

# CITY OF ALBUQUERQUE



December 22, 2017

G. Donald Dudley, RA  
Simms Tower Studio  
400 Gold Ave. SW  
Albuquerque, NM 87102

**Re: Albuquerque Winnelson  
3545 Princeton Dr. NE  
30-Day Temporary Certificate of Occupancy- Transportation Development  
Transportation Development Final Inspection  
Architect's Stamp dated 9-26-16 (G16D152)  
Certification dated 12-20-17**

Dear Mr. Dudley,

Based upon the information provided in your submittal received 12-20-17, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Bike rack has not been constructed per the plan.
2. Motorcycle parking sign is required.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

MA/RM            via: email  
C:            CO Clerk, File

December 20, 2017

City of Albuquerque  
Planning Department  
Development & Building Services Division  
600 2<sup>nd</sup> Street, NW  
Albuquerque, NM 87102

Project: **Albuquerque Winnelson Company**  
3545 Princeton Dr, NE  
Albuquerque, NM 87107

RE: TRAFFIC CERTIFICATION

I, **DON DUDLEY, NEW MEXICO REGISTERED ARCHITECT** OF THE FIRM

❖ **G. DONALD DUDLEY ARCHITECT, LTD.** ❖

HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 10/27/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **DON DUDLEY** OF THE FIRM **G. DONALD DUDLEY ARCHITECT, LTD.** I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEVERAL OCCASIONS WHILE UNDER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **CERTIFICATE OF OCCUPANCY**.

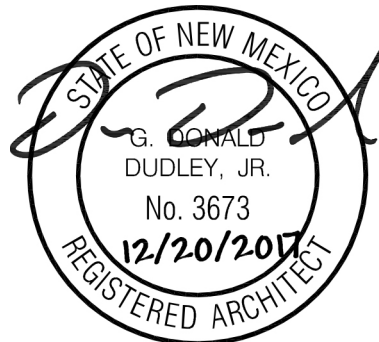
I AM REQUESTING THE FOLLOWING QUALIFICATIONS FOR THIS PROJECT.

- 1) NONE.

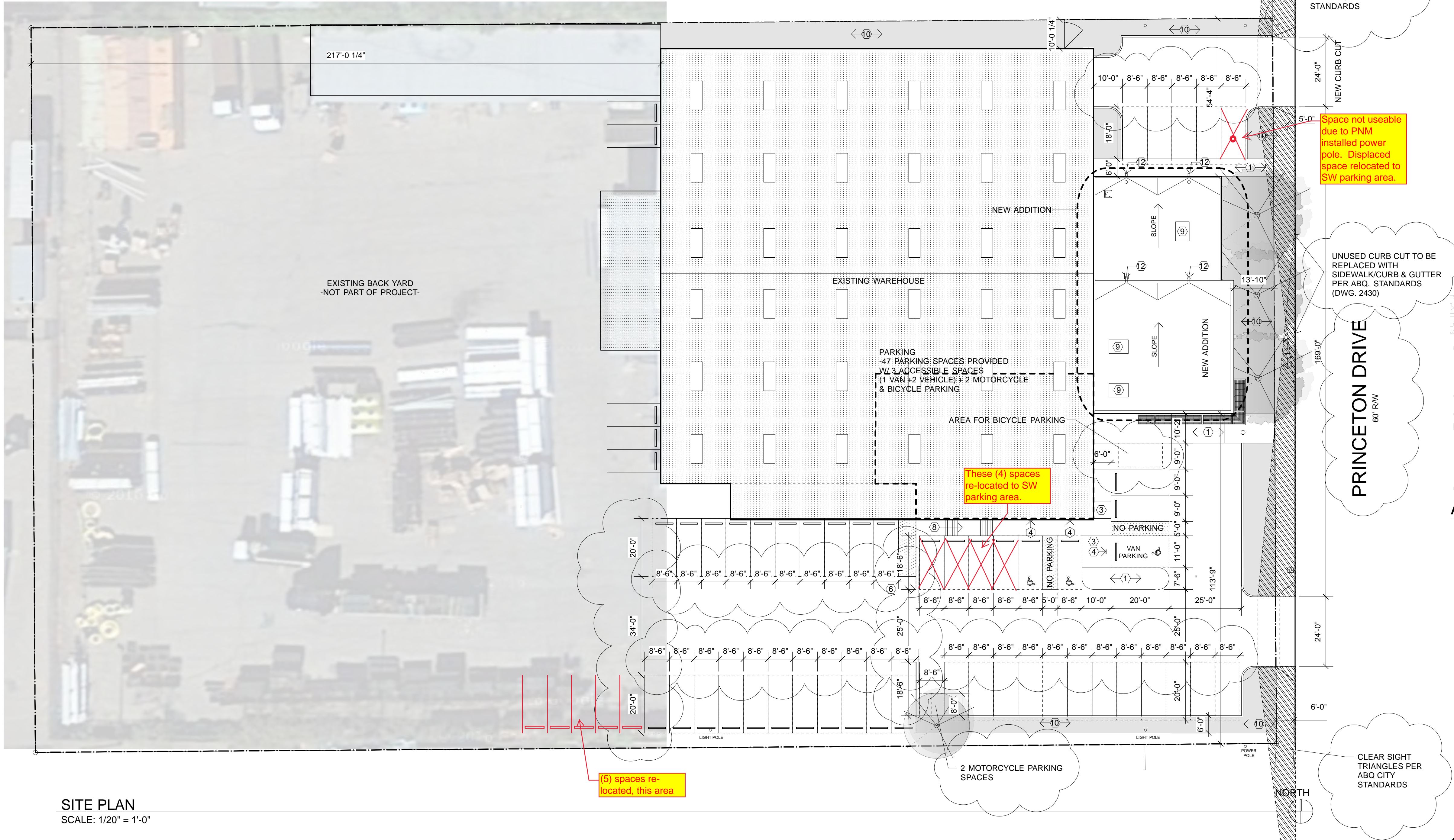
I HAVE OBSERVED THE FOLLOWING REQUIRED CORRECTIONS:

- 1) (1) space at the northeast was displaced by a new PNM power pole. The required space was relocated to the southwest parking area.
- 2) (4) spaces south of the front door were moved to alleviate possible vehicular/pedestrian congestion. The required spaces were relocated to the southwest parking area.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

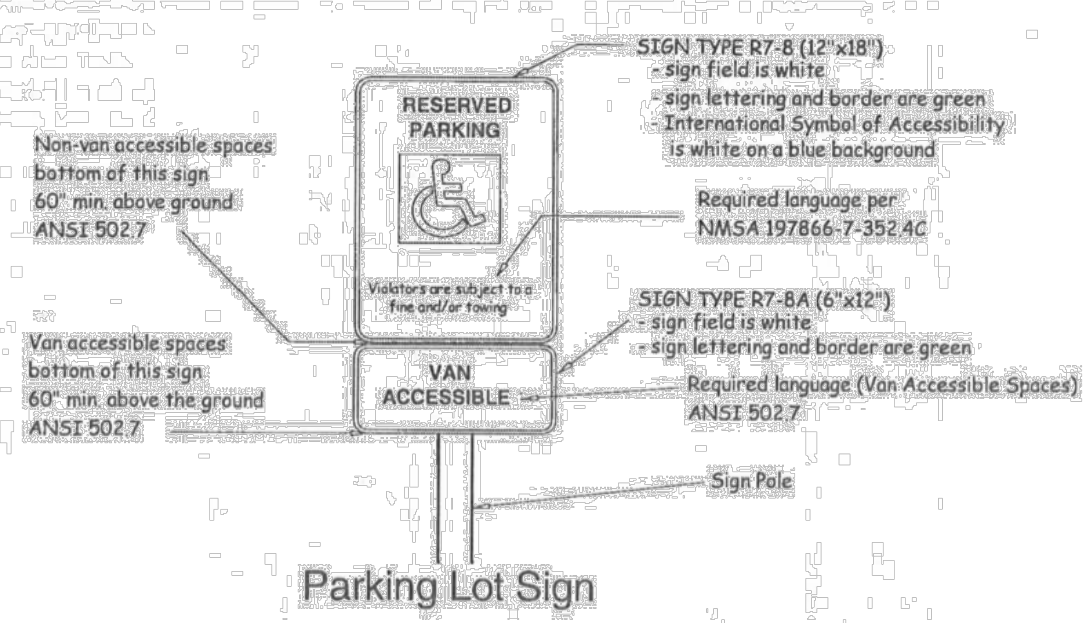




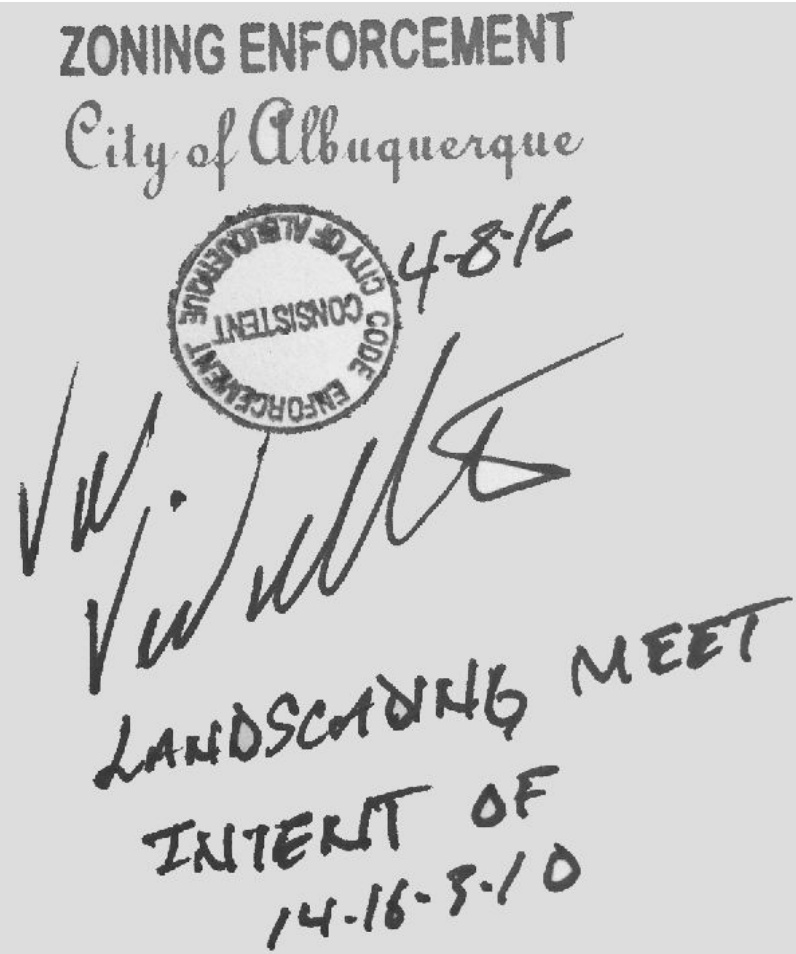


## SHEET KEYED NOTES

1. NEW 4" CONCRETE SIDEWALK
  2. EXISTING SIDEWALK  
-ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB & GUTTER.
  3. ADA ACCESSIBLE RAMPS PER ABQ CITY STANDARDS.
  4. HANDICAPPED PARKING SIGN PER ABQ. STANDARDS (See Drawing Below)
  5. EXISTING CONCRETE VEHICLE RAMP.
  6. CHAINLINK FENCE WITH SLIDING GATE.
  7. CMU STANDARD WASTE ENCLOSURE PER CITY OF ABQ. STANDARDS.  
-6" CONCRETE SLAB W/ CONC. APRON
  8. EXISTING STAIRS  
-NOT PART OF PROJECT.
  9. ROOF TOP MECHINCAL  
-SEE MECH. DRAWINGS
  10. LANDSCAPING (BY OTHERS)
  11. ROOF DRAINS
  12. ROOF SCUPPERS
- \* ALL SIDEWALK WORK TO BE ADA COMPLIANT AND MUST MEET CITY OF ABQ. STANDARDS

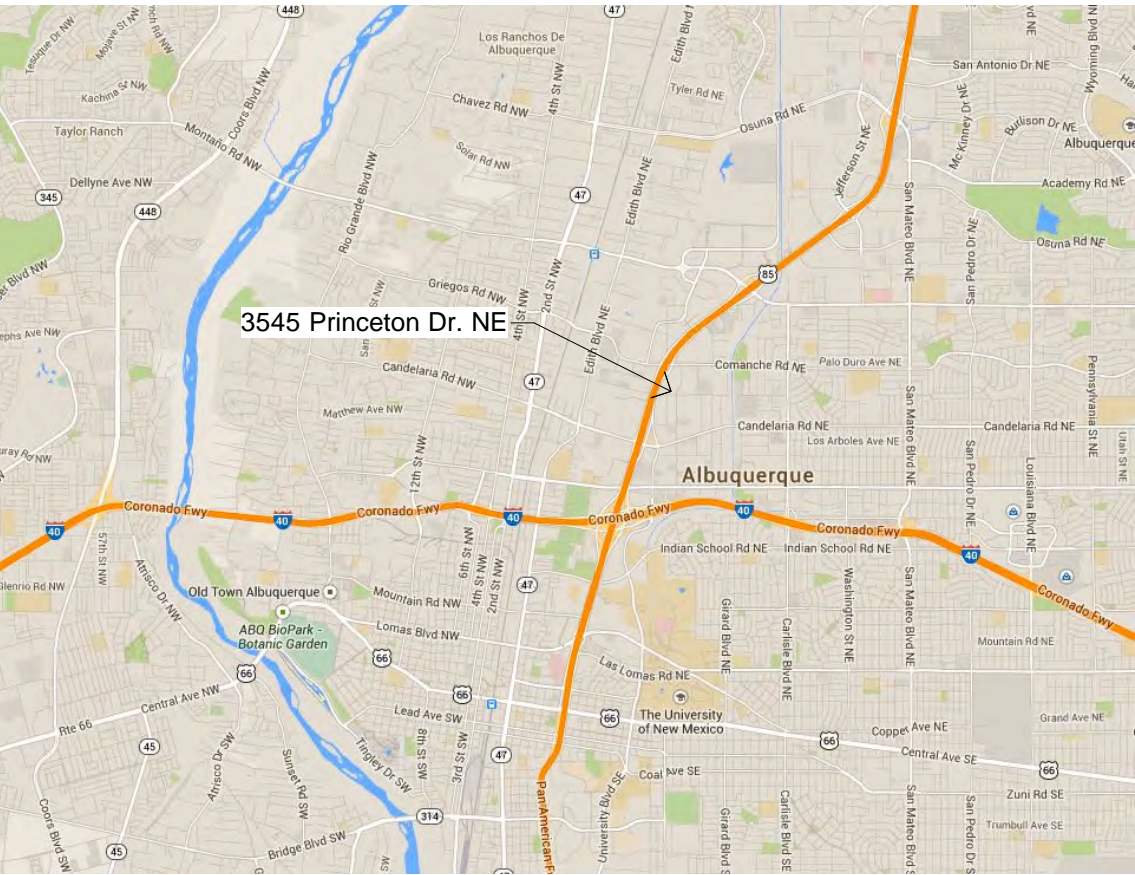


## ACCESSIBLE PARKING SIGN



## CITY OF ABQ ZONING LANDSCAPE APPROVAL

## VICINITY MAP



SCALE: N.T.S. NORTH

SITE PLAN  
SCALE: 1/20" = 1'-0"

## 1 GENERAL INFORMATION

### PROJECT ADDRESS

ALBUQUERQUE WINNELSON  
3545 Princeton Dr. NE  
Albuquerque, New Mexico 87107

### ZONING

M-1

### OCCUPANCY GROUP

B (S-2 EXISTING WAREHOUSE)

### CONSTRUCTION TYPE

TYPE II-B per 602.2

### BUILDING AREA

ADDITION (New)	= 3807 Sq. Ft.
REMODEL (Existing)	= 3585 Sq. Ft.
WAREHOUSE (Existing)	= 19530 Sq. Ft.
TOTAL	= 26922 Sq. Ft.
NUMBER OF FLOORS	= 1
ALLOWABLE AREA	= 31,280 Sq. Ft.

### OCCUPANCY LOAD

per table 1004.1.2

AREA	S.F.	OCC. LOAD FACTOR	No. OCCUPANTS
Business area (Addition)	3807	100 gross	= 35.85
(Remodel)	3585	100 gross	= 38.07
Warehouse (Existing)	19530	500 gross	= 39.06
<b>TOTAL PROJECT</b>	<b>26,922</b>		<b>= 113</b>

### PARKING REQUIREMENTS

per 14-16-3-1 A (26)

Retail/ Service	7392sf/ 200sf = 36.96	= 37 spaces
Warehouse	19530sf/2000sf = 9.765	= 10 spaces

Minimum number of designated disabled parking spaces  
Total Required off street parking 36 to 50 = 3

### TOTAL PARKING REQUIRED

**47** required/ 47 Provided  
(+2 motorcycle) {3-HC (1 Van + 2 Car)}

### EXECUTIVE SUMMARY

Albuquerque Winnelson is a plumbing supply store that is located at 3545 Princeton Dr. NE in Albuquerque. This project includes a 3585sf remodel of their current office space within the warehouse and an 3807sf addition of a showroom & conference room. The existing paved area to the east of the warehouse will accomodate the new addition, parking and landscaping per City of ABQ. zoning standards.

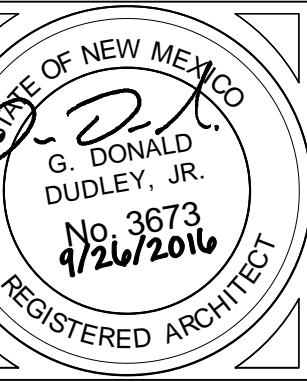
### DRAINAGE

See Civil grading and drainage plans.



ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

G. DONALD DUDLEY AIA  
**ARCHITECT**  
ARCHITECTURE INTERIORS PLANNING  
AIA NCARB LEED AP



PROJECT NAME:  
**ALBUQUERQUE WINNELSON**  
3545 PRINCETON DR NE  
Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDPA PROJECT NO:	15-111
DATE:	10.27.2016
DRAWN BY:	..
CHECKED BY:	..
SET NO:	
SHEET TITLE:	

TCL PLAN  
REVISED 11.11.2016

G-002