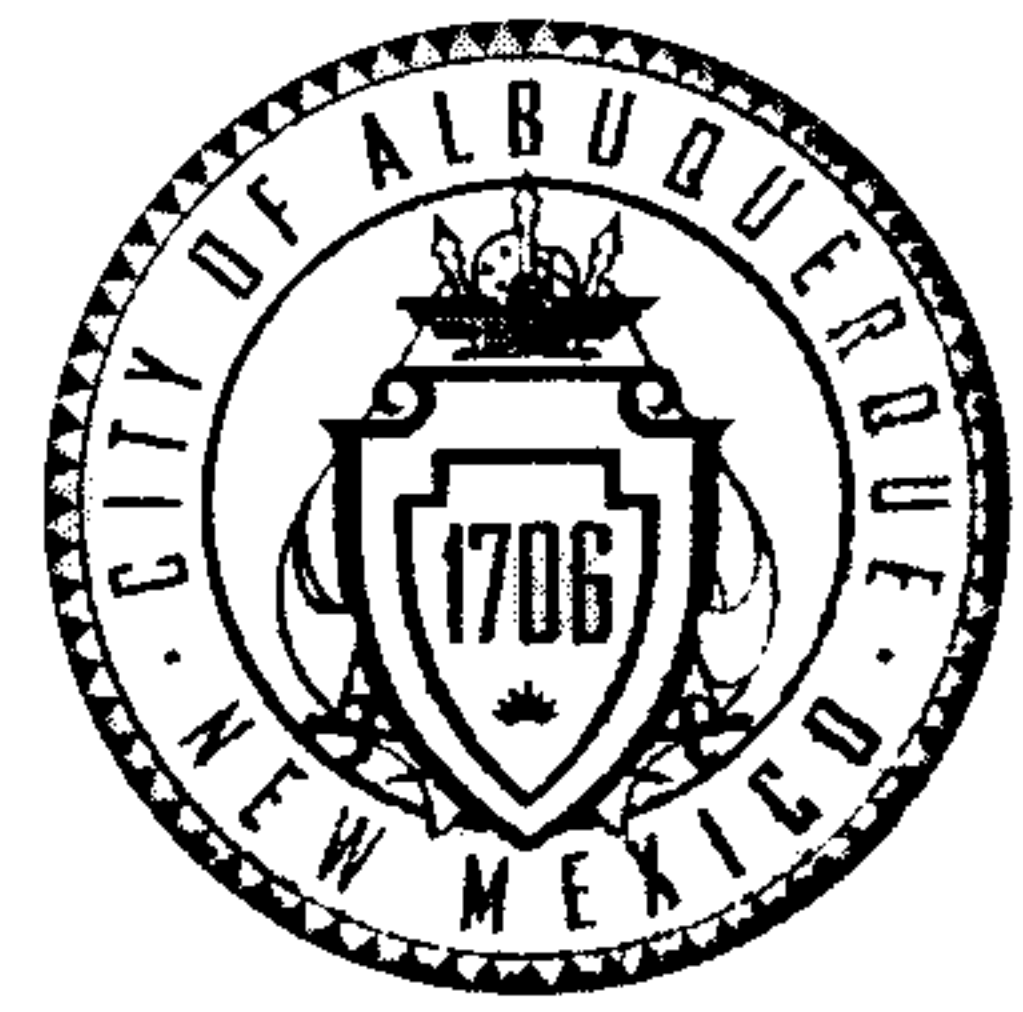


CITY OF ALBUQUERQUE



January 9, 2017

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Coles Metal
3435 Vassar Dr NE
Request Permanent C.O. - Accepted
Engineer's Stamp Dated 6-23-16 (G16D150)
Certification dated: 1-6-17**

Dear Mr. Soule,

Based on the Certification received 1/9/2017, the site is acceptable for release of Certificate of Occupancy by Hydrology.

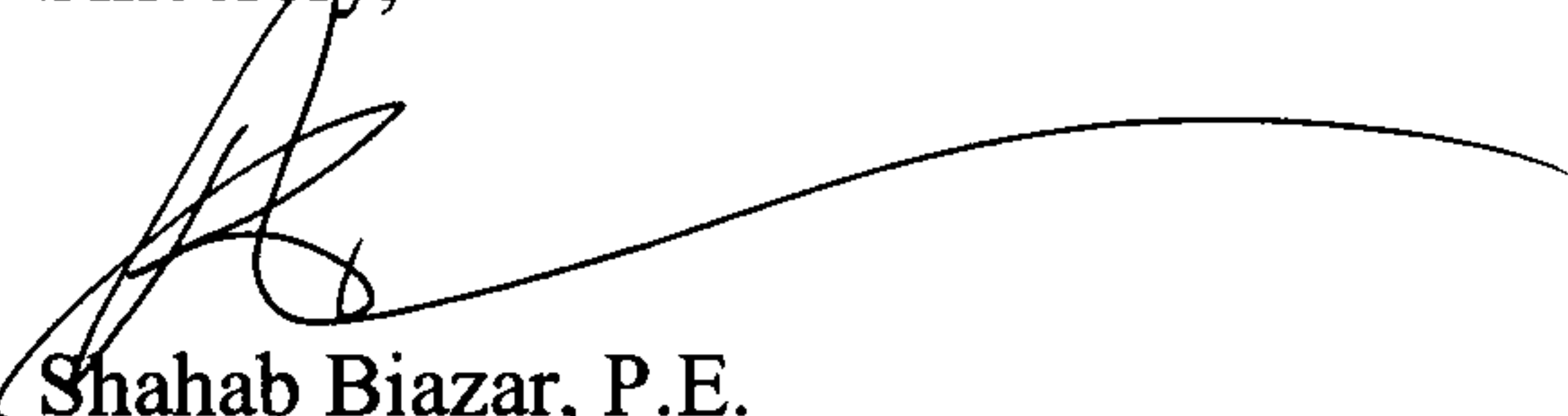
PO Box 1293

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

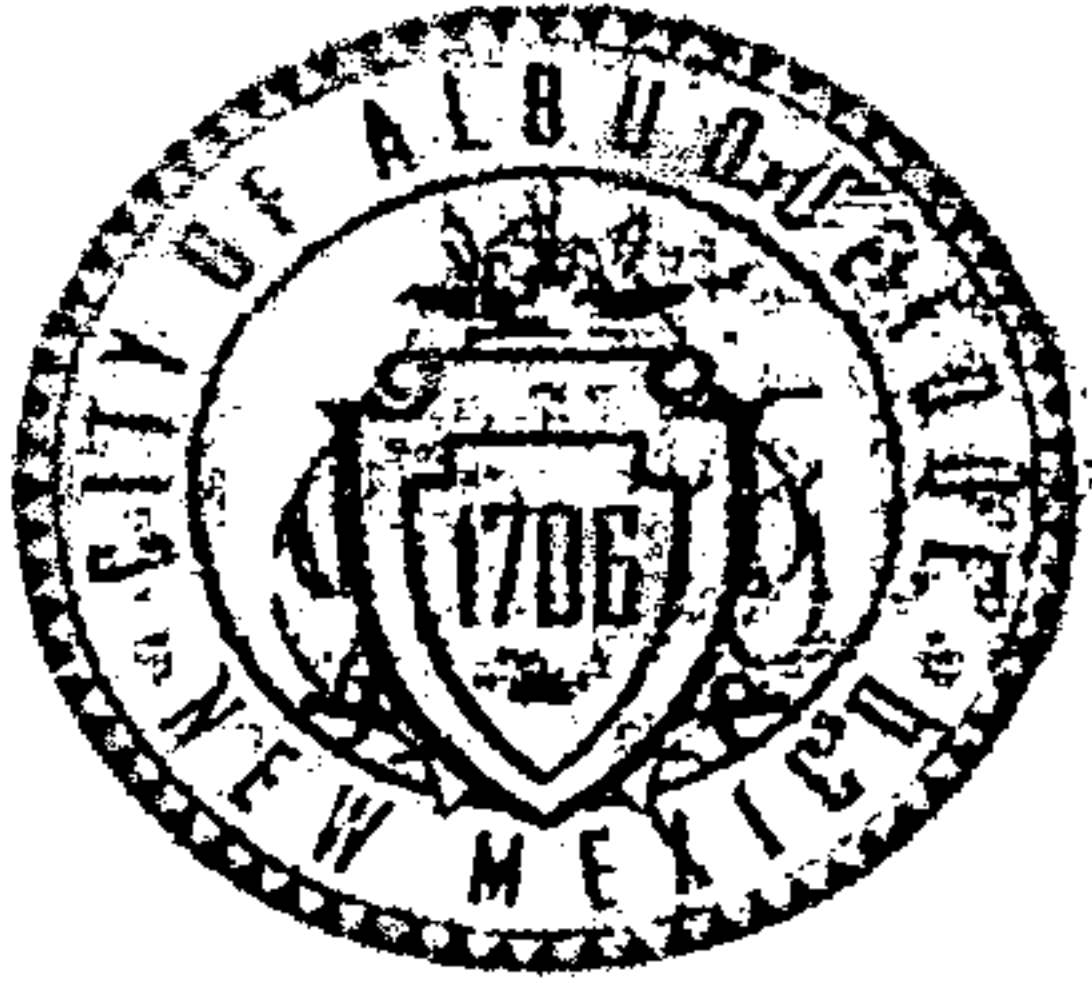
New Mexico 87103


Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov

TE/SB

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

616

Project Title: coles metal Building Permit #: _____ City Drainage #: ~~C10D~~150

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD

City Address: 3435 VASSAR DR NE, ALB, NM 87107

Engineering Firm: RIO GRANDE ENGINEERING

Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099

Fax#: 505.872.0999

E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: COU LLC

Contact: _____

Address: 3435 VASSAR DR NE, ALB, NM 87107

Phone#: _____

Fax#: _____

E-mail: _____

Architect: PETER BUTTERFIELD

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Other Contact: _____

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 6/23/16

By: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☒ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Elliott, Stanice

From: Elliott, Stanice
Sent: Thursday, December 22, 2016 9:17 AM
To: 'David Soule'
Subject: Coles Metal
Attachments: IMG_2012.JPG

David

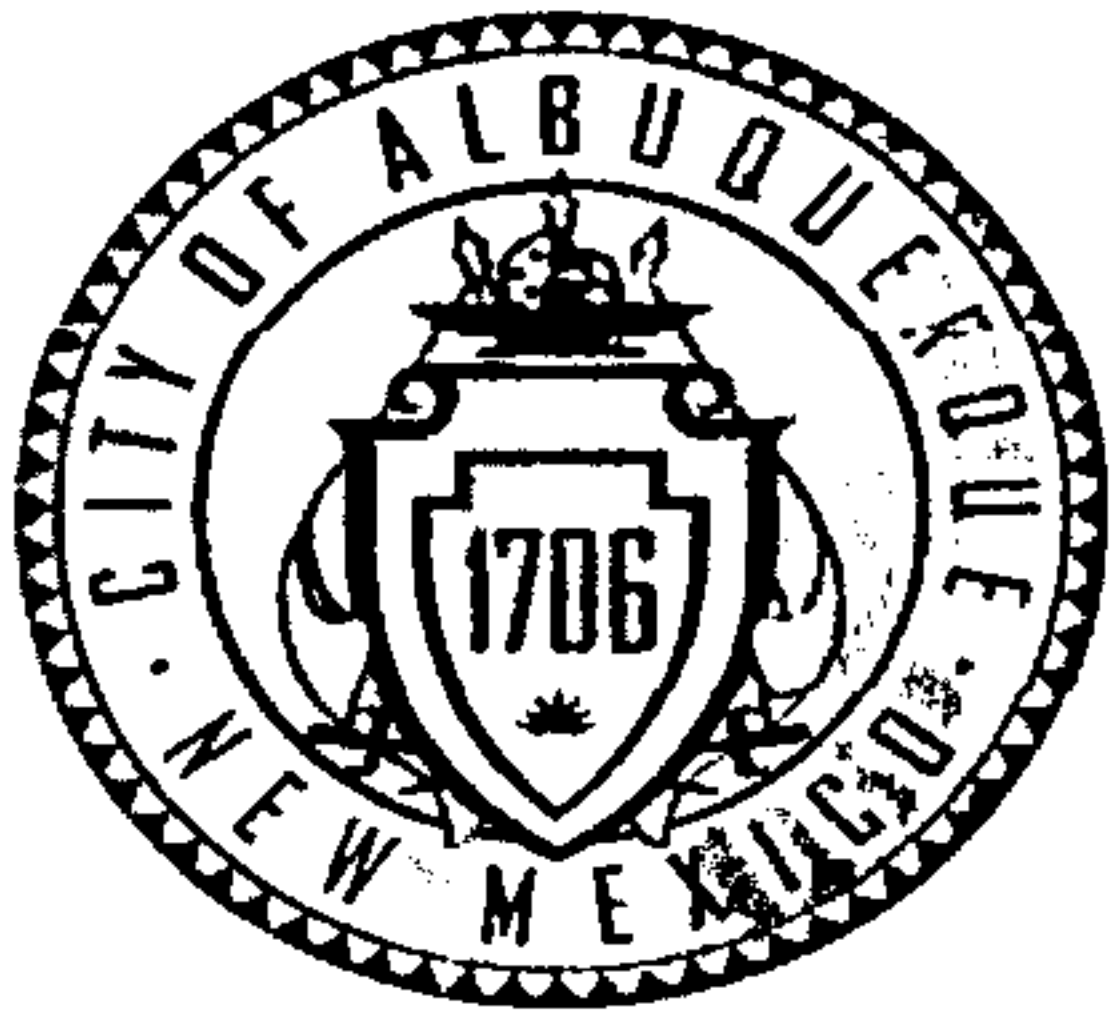
This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 12-19-2016, the above referenced plan cannot be approved for PERM CO until the following comments are addressed:

- There appears to be an outfall on the property. Pipe needs grate on top. As-built does not indicate where it flows. See attached pic.
- End of 4" pipe at NW corner in pond is covered. Unable to see.

If you have any question please do not hesitate to contact me.

Stanice 'Totten' Elliott
Planning Department
Hydrology Section
City of Albuquerque
505-924-3982
505-924-3864 fax



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: coles metal Building Permit #: _____ City Drainage #: G16D150

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD

City Address: 3435 VASSAR DR NE, ALB, NM 87107

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: COU LLC Contact: _____

Address: 3435 VASSAR DR NE, ALB, NM 87107

Phone#: _____ Fax#: _____ E-mail: _____

Architect: PETER BUTTERFIELD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

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☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

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☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

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☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

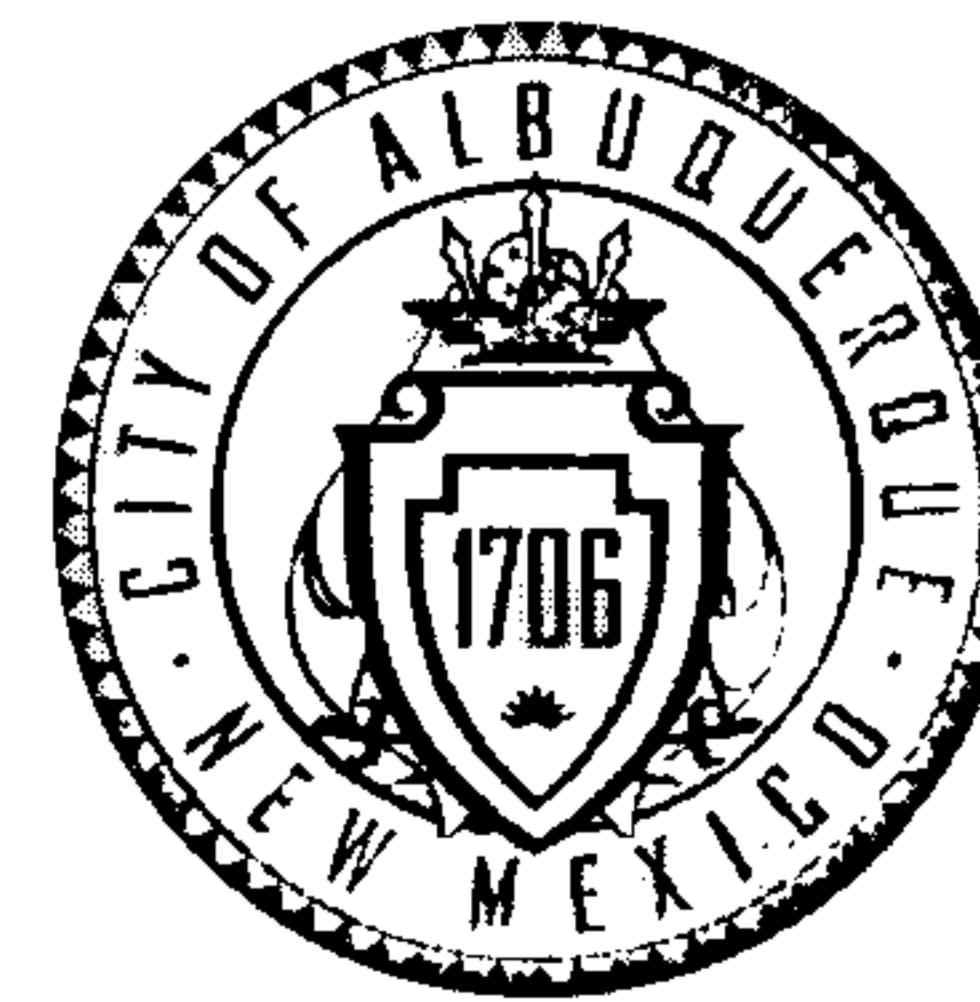
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/19/16 By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



July 21, 2016

Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Coles Metal Building/Shed addition
Grading and Drainage Plan
Engineer's Stamp Date 6-23-16 (File: G16D150)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 6-27-2016, the above-referenced plan is approved for Building Permit; no separate Grading Permit is needed.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

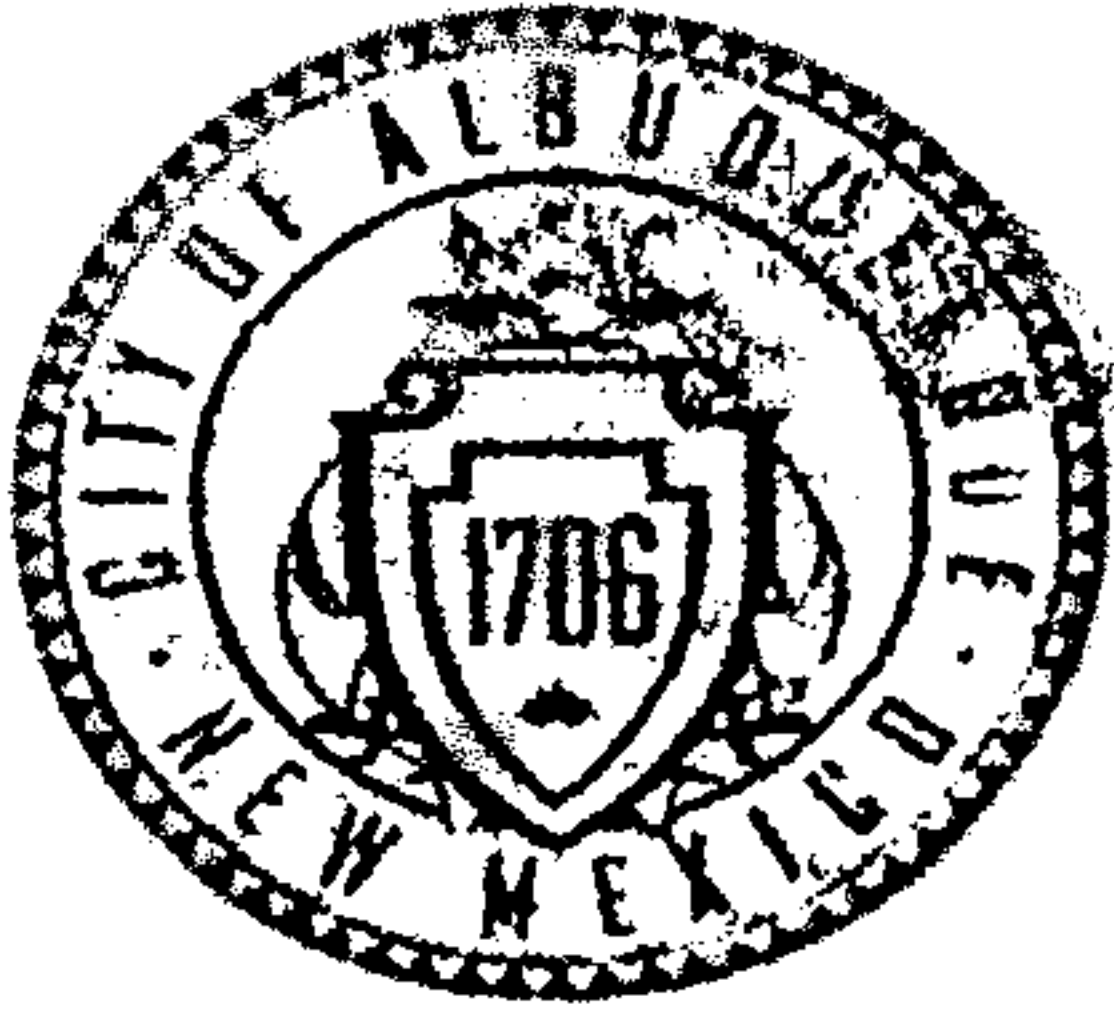
Orig: Drainage file

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: coles metal Building Permit #: _____ City Drainage #: 616D150

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: N:200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD

City Address: 3435 VASSAR DR NE, ALB, NM 87107

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: COU LLC Contact: _____

Address: 3435 VASSAR DR NE, ALB, NM 87107

Phone#: _____ Fax#: _____ E-mail: _____

Architect: PETER BUTTERFIELD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
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☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

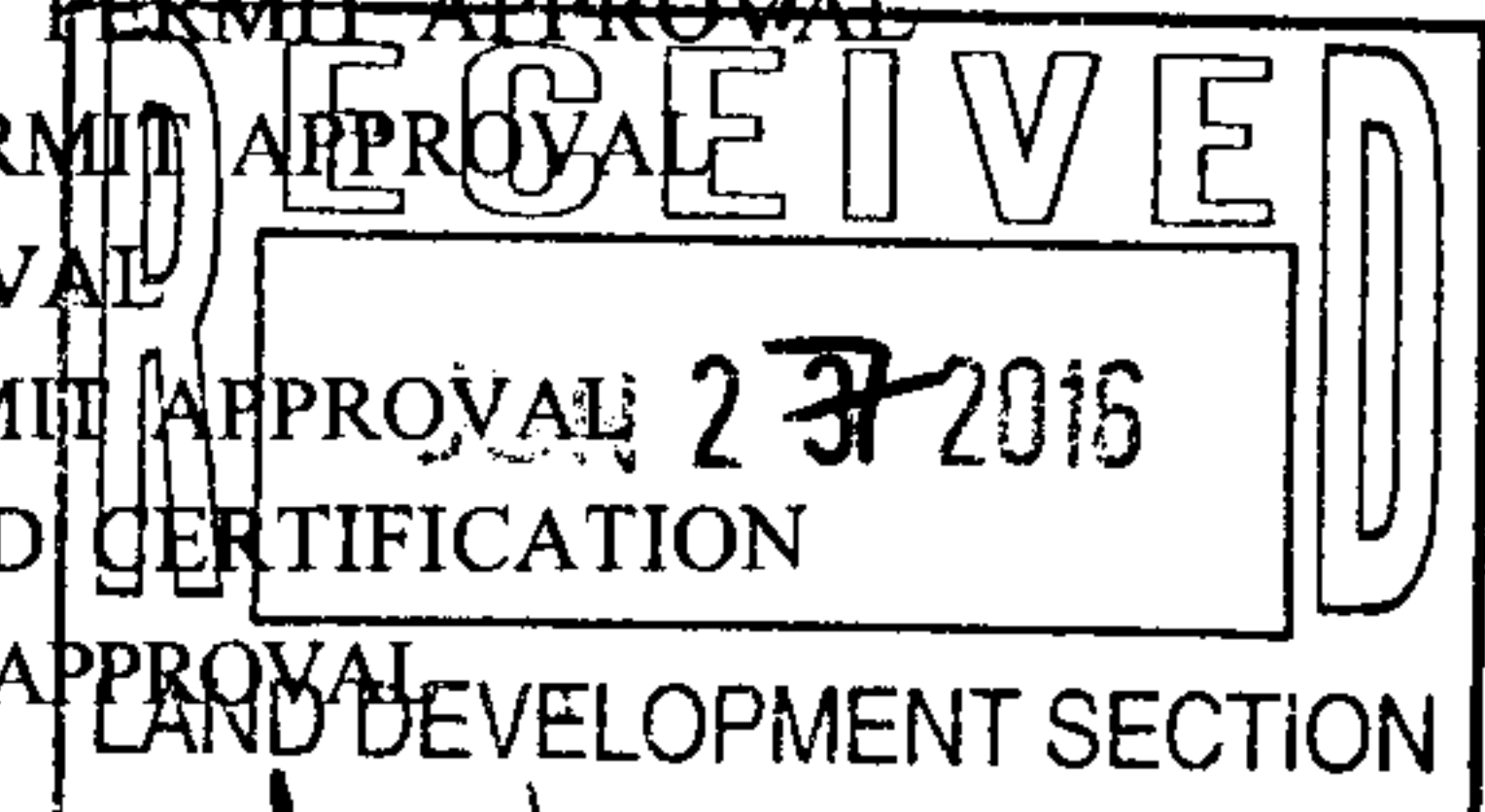
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

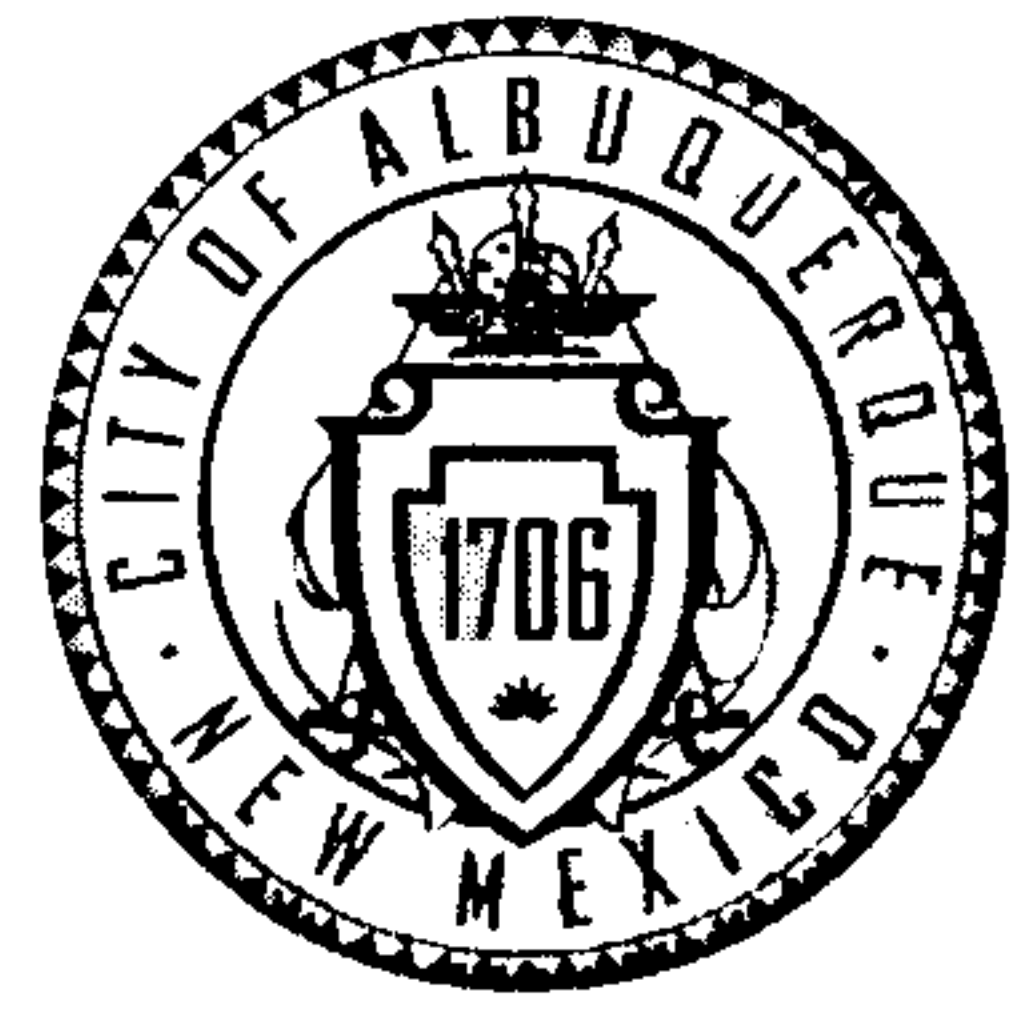


IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 6/23/16 By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



December 22, 2016

Peter Butterfield, Architect
13013 Glenwood Hill Ct., NE
Albuquerque, NM 87111

Re: Bogan Brothers Painting - 3435 Vassar Dr. NE
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 6-29-16 (G16D150)
Certification dated 12-19-16

Dear Mr. Butterfield,

Based upon the information provided in your submittal received 12-20-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3981.

Albuquerque

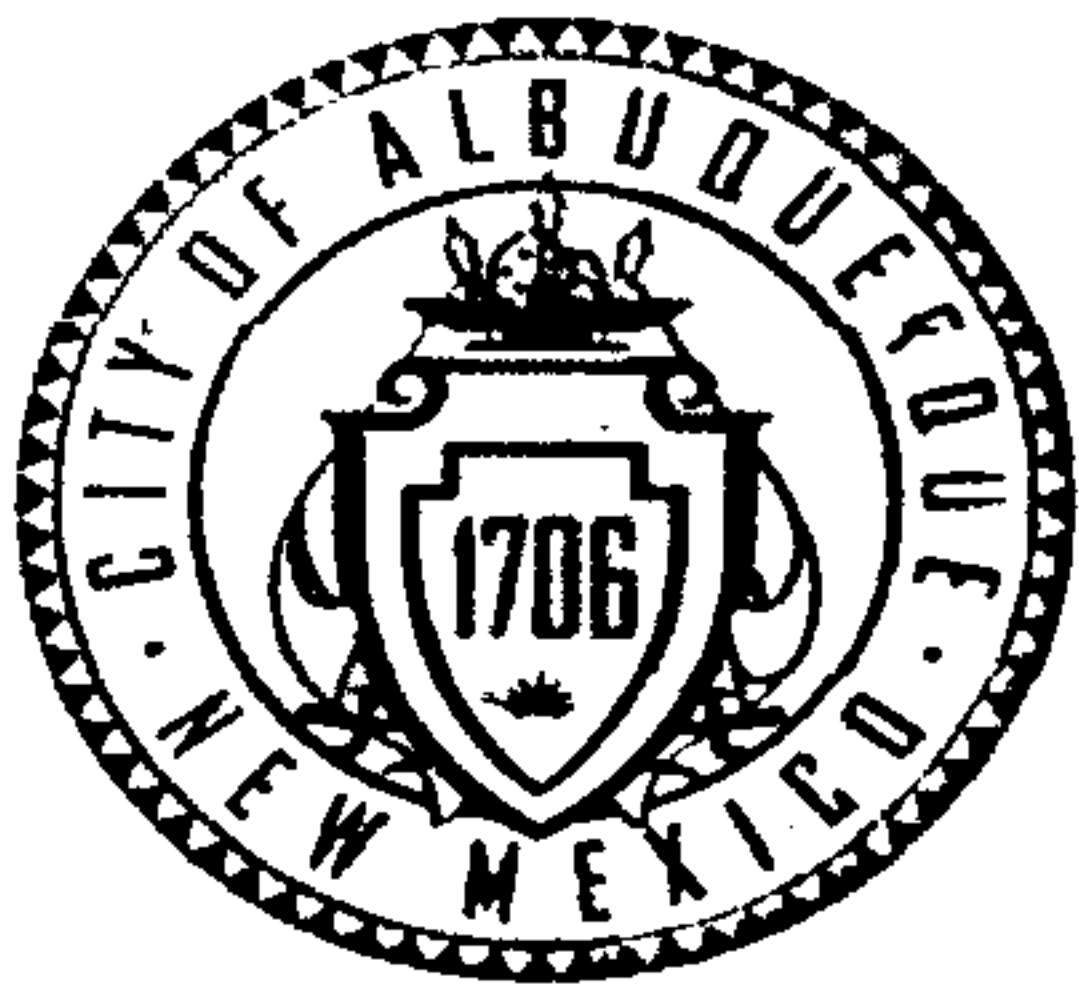
Sincerely,

New Mexico 87103


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

www.cabq.gov

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ~~Bogan Brothers Painting~~ **COLES METAL** Building Permit #: _____ City Drainage # **G16D150**
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: **N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD UNIT #2**
City Address: **3435 VASSAR DR NE ALBUQUERQUE NM 87107**

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: **Bogan Brothers Painting** Contact: **Phil Chynoweth**
Address: **3435 VASSAR DR NE ALBUQUERQUE NM 87107**
Phone#: **(505) 898-8000** Fax#: _____ E-mail: **office@boganbrothers.com**

Architect: **Peter Butterfield, Architect** Contact: **Peter Butterfield**
Address: **13013 Glenwood Hills Ct. NE Albuquerque NM 87111**
Phone#: **(505) 332-9323** Fax#: _____ E-mail: **peterbutterfield@Q.com**

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: **12/19/2016** By: **Peter Butterfield**

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

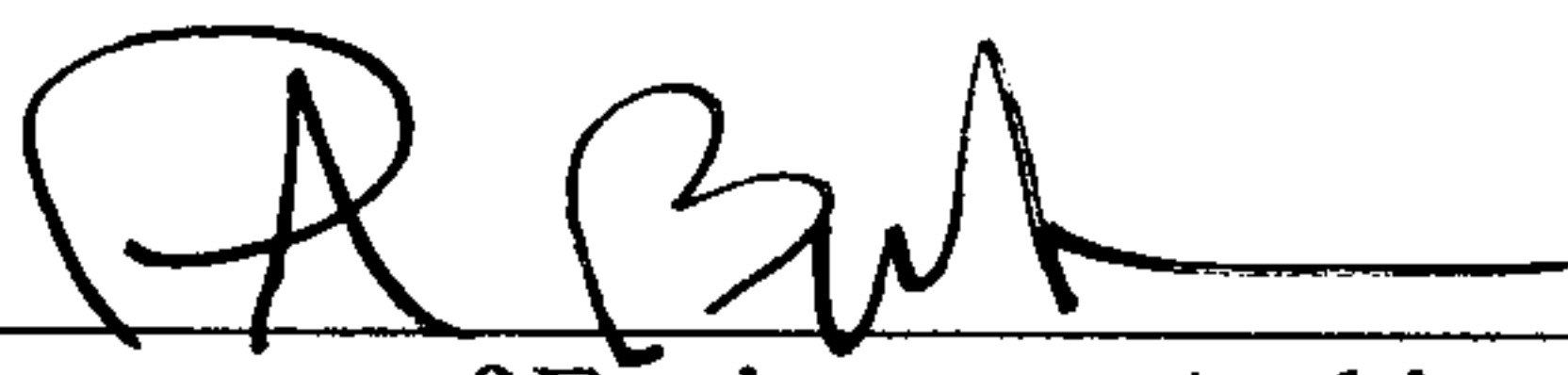
peter butterfield architect

• 505 332 9323 • 13013 Glenwood Hills Ct NE • Albuquerque New Mexico 87111 •

TRAFFIC CERTIFICATION

I, PETER BUTTERFIELD, NMRA 3850, OF THE FIRM PETER BUTTERFIELD, ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-30-2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PETER BUTTERFIELD OF THE FIRM PETER BUTTERFIELD ARCHITECT I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 19, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

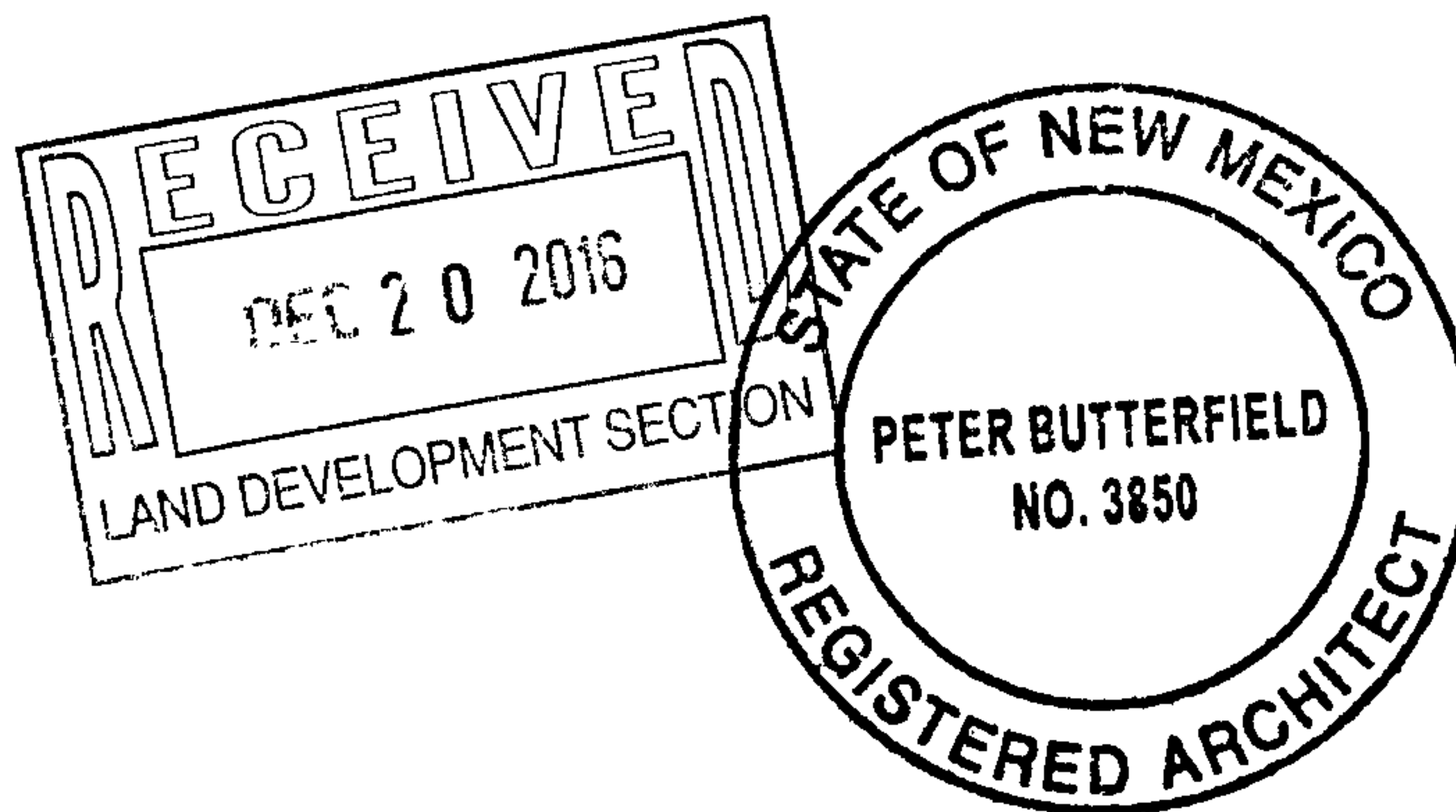
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



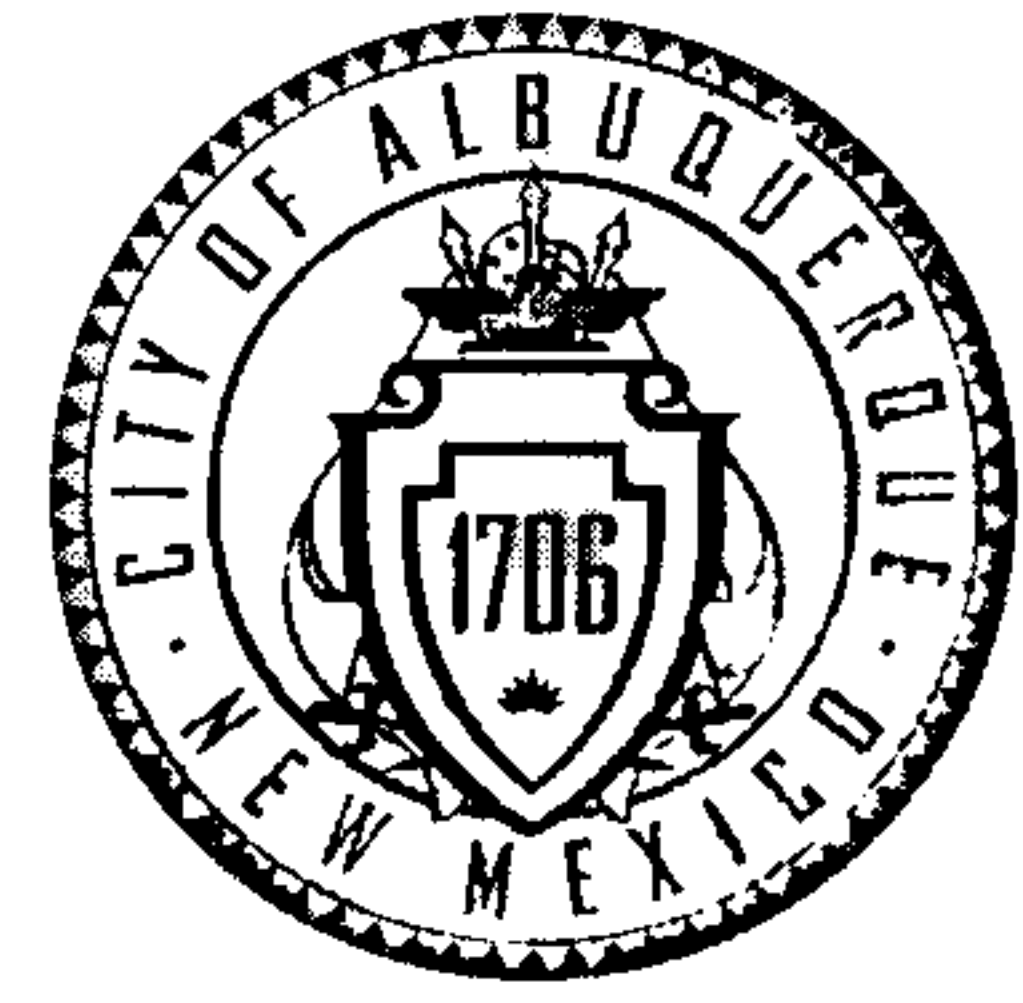
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

12/19/16
Date



CITY OF ALBUQUERQUE



June 22, 2016

Peter Butterfield
Peter Butterfield, Architect
13013 Glenwood Hills Ct., NE
Albuquerque, NM 87111

Re: Bogan Brothers Painting
3435 Vassar Dr., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp **6-6-16** (G16-D150)

Dear Mr. Butterfield,

Based upon the information provided in your submittal received 6-21-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please detail and dimension all buildings, parking spaces and ADA ramps and anything that influences the parking and circulation on the site. Previous digital maps show parking spaces on the north east corner of the parcel. Please detail the existing ADA ramps on the existing curb cuts.
2. Parking spaces are required to be a minimum of 8.5 ft. by 20 ft. In review of the submitted plans, the parking spaces on the east side of the existing building are not adequate in length and do not provide a minimum of 24 ft. drive pad between the parking spaces and the ROW for adequate backing up of vehicles. It is preferable that vehicles do not back up onto streets when exiting.
3. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please dimension the access isle.
4. ADA parking spaces require a minimum of 8.5 ft. X 20 ft. per parking space. Please revise site plan to accommodate adequate ADA parking spaces and access isle. In review of the submitted site plan, the parking spaces are 16 ft. in length. Evaluate moving HC spaces to south east corner of the existing building and providing a 6 ft. pedestrian access to the building entrance. The parking spaces may also be angled, if appropriate for the design.
5. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
6. All broken or cracked sidewalk and ADA ramps must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
7. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'Racquel M. Michel'.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

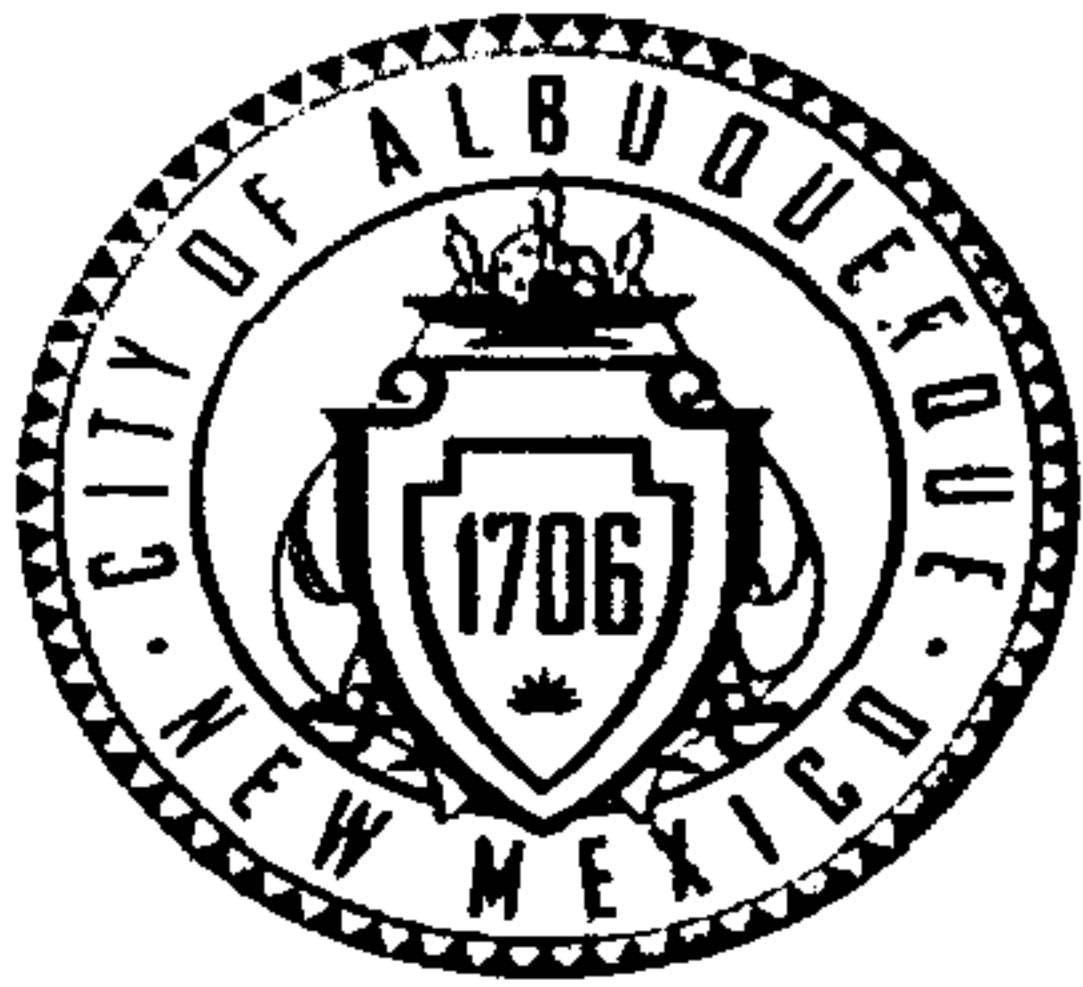
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

150

616 D049

Project Title: Bogan Brothers Painting **Building Permit #:** **City Drainage #:**
DRB#: **EPC#:** **Work Order#:**
Legal Description: N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD UNIT #2
City Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107

Engineering Firm: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Owner: Bogan Brothers Painting **Contact:** Phil Chynoweth
Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107
Phone#: (505) 898-8000 **Fax#:** **E-mail:** office@boganbrothers.com

Architect: Peter Butterfield, Architect **Contact:** Peter Butterfield
Address: 13013 Glenwood Hills Ct. NE Albuquerque NM 87111
Phone#: (505) 332-9323 **Fax#:** **E-mail:** peterbutterfield@Q.com

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
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☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
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☐ OTHER (SPECIFY) _____

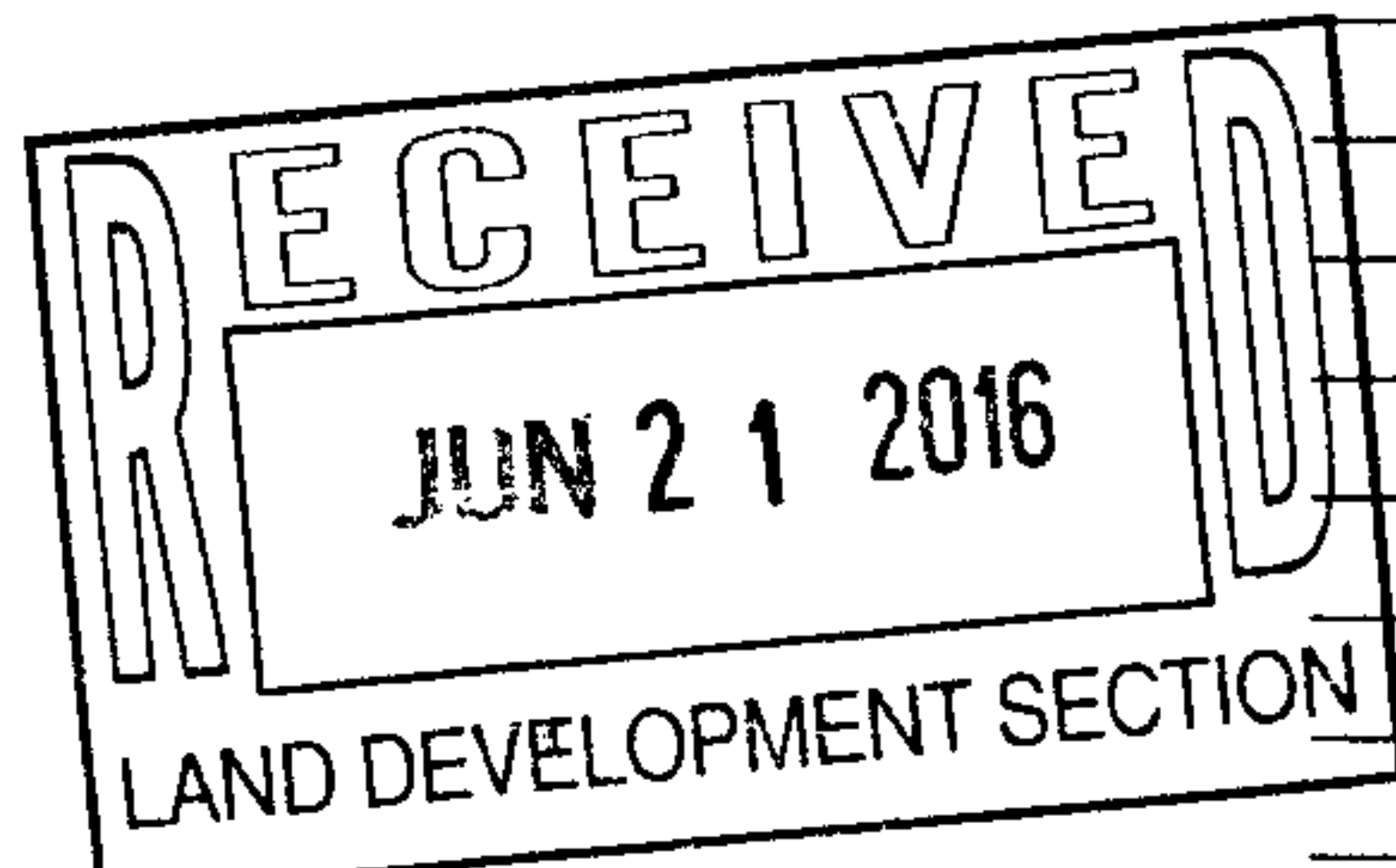
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
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☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 6/21/2016 **By:** Peter Butterfield

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



CITY OF ALBUQUERQUE



June 30, 2016

Peter Butterfield, Architect
13013 Glenwood Hill Ct., NE
Albuquerque, NM 87111

Re: Bogan Brothers Painting
3435 Vassar Dr. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-29-16 (G16-D150)

Dear Mr. Butterfield,

The TCL submittal received 6-30-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

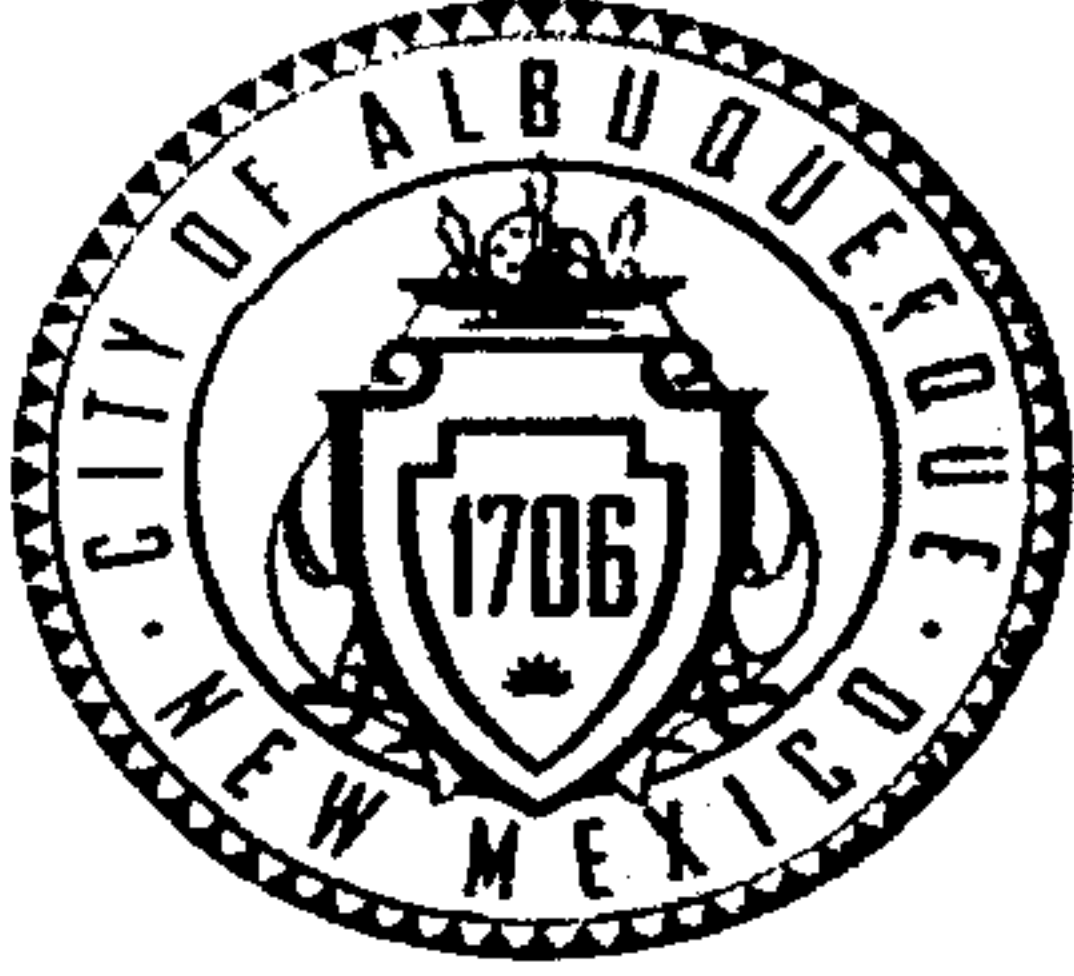
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Bogan Brothers Painting Building Permit #: _____ City Drainage #: G16D150
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD UNIT #2
City Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: Bogan Brothers Painting Contact: Phil Chynoweth
Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107
Phone#: (505) 898-8000 Fax#: _____ E-mail: office@boganbrothers.com

Architect: Peter Butterfield, Architect Contact: Peter Butterfield
Address: 13013 Glenwood Hills Ct. NE Albuquerque NM 87111
Phone#: (505) 332-9323 Fax#: _____ E-mail: peterbutterfield@Q.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

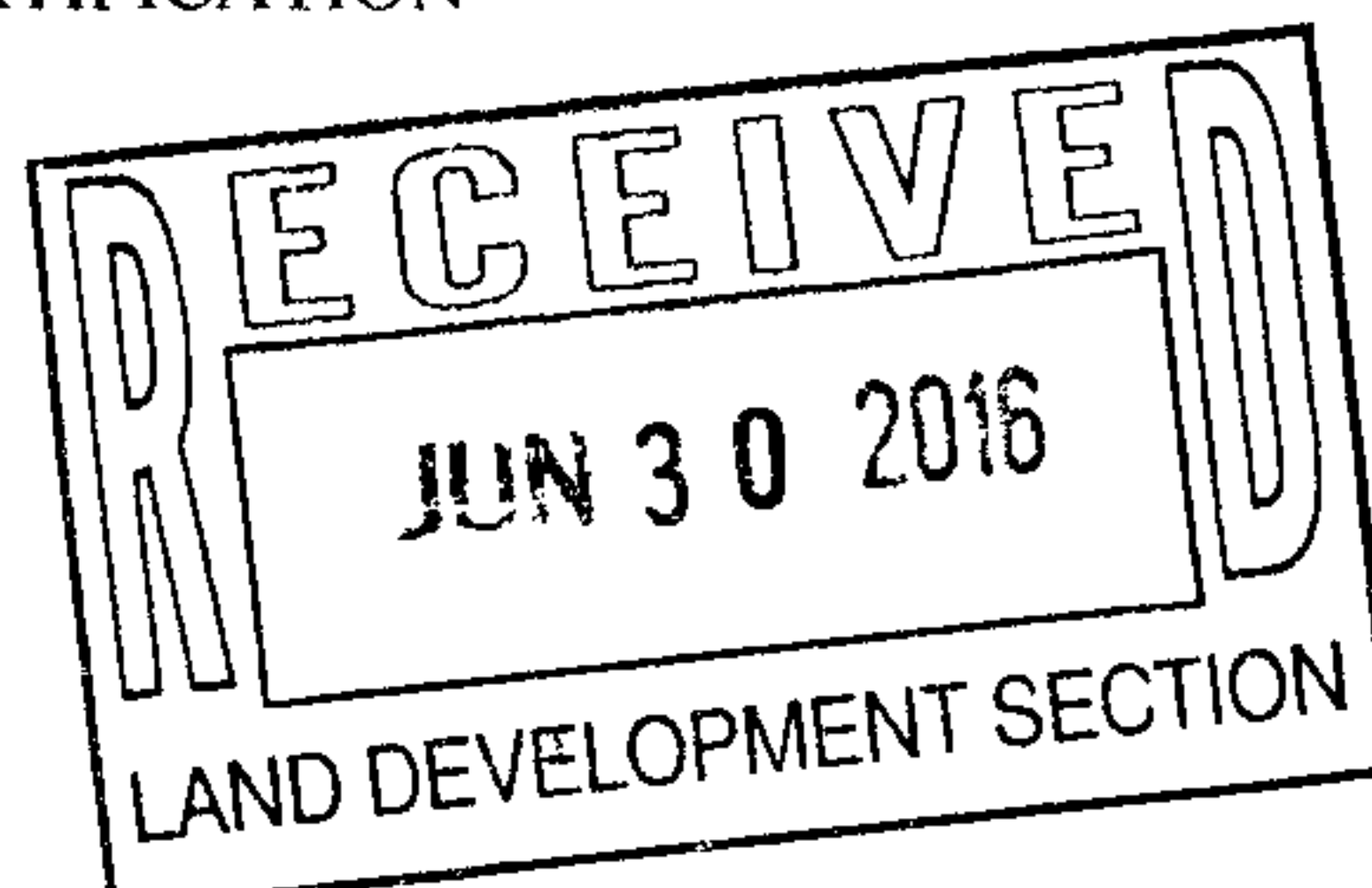
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

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☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

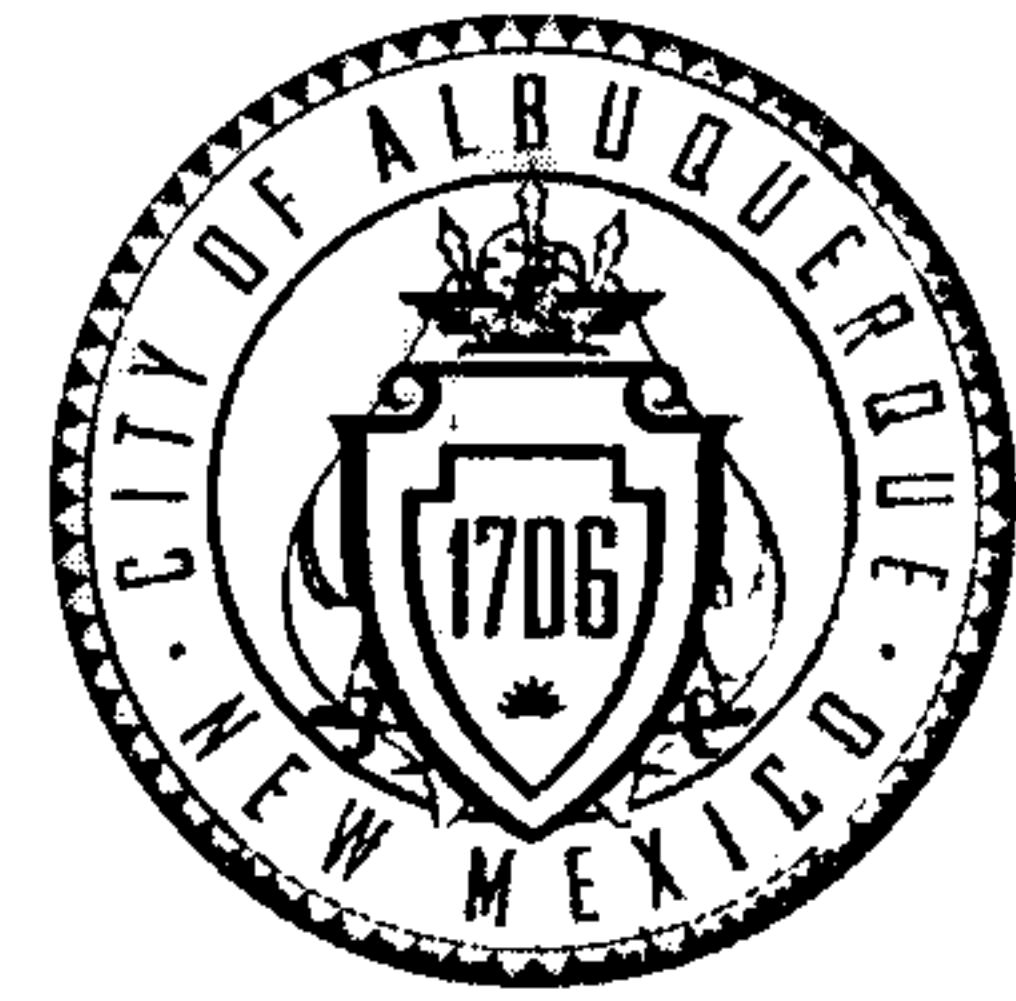
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 6/30/2016 By: Peter Butterfield

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



June 17, 2016

Peter Butterfield
Peter Butterfield, Architect
13013 Glenwood Hills Ct., NE
Albuquerque, NM 87111

Re: Bogan Brothers Painting
3435 Vassar Dr., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp **6-6-16** (G16-D150)

Dear Mr. Butterfield,

6-10-16

Based upon the information provided in your submittal received ~~XX-XX-16~~, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please dimension all sidewalks, drive pads, ADA ramps and anything that influences the parking and circulation on the site.
2. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
3. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please dimension the access isle.
4. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
5. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
6. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please add this detail for entrances/exits on Vassar Dr.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Mini Clear Sight Triangle for Driveways on Residential Streets:

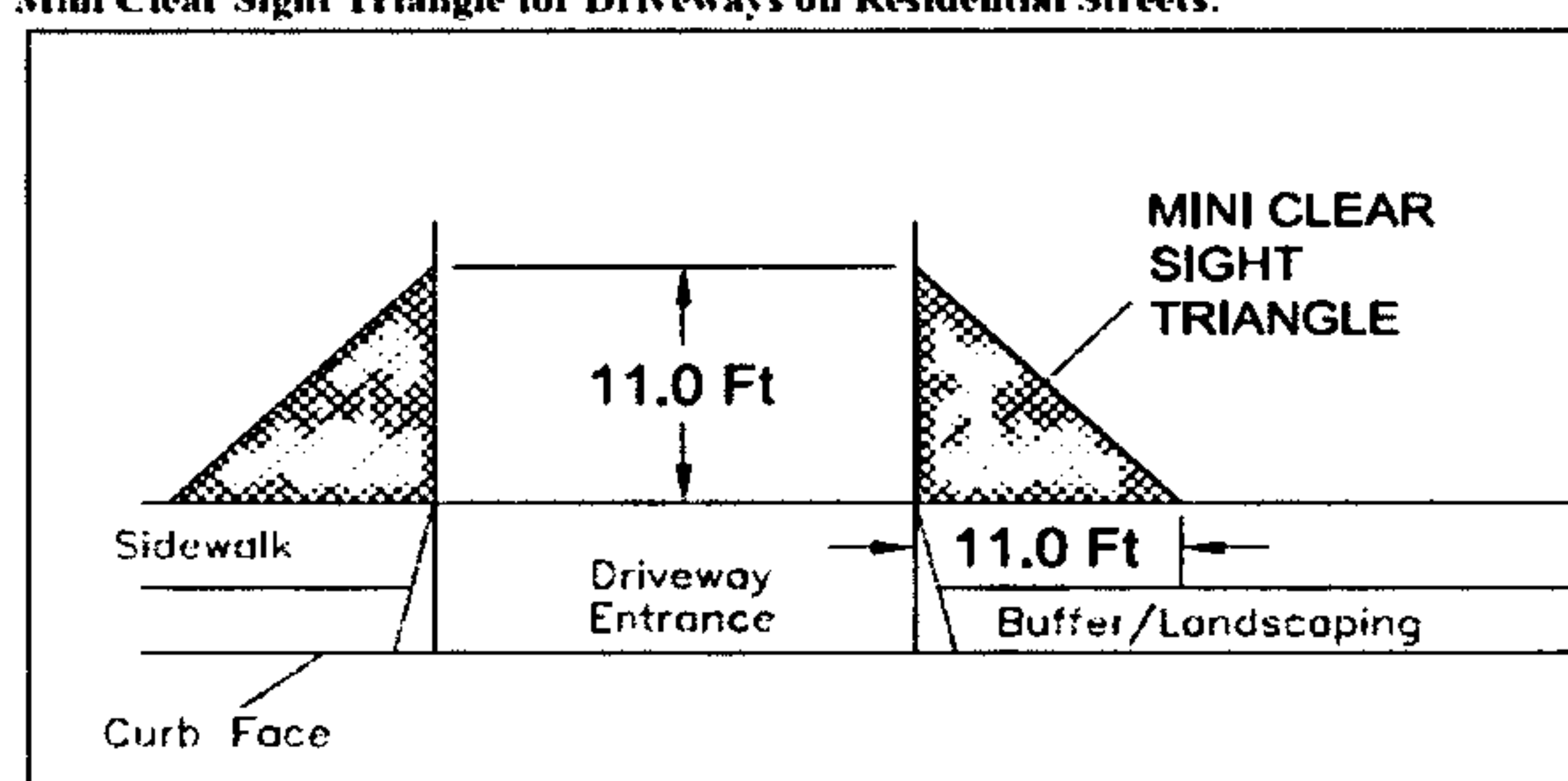


Figure 1. Mini Clear Sight Triangle

CITY OF ALBUQUERQUE



7. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
9. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
10. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

PO Box 1293

Sincerely,

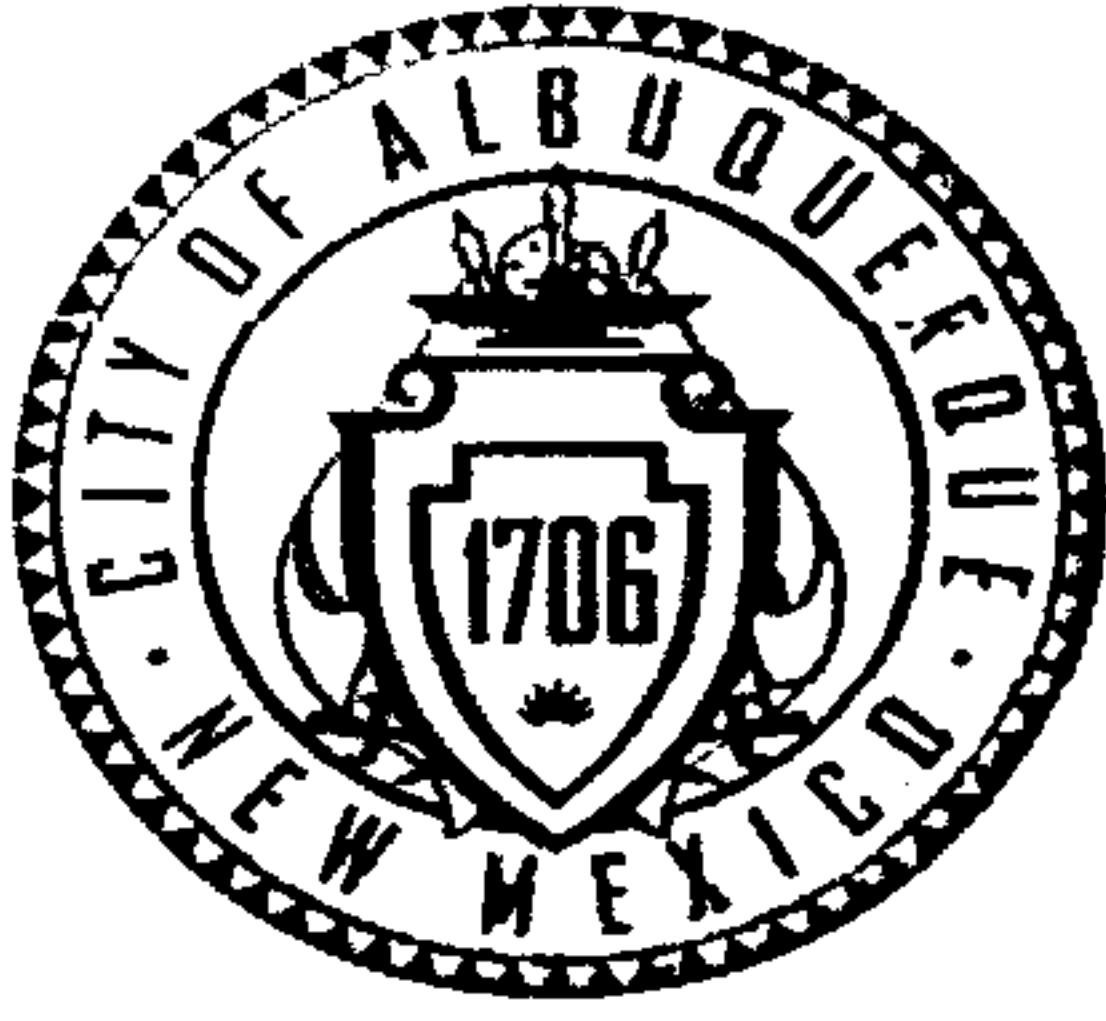
Albuquerque

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

New Mexico 87103

\gs via: email
C: CO Clerk, File

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Bogan Brothers Painting **Building Permit #:** _____ **City Drainage #:** 916D150
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: N 200FT OF E1/2 OF BLK N COLES INDUSTRIAL SUBD UNIT #2
City Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: Bogan Brothers Painting **Contact:** Phil Chynoweth
Address: 3435 VASSAR DR NE ALBUQUERQUE NM 87107
Phone#: (505) 898-8000 **Fax#:** _____ **E-mail:** office@boganbrothers.com

Architect: Peter Butterfield, Architect **Contact:** Peter Butterfield
Address: 13013 Glenwood Hills Ct. NE Albuquerque NM 87111
Phone#: (505) 332-9323 **Fax#:** _____ **E-mail:** peterbutterfield@Q.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

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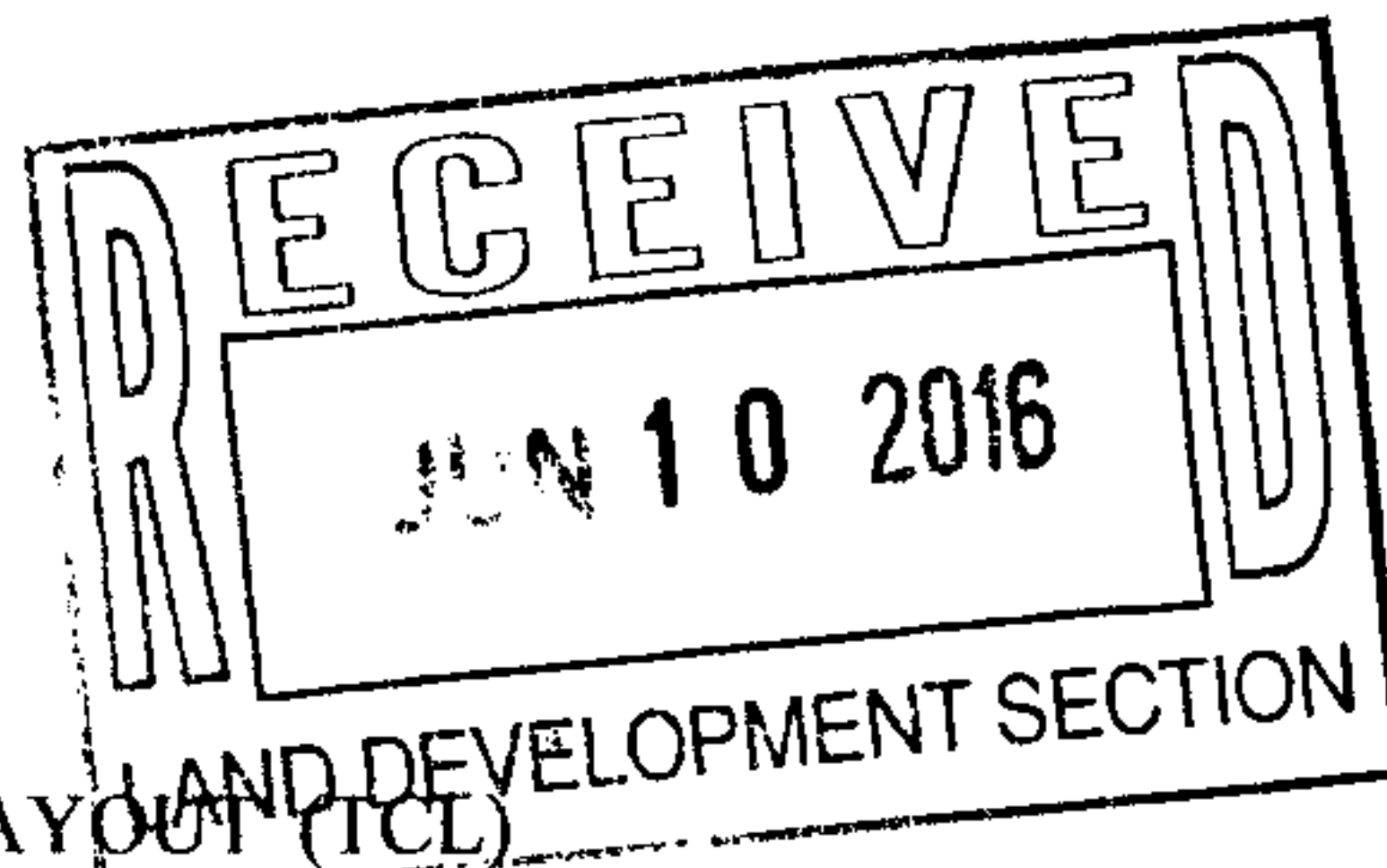
DATE SUBMITTED: 6/8/2016 By: Peter Butterfield

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COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____