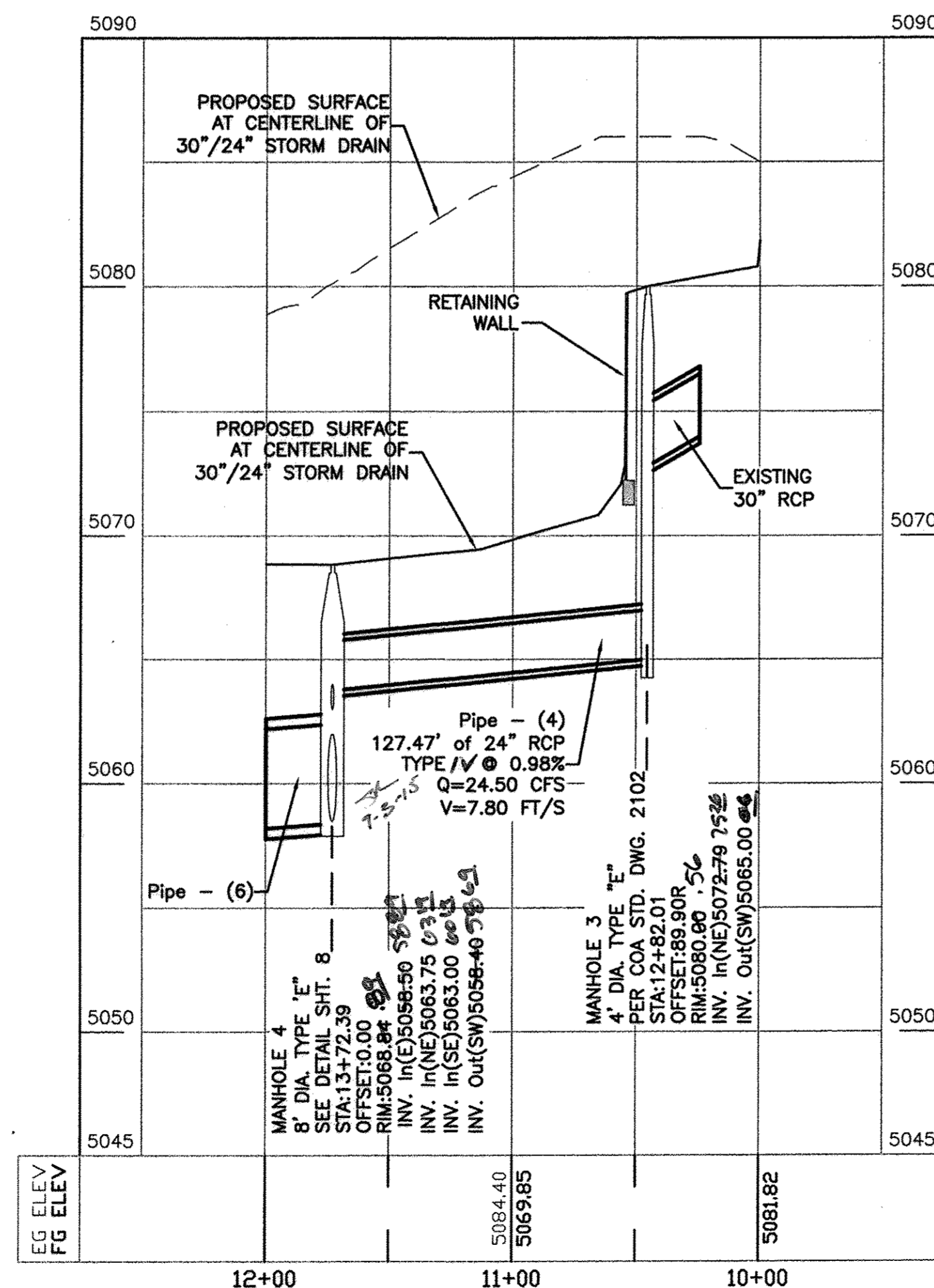
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO ABCWUA TRENCH DETAIL SPECIFICATIONS.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



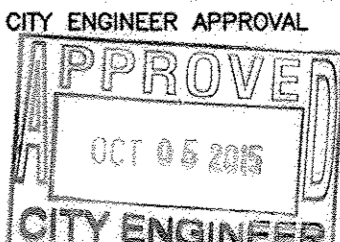
GENERAL NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH C.O.A. STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED. BACKFLOW PREVENTOR TO BE INSTALLED INSIDE OF BUILDING.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 <a href="http://www.tierrowestllc.com">www.tierrowestllc.com</a>					NO.	DATE	DESIGNED BY	DRAWN BY: E	DRAWING NAME	CHECKED BY
<p align="center"><b>CITY OF ALBUQUERQUE</b></p> <p align="center">PUBLIC WORKS</p> <p align="center">ENGINEERING GROUP</p>										
TITLE: <p align="center"><b>MAIN EVENT</b></p> <p align="center">ONSITE STORM DRAIN IMPROVEMENTS</p> <p align="center">STA: 10+00.00 TO 19+00.00</p>										
DESIGN REVIEW COMMITTEE 		CITY ENGINEER APPROVAL 		LAST DESIGN UPDATE 		MO./DAY/YR. 		MO./DAY/YR. 		
CITY PROJECT NO. 733182		ZONE MAP NO. G-16-Z		SHEET 7		OF 8				