

CITY OF ALBUQUERQUE



May 24, 2016

Jon Niski
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Main Event Entertainment Center
4040 Pan American Freeway NE
Request for Certificate of Occupancy- Transportation Development
DRB Approval dated 8-31-15 (G16-D149)
Certification dated 5-19-16**

Dear Mr. Niski,

Based upon the information provided in your submittal received 5-19-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: MAIN EVENT ENTERTAINMENT CENTER Building Permit #: _____ City Drainage #: 616D149
DRB#: 1006865 EPC#: _____ Work Order#: _____
Legal Description: LOTS 2-A AND 2-B SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER
City Address: 4040 PAN AMERICAN FREEWAY NE ALBUQUERQUE, NM 87017

Engineering Firm: TIERRA WEST LLC Contact: JON NISKI
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505 858-3100 Fax#: _____ E-mail: jniski@tierrawestllc.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 5/19/16 By: BF for RRB

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

gaw

TIERRA WEST, LLC

May 19, 2016

Ms. Racquel Michel, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT CERTIFICATION
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
MAIN EVENT ENTERTAINMENT, 4040 PAN AMERICAN FWY NE 87107**

Dear Ms. Michel:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on May 19, 2016 and is in accordance with the design intent of the Approved Site Plan for Building Permit dated 5/14/15. This certification is submitted in support of the request for Permanent Certificate of Occupancy for the completed building.

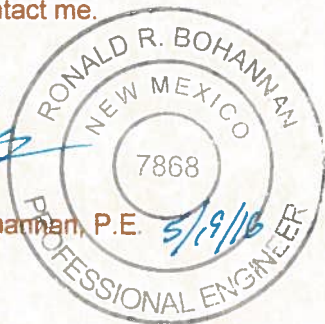
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Site Plan for Building Permit. Therefore, we request approval of the as-built Site Plan for Building Permit for a Permanent Certificate of Occupancy for the completed buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.



Enclosure/s

JN: 2015015
RRB/JN/bf

Z:\2015\2015015 - Main Event\Site Plan Cert\2015015 Racquel Michel Perm CO Letter 5-19-16 doc

5571 Midway Park Place NE
Albuquerque, NM 87109
(505) 858-3100
Fax (505) 858-1118
tierrawestllc.com

AREA CERTIFIED

NOTE: ADA PARKING WAS SHIFTED 2 SPACES TO THE EAST USING SAME LAYOUT

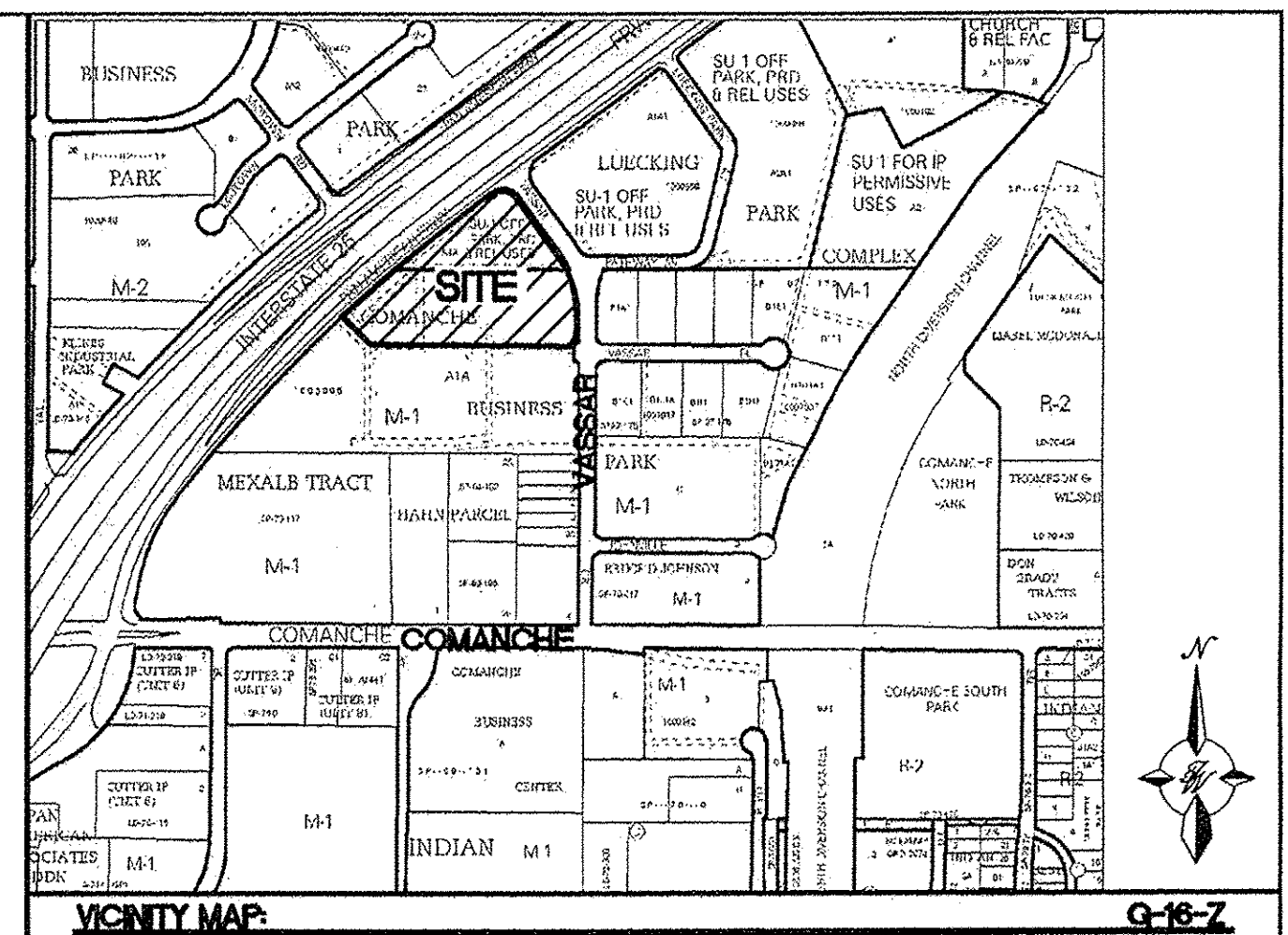
SITE LEGEND

- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHEET C16)
- 6' EXISTING SIDEWALK
- 6' PEDESTRIAN CROSSWALK (SEE DETAIL SHEET C17)
- 6' PEDESTRIAN SIDEWALK
- ZERO CURB (ADA PARKING AREA)
- PARKING LOT LIGHTING
- 4 TO 8 FT. RETAINING WALL (SEE DETAIL SHEET C15)
- VALLEY GUTTER (PER COA STD DWG 2420)
- TYPE "A" CURB AND GUTTER (SEE DETAIL SHEET C17)
- DOUBLE DUMPSTER (SEE DETAILS SHEET C16)
- STOP SIGN
- MOTORCYCLE PARKING
- MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C16)
- 7 SPACE BIKE RACK (SEE DETAIL SHEET C16)
- EXISTING ADA RAMP
- EXISTING BILLBOARD
- WHEEL STOP (SEE DETAIL SHEET C16)
- FREE STANDING SIGN (SEE SHEET C14 ITEM "H")
- 1 FT. CURB CUT (SEE LANDSCAPE ISLAND WATER HARVESTING DETAIL SH1 C15)
- TRANSFORMER
- MONUMENT SIGN (SEE SHEET C14 ITEM "T")
- DIRECTIONAL SIGN (SEE SHEET C14 ITEM "O")
- PEDESTRIAN LIGHT BOLLARD

SITE DATA

LOT 2-B	PROPOSED USAGE:	ENTERTAINMENT (BOWLING LANES, GAMES, DINING)
LOT AREA:	5.03 ACRE	
BUILDING AREA:	49,810 SF	
PARKING REQUIRED:	41,882	
22 BOWLING LANES X 4=	88 SPACES	
181 PERSONS IN DINING, CAFE & BAR/3=	61 SPACES	
15,000 SF / 200 SF=	75 SPACES	
REMAINING 19,330 SF / 250 SF=	78 SPACES	
TOTAL PARKING REQUIRED:	302 SPACES	
PARKING PROVIDED:	342 SPACES	
HC PARKING REQUIRED:	12 SPACES	
HC PARKING PROVIDED:	12 SPACES	
	(2 SPACES VAN ACCESSIBLE)	
MC PARKING REQUIRED:	6 SPACES	
MC PARKING PROVIDED:	6 SPACES	
BICYCLE PARKING REQUIRED:	12 SPACES	
BICYCLE PARKING PROVIDED:	15 SPACES	

LOT 2-A PROPOSED	PROPOSED USAGE:	RESTAURANT
LOT AREA:	1.79	
BUILDING AREA:	6,500 SQ. FT.	
PARKING REQUIRED:	33 SPACES	
PARKING PROVIDED:	123 SPACES	
HC PARKING REQUIRED:	4 SPACES	
HC PARKING PROVIDED:	4 SPACES	
	(1 SPACE VAN ACCESSIBLE)	
MC PARKING REQUIRED:	4 SPACES	
MC PARKING PROVIDED:	4 SPACES	
BICYCLE PARKING REQUIRED:	2 SPACES	
BICYCLE PARKING PROVIDED:	5 SPACES	
	PARKING SPACES ARE CONCEPTUAL AND WILL BE BASED ON ACTUAL USE WHEN THE SITE PLAN FOR BUILDING PERMIT IS SUBMITTED.	



LEGAL DESCRIPTION

LOTS 2-A AND 2-B, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER

PROJECT NUMBER: 1006865

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 05/20/15, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Ronald R. Bohannan</i> Traffic Engineer, Transportation Division	5/20/15	Date
<i>Christina Cadiz</i> Water Utility Development	05/20/15	Date
<i>Carol S. Dumont</i> Parks & Recreation Department	5-20-15	Date
<i>Rita P. H.</i> City Engineer	5-20-15	Date
* Environmental Health Department (conditional)	8-3-15	Date
<i>John M. Mc</i> Solid Waste Management	7-8-15	Date
<i>John M. Mc</i> DRB Chairperson, Planning Department	8-3-15	Date

* Environmental Health, if necessary

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. LANDSCAPING PLAN
- C4. LANDSCAPING PLAN
- C5. GRADING AND DRAINAGE PLAN
- C6. GRADING AND DRAINAGE PLAN
- C7. MASTER UTILITY PLAN
- C8. BUILDING ELEVATIONS
- C9. BUILDING ELEVATIONS
- C10. BUILDING RTU ELEVATIONS
- C11. BUILDING SIGNS AND LIGHTING
- C12. BUILDING SIGNS AND LIGHTING
- C13. BUILDING SIGNS AND LIGHTING
- C14. SITE SIGNS
- C15. DETAIL SHEET
- C16. DETAIL SHEET
- C17. DETAIL SHEET

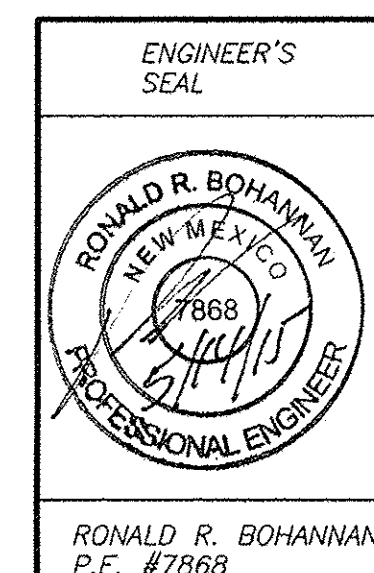
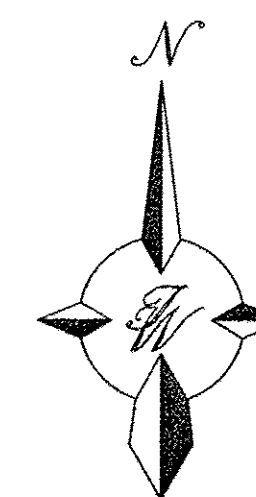
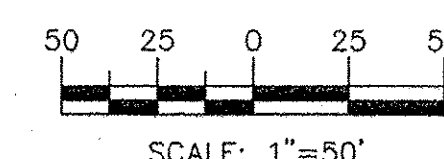
LEGEND

CURB & GUTTER	6' WIDE ADA ROUTE
BOUNDARY LINE	FUTURE CURB & GUTTER
EASEMENT	EXISTING CURB & GUTTER
CENTERLINE	EXISTING BOUNDARY LINE
RIGHT-OF-WAY	EXISTING SIDEWALK
BUILDING	EXISTING LANE
SIDEWALK	EXISTING STRIPING
RETAINING WALL	EXISTING STREET LIGHTS
PARKING LOT LIGHTS	
LANE	
STRIPING	
PROPOSED EASEMENT	

NOTES

- ALL OF TRACT 4-4A TO BE A TEMPORARY PUBLIC DRAINAGE FOR RETENTION POND. EASEMENT CAN BE VACATED WHEN PERMANENT DOWNSTREAM IMPROVEMENTS HAVE BEEN CONSTRUCTED AND THE DRB HAS APPROVED THE VACATION REQUEST. (GRANTED BY PLAT)
- THERE SHALL BE ON BACKLIT, PLASTIC OR VINYL AWNINGS.
- FOR PAVING SECTIONS AND TRUCK ACCESS ROUTE SEE SHEET C17
- LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 28' (25' PLUS A 3' CONCRETE BASE). LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE A LIMITED TO 16' HIGH.
- ALL SIGNIFICATIONS ON THE DEVELOPMENT SHALL NOT EXCEED 100SF OF SIGN AREA AND SHALL NOT EXCEED 28 FEET IN HEIGHT EXCEPT ON THE ONE EXISTING PYLON SIGN ON LOT 1 WHICH IS ALLOWED 150SF OF SIGN AREA.
- ONE FREE STANDING SIGN SHALL BE PERMITTED FOR EACH STREET FRONTAGE OF EACH PREMISES OR JOINT SIGN PREMISES WHICH HAS AT LEAST 100 FEET OF STREET FRONTAGE.
- ALL SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATION OF THE ZONING CODE (SECTION 14-16-3-5)
- THERE SHALL BE NO ILLUMINATED PLASTIC BONDING ON SIGNAGE.
- COMMON PARKING, STORM DRAINAGE, PEDESTRIAN, UTILITY AND VEHICLE ACCESS TO BE GRANTED BY PLAT.
- BUILDING CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE M-1 (SC) CITY ZONING CODE UP TO 36 FEET IS PERMITTED AT ANY LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 36 FEET HIGH SHALL FALL WITHIN A 45 DEG. PLANE DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT AT 120 FEET.

GRAPHIC SCALE



MAIN EVENT

PAN AM FREEWAY AND VASSAR AV.

SITE PLAN FOR BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	BJF
DATE	05/14/15
	2015015_SPB
SHEET #	C1
JOB #	2015015