

# CITY OF ALBUQUERQUE



September 15, 2016

Richard J. Berry, Mayor

Scott M. McGee, P.E.  
SMMPE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM, 87111

RE: **3545 Princeton Drive NE**  
**Building Addition**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date 7-28-16 (File: G16D152)**  
**Revised Plan Stamp Dated 10-10-2016, received 10-21-2016 is approved for**  
**Building Permit. AC 11-2-2016**

Dear Mr. McGee:

Based upon the information provided in your submittal received 8-5-2016, the above-referenced plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** WINNELSON ADDITION **Building Permit #:** \_\_\_\_\_ **City Drainage #:** G-16/D152  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** 3545 PRINCETON NE  
**Engineering Firm:** SCOTT M MCGEE PE **Contact:** SCOTT MCGEE  
**Address:** 9700 TANDAN DR NE  
**Phone#:** (505) 263-2905 **Fax#:** \_\_\_\_\_ **E-mail:** scottm.mcgee@gmail.com  
**Owner:** WINNELSON **Contact:** \_\_\_\_\_  
**Address:** 3545 PRINCETON  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_  
**Architect:** G. DON DUDLEY, AIA **Contact:** GRAHAM HOGAN  
**Address:** 400 GOLD AVE SW, STUDIO 850  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_  
**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

☐ ENGINEER/ ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) 9/15/16 PREVIOUSLY APPROVED  
ADA PARKING REVISED

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

**DATE SUBMITTED:** 10/21/16 **By:** SCOTT MCGEE

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

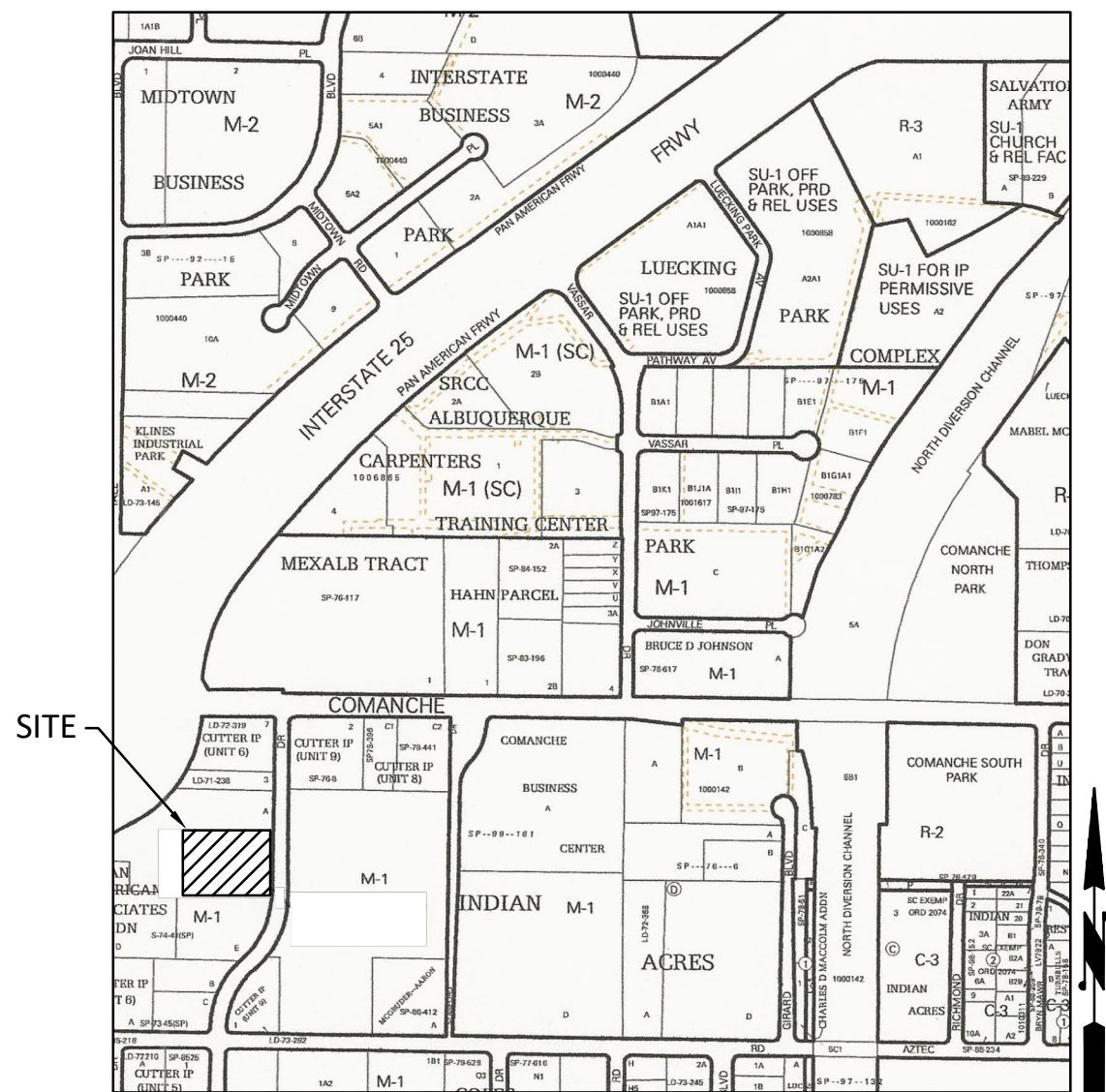
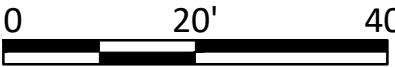
- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# GRADING PLAN

$$1'' = 20$$


## VICINITY MAP

NOT TO SCALE

## LEGEND

-----	EXISTING CONTOUR LINE
-----	NEW CONTOUR LINE
FF = 5084.03	FINISH FLOOR ELEVATION
◆ 83.5	NEW SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
TA	TOP OF ASPHALT
TSW	TOP OF SIDEWALK

## KEYED NOTES

**(A) 12" BY FULL WIDTH OF SIDEWALK TRENCH DRAIN  
(NEENAH R-4999-AX) OR APPROVED EQUAL)**

## DRAINAGE ANALYSIS

ADDRESS: 3545 Princeton Drive NE, Albuquerque, NM

SITE AREA: 105,610 SF (2.4246 acres)  
PROJECT AREA: 16,600 SF (0.38 acres)

BENCHMARK: City of Albuquerque Station 'CANDELARIA' being a brass cap  
ELEV= 5090.846 (NAVD 1988)

SURVEYOR: The Survey Office dated June, 2016

### PRECIPITATION ZONE: 2

FLOOD HAZARD: FEMA Map 35001C0351H (8/16/12), identifies this site is within Zone 'X' which is located outside the 0.2% annual chance floodplain.

**EXISTING CONDITIONS:** The site is an existing 23,900 SF building and asphalt parking area that slopes down from the west to the east. It currently freely discharges to Princeton Drive NE.

**OFFSITE FLOW:** No offsite flows enter this site.

**PROPOSED IMPROVEMENTS:** The proposed improvements include a 3,790 SF addition to the east side of the building, accessible and standard parking spaces, and associated landscaping. These improvements are proposed in an area where it is entirely asphalt paving today.

**DRAINAGE APPROACH:** The site drainage pattern will remain unchanged as the site will continue to drain to the east side per historic conditions.

Existing land treatment: 100% D   Precipitation Zone: 2  
 $Q = (4.37)(2.425) = 10.6 \text{ CFS}$

Proposed land treatment: 3% C and 97% D  
 $Q = [(0.03)(2.87) + (0.97)(4.37)](2.425) = 10.5 \text{ CFS}$

First flush  $V = (166,490)(0.34/12) = 4,717$  CF

The proposed landscape area will not contain the first flush volume for the entire site, but will provide runoff storage for a portion of the asphalt parking located south of the addition. Site runoff will not increase and there will be no adverse impact on downstream drainage facilities.

G. DONALD DUDLEY AIA

ARCHITECT  
ARCHITECTURE INTERIORS PLANNING  
AIA NCARB LEED AP



ALBUQUERQUE WINNELSON

3545 PRINCETON DR NE

Albuquerque, NM 87107

[illegible]

GDDA PROJECT NO:  
15-111

DATE: 10.10.2016

DRAWN BY: CB

CHECKED BY: SM

SET NO:

SHEET TITLE:

## GRADING PLAN

# C101





# City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

G16D152

Project Title: WINNELSON ALBUQUERQUE Building Permit #: \_\_\_\_\_ City Drainage #: G-16  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 2 CUTTER INDUSTRIAL PARK UNIT 6  
City Address: 3545 PRINCETON DRIVE NE  
Engineering Firm: SMMPE Contact: SCOTT MCGEE  
Address: 9700 TANDAN DR NE  
Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottm.mcgee@gmail.com  
Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: DON DUDLEY Contact: GRAHAM HOGAN  
Address: \_\_\_\_\_  
Phone#: 238-1547 Fax#: \_\_\_\_\_ E-mail: graham@studiogp.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

- ☒ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

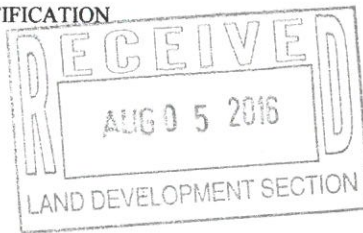
DATE SUBMITTED: 8/5/16 By: Scott McGee

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

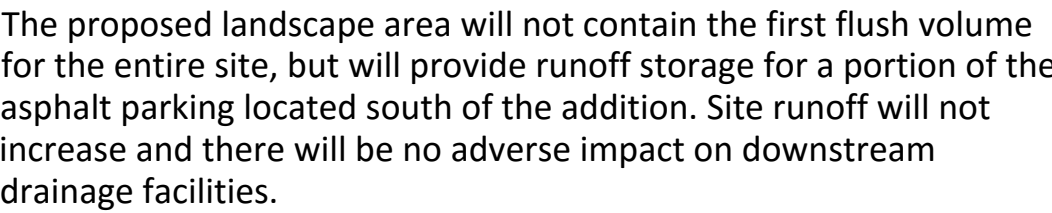
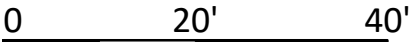
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



\$100.00

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





# C101