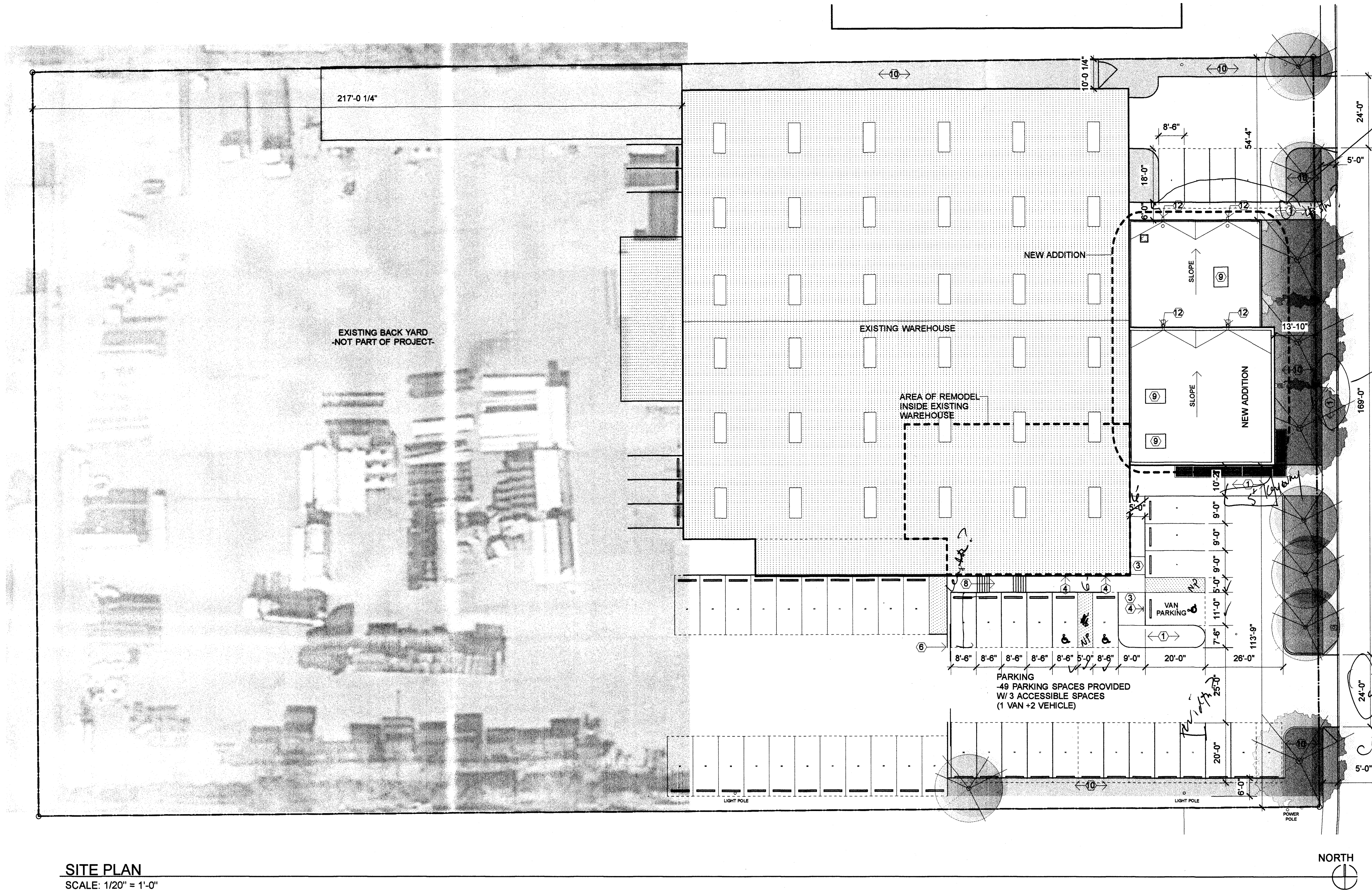




SITE PLAN
SCALE: 1/20" = 1'-0"

1 GENERAL INFORMATION

PROJECT ADDRESS

ALBUQUERQUE WINNELSON
3545 Princeton Dr. NE
Albuquerque, New Mexico 87107

ZONING

M-1

OCCUPANCY GROUP

B (S-2 EXISTING WAREHOUSE)

CONSTRUCTION TYPE

TYPE II-B per 602.2

BUILDING AREA

ADDITION (New)	= 3807 Sq. Ft.
REMODEL (Existing)	= 3585 Sq. Ft.
WAREHOUSE (Existing)	= 19530 Sq. Ft.
TOTAL	= 26922 Sq. Ft.
NUMBER OF FLOORS	= 1
ALLOWABLE AREA	= 31,280 Sq. Ft.

OCCUPANCY LOAD per table 1004.1.2

AREA	S.F.	OCC. LOAD FACTOR	No. OCCUPANTS
Business area (Addition)	3807	100 gross	= 35.85
(Remodel)	3585	100 gross	= 38.07
Warehouse (Existing)	19530	500 gross	= 39.06
TOTAL PROJECT	26,922		= 113

PARKING REQUIREMENTS per 14-16-3-1 A (26)

Retail/ Service	7392sf/ 200sf = 36.96	= 37 spaces
Warehouse	19530sf/2000sf = 9.765	= 10 spaces

Minimum number of designated disabled parking spaces
Total Required off street parking 36 to 50 = 3

TOTAL PARKING REQUIRED

47 required/ 49 Provided
(3 motorcycle) (3-HC (1 Van + 2 Car))

EXECUTIVE SUMMARY

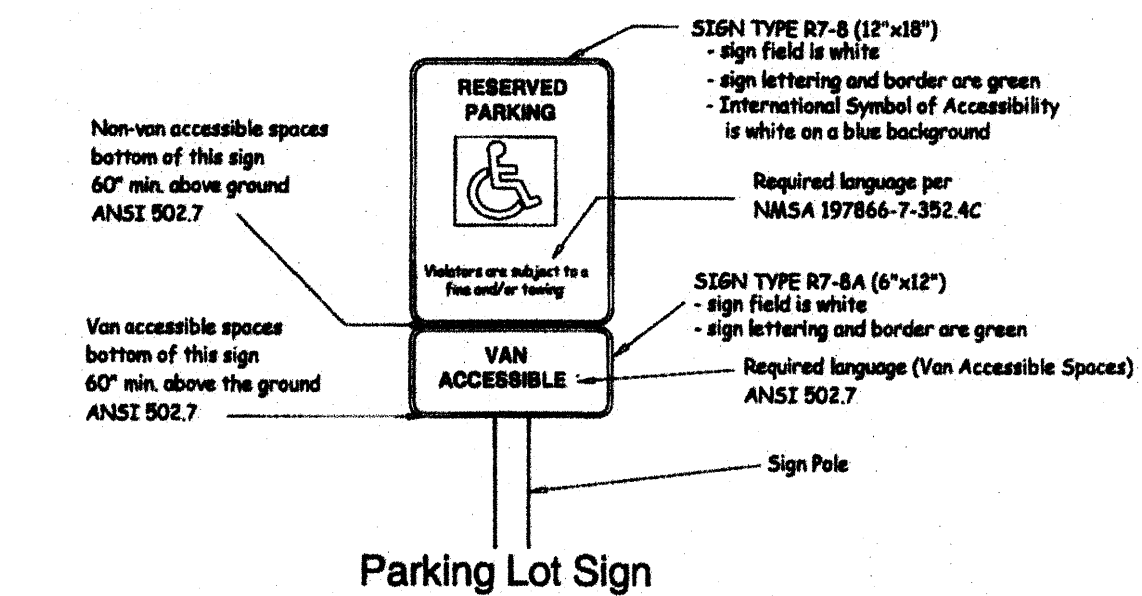
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DRAINAGE

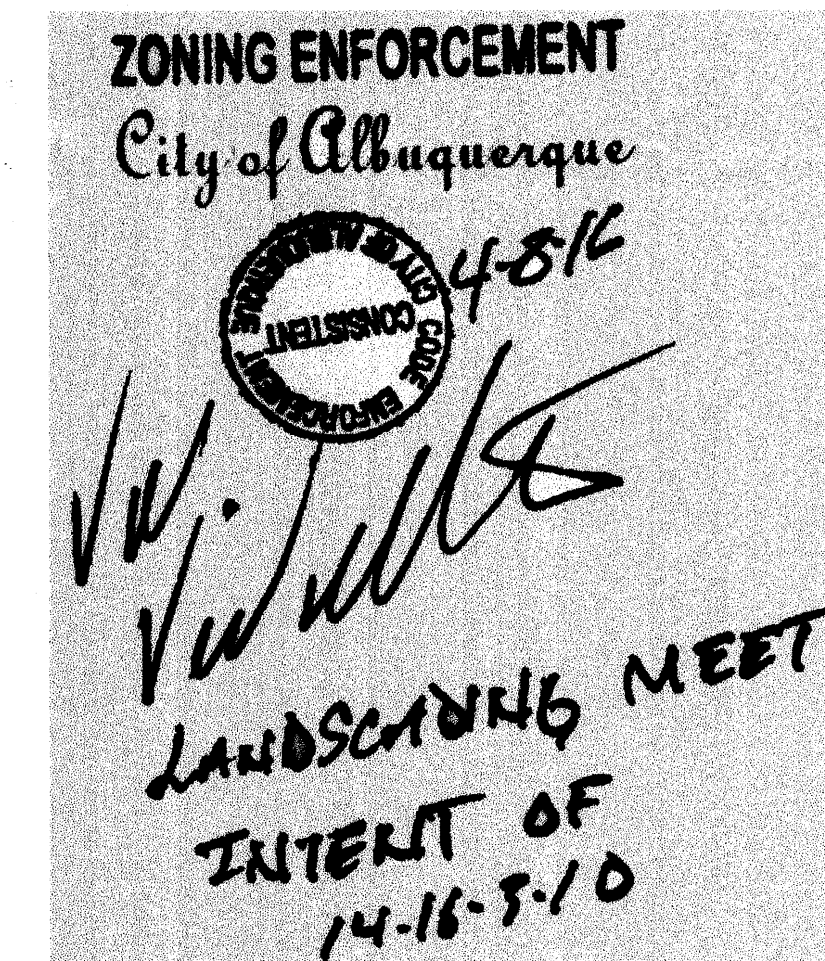
See Civil grading and drainage plans.

SHEET KEYED NOTES

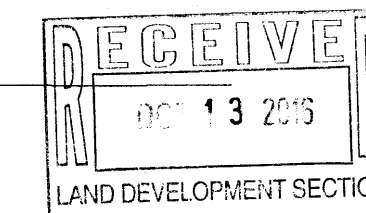
1. NEW 4" CONCRETE SIDEWALK
 2. EXISTING SIDEWALK
-ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB & GUTTER.
 3. ADA ACCESSIBLE RAMPS PER ABQ CITY STANDARDS.
 4. HANDICAPPED PARKING SIGN PER ABQ. STANDARDS (See Drawing Below)
 5. EXISTING CONCRETE VEHICLE RAMP.
 6. CHAINLINK FENCE WITH SLIDING GATE.
 7. CMU STANDARD WASTE ENCLOSURE PER CITY OF ABQ. STANDARDS.
- 8" CONCRETE SLAB W/ CONC. APRON
 8. EXISTING STAIRS
-NOT PART OF PROJECT-
 9. ROOF TOP MECHINCAL
-SEE MECH. DRAWINGS
 10. LANDSCAPING (BY OTHERS)
 11. ROOF DRAINS
 12. ROOF SCUPPERS
- * ALL SIDEWALK WORK TO BE ADA COMPLIANT AND MUST MEET CITY OF ABQ. STANDARDS



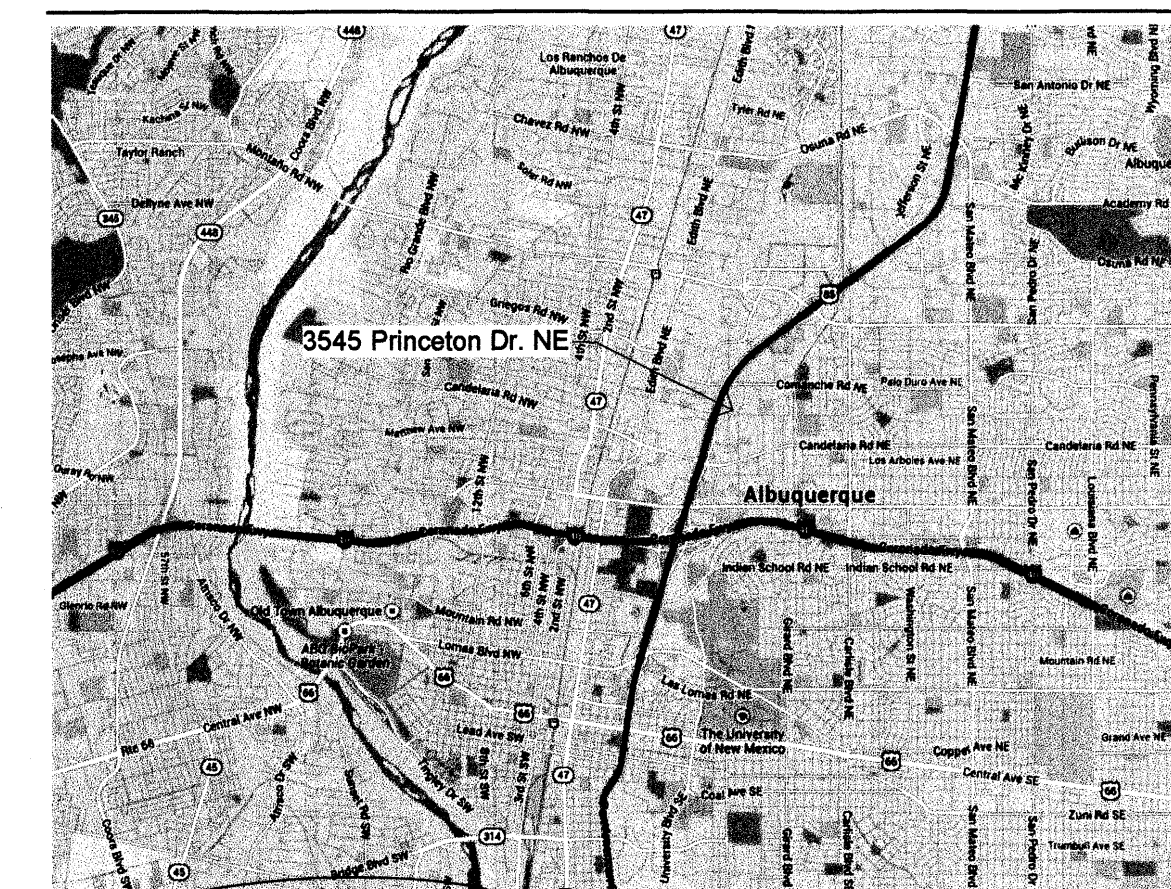
ACCESSIBLE PARKING SIGN



CITY OF ABQ ZONING LANDSCAPE APPROVAL



VICINITY MAP

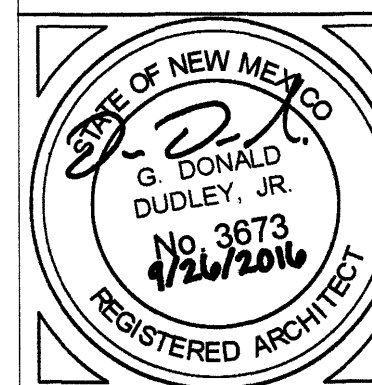


SCALE: N.T.S.

NORTH

SIMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
8 7 1 0 2
TEL 505.243.8100

G. DONALD DUDLEY AIA
ARCHITECT
ARCHITECTURE INTERIORS PLANNING
AIA NCARB LEED AP



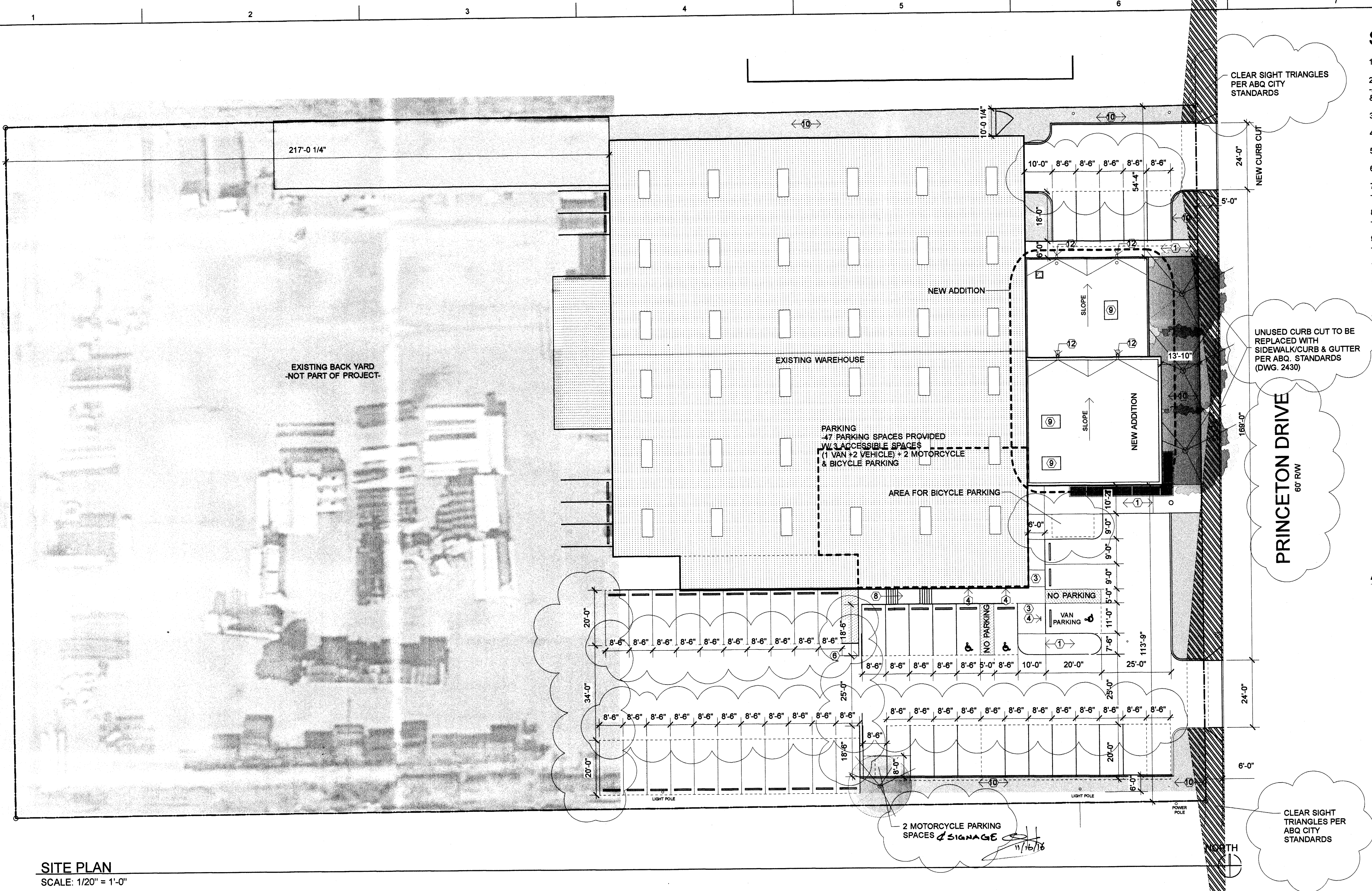
PROJECT NAME:
ALBUQUERQUE WINNELSON
3545 PRINCETON DR NE
Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDDA PROJECT NO:
15-111
DATE: 10.10.2016
DRAWN BY: ..
CHECKED BY: ..
SET NO:
SHEET TITLE:

TCL PLAN

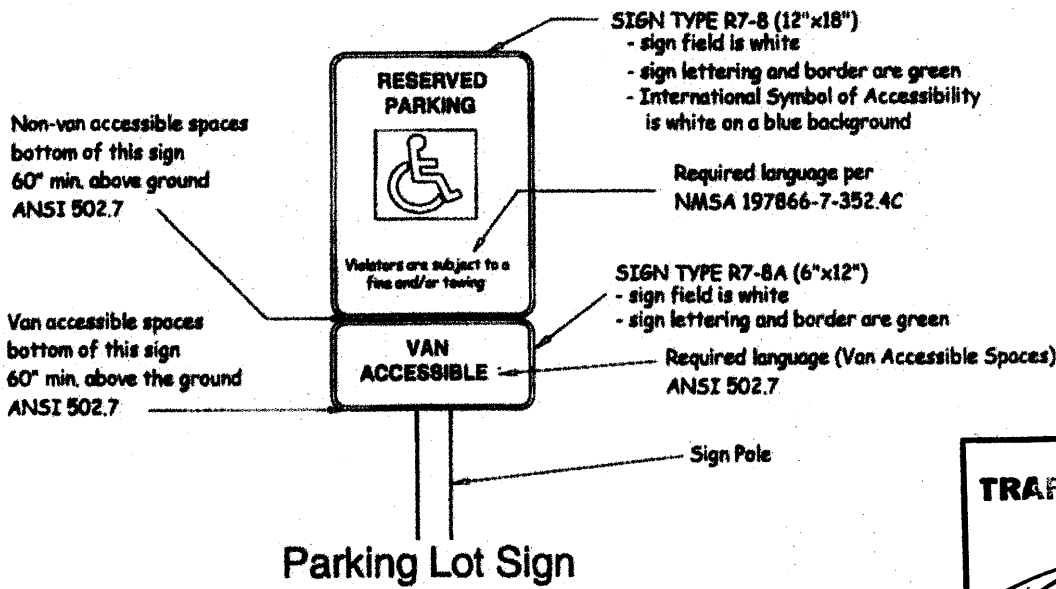
G-002



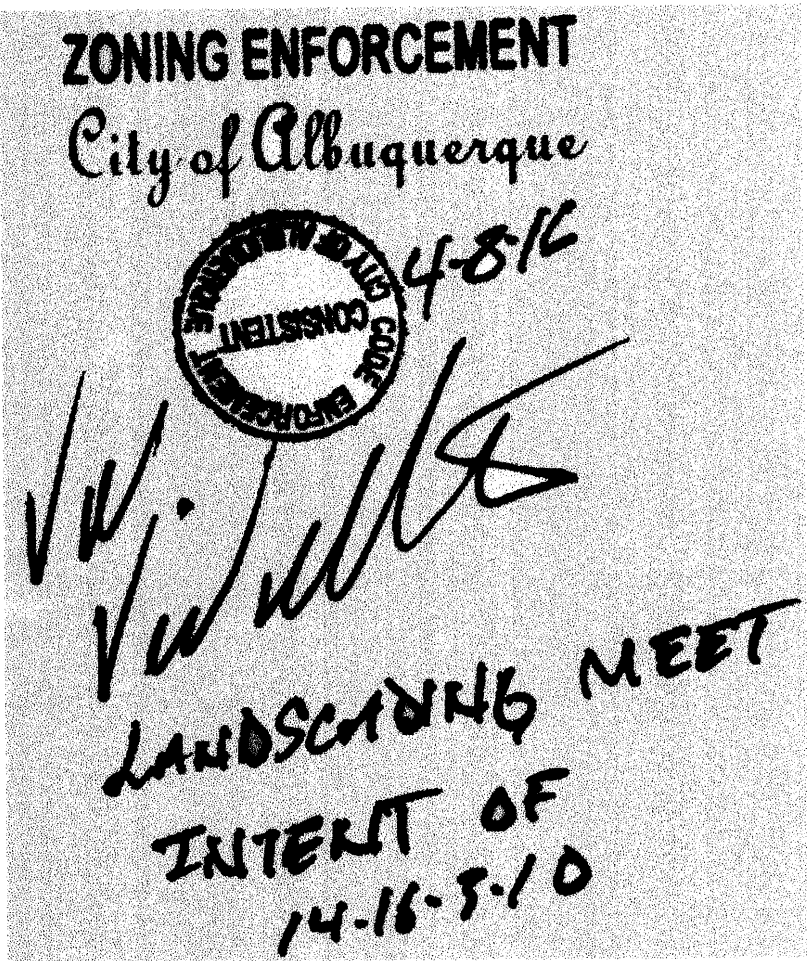
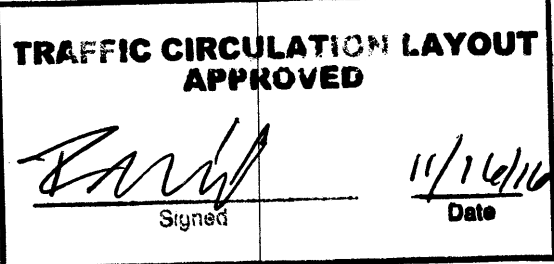
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 12. ROOF SCUPPERS
- * ALL SIDEWALK WORK TO BE ADA COMPLIANT AND MUST MEET CITY OF ABQ. STANDARDS

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

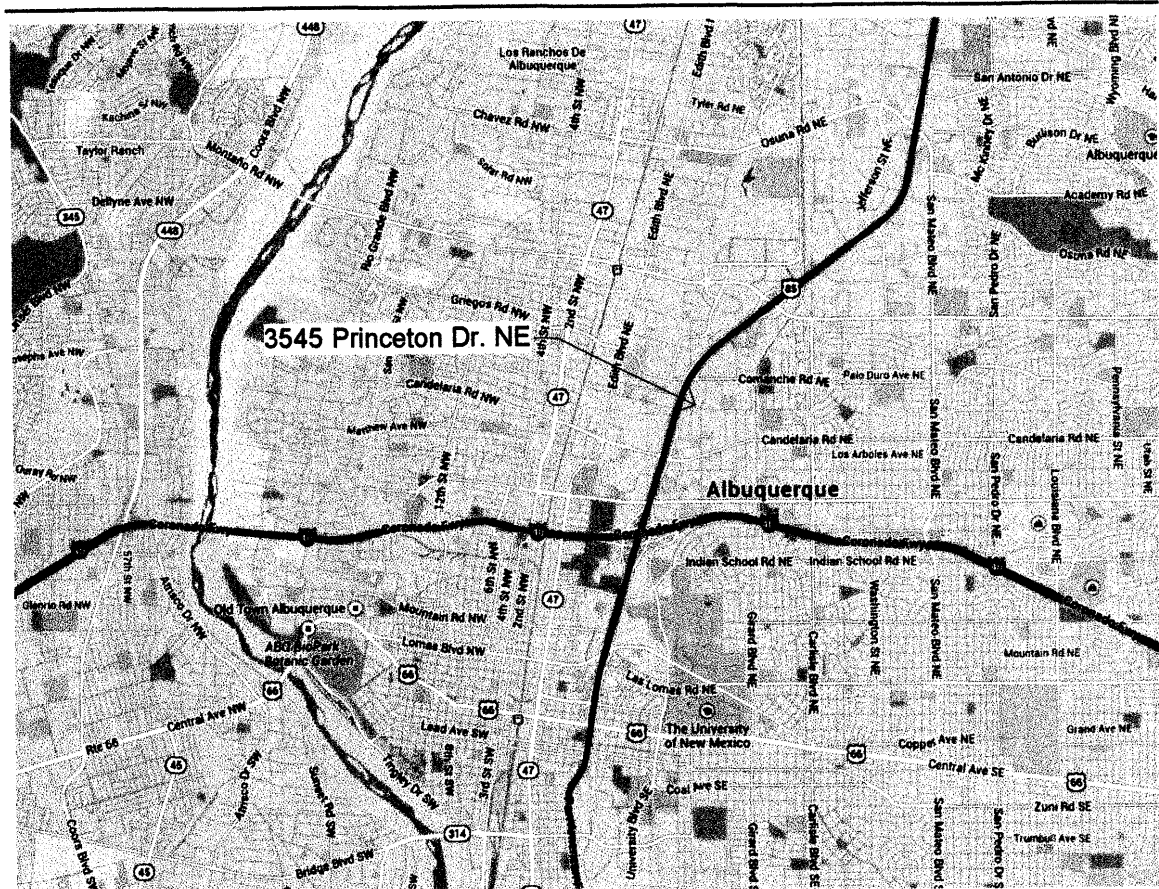


ACCESSIBLE PARKING SIGN



CITY OF ABQ ZONING LANDSCAPE APPROVAL

VICINITY MAP



SCALE: N.T.S.

NORTH

SITE PLAN
SCALE: 1/20" = 1'-0"

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3545 Princeton Dr. NE
Albuquerque, New Mexico 87107

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DRAINAGE

See Civil grading and drainage plans.

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87102
TEL 505.243.6100

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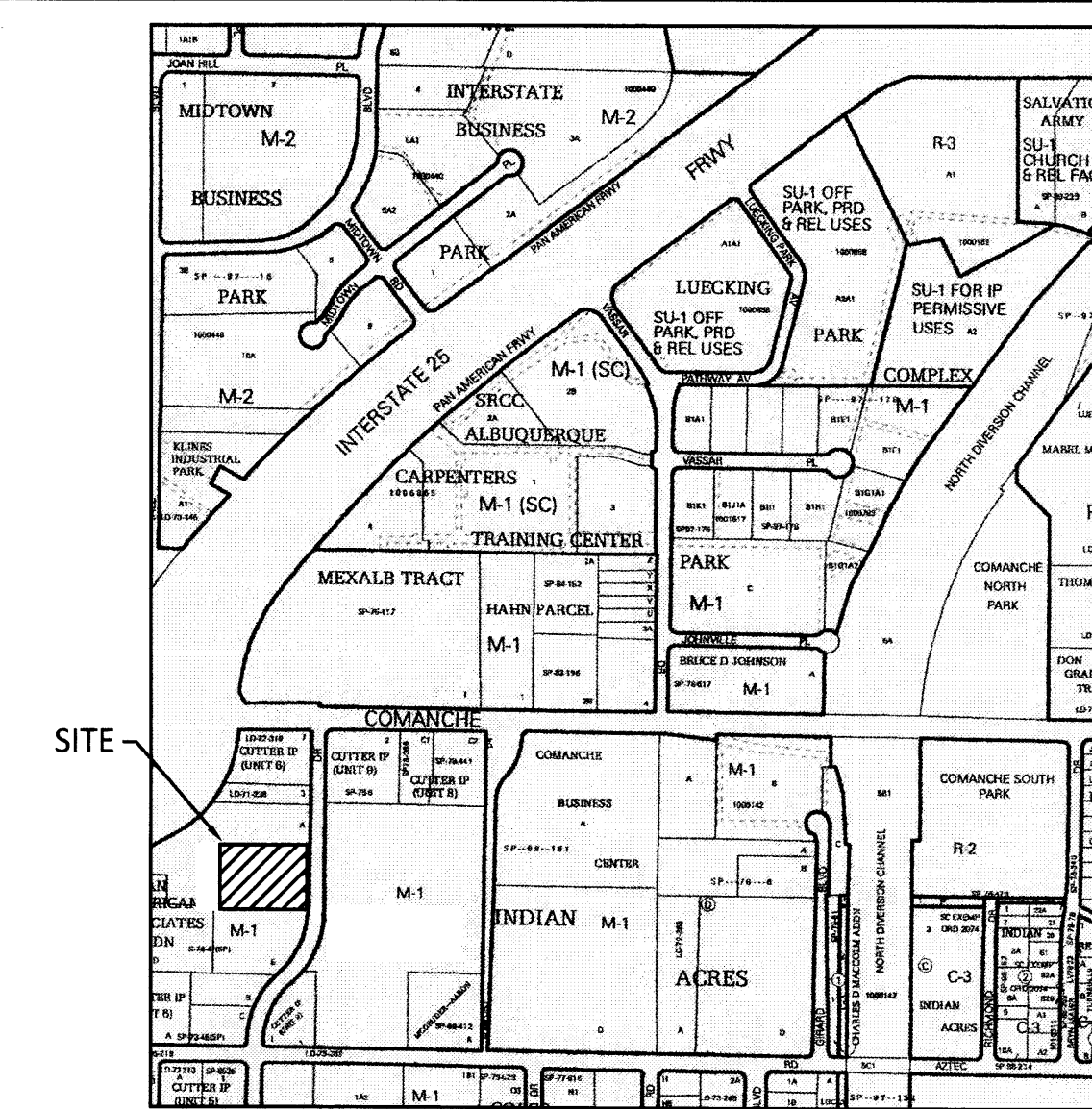
PROJECT NAME:
ALBUQUERQUE WINNELSON
3545 PRINCETON DR NE
Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDDA PROJECT NO:
15-111
DATE: **10.27.2016**
DRAWN BY: ..
CHECKED BY: ..
SET NO:
SHEET TITLE:

TCL PLAN
REVISED 11.11.2016

G-002



G-16

EXISTING CONTOUR LINE
NEW CONTOUR LINE
FINISH FLOOR ELEVATION
NEW SPOT ELEVATION
TOP OF CURB
FLOW LINE
TOP OF ASPHALT
TOP OF SIDEWALK

(A) 12" BY FULL WIDTH OF SIDEWALK TRENCH DRAIN (NEENAH R-4999-AX) OR APPROVED EQUAL

ADDRESS: 3545 Princeton Drive NE, Albuquerque, NM

SITE AREA: 105,610 SF (2.4246 acres)
PROJECT AREA: 16,600 SF (0.38 acres)

BENCHMARK: City of Albuquerque Station 'CANDELARIA' being a
brass cap
ELEV= 5090.846 (NAVD 1988)

SURVEYOR: The Survey Office dated June, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: FEMA Map 35001C0351H (8/16/12), identifies this site is within Zone 'X' which is located outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is an existing 23,900 SF building and asphalt parking area that slopes down from the west to the east. It currently freely discharges to Princeton Drive NE.

OFFSITE FLOW: No offsite flows enter this site

PROPOSED IMPROVEMENTS: The proposed improvements include a 3,790 SF addition to the east side of the building, accessible and standard parking spaces, and associated landscaping. These improvements are proposed in an area where it is entirely asphalt paving today.

DRAINAGE APPROACH: The site drainage pattern will remain unchanged as the site will continue to drain to the east side per historic conditions.

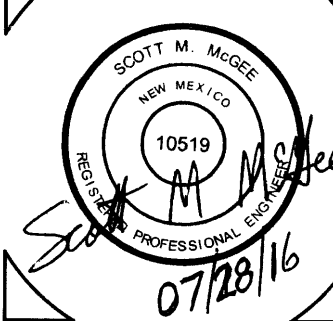
Existing land treatment: 100% D Precipitation Zone: 2
 $Q = (4.37)(2.425) = 10.6 \text{ CFS}$

Proposed land treatment: 3% C and 97% D
 $Q = [(0.03)(2.87) + (0.97)(4.37)](2.425) = 10.5 \text{ CFS}$

First flush $V = (166,490)(0.34/12) = 4.717$ CF

The proposed landscape area will not contain the first flush volume for the entire site, but will provide runoff storage for a portion of the asphalt parking located south of the addition. Site runoff will not increase and there will be no adverse impact on downstream drainage facilities.

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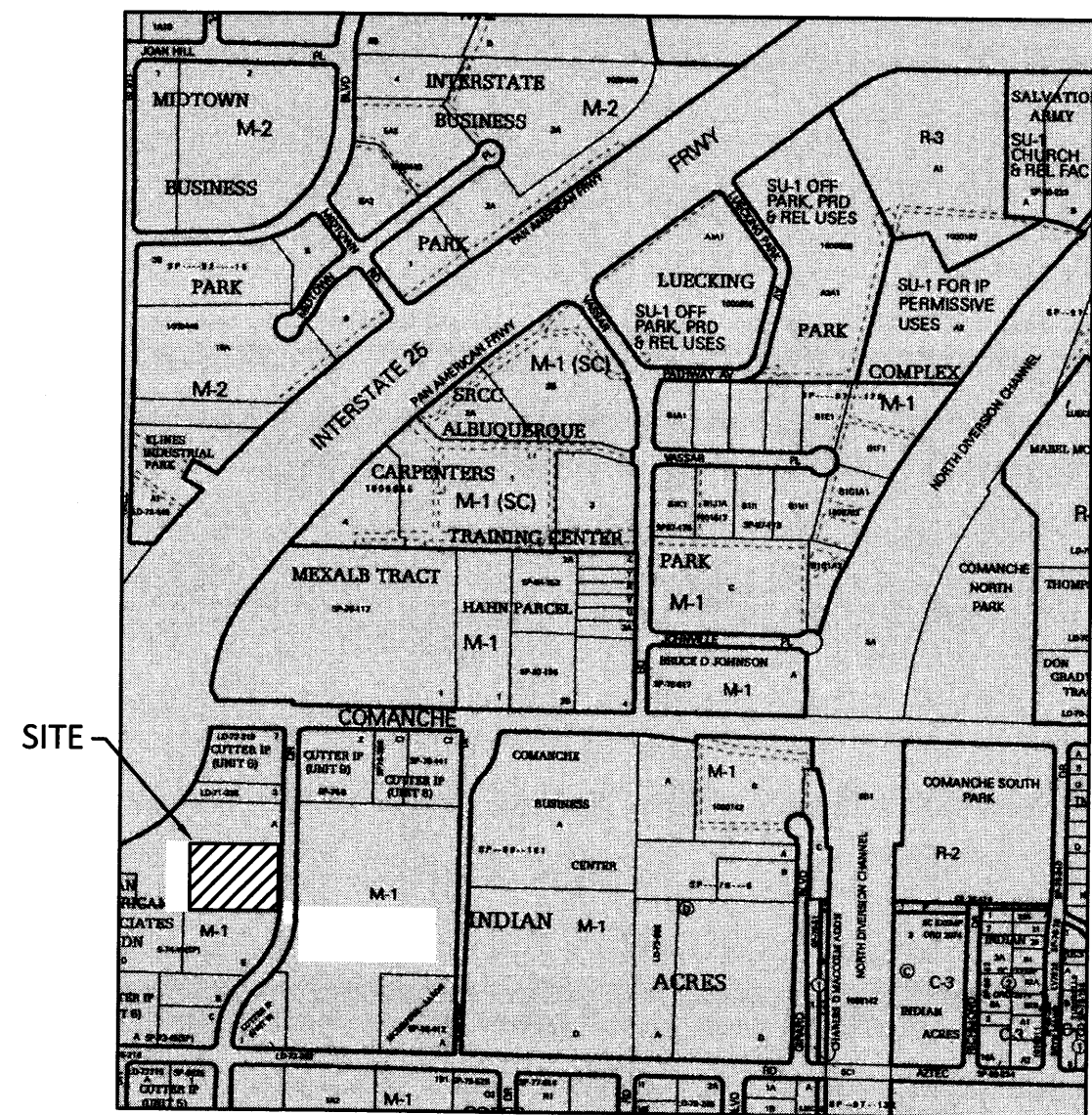
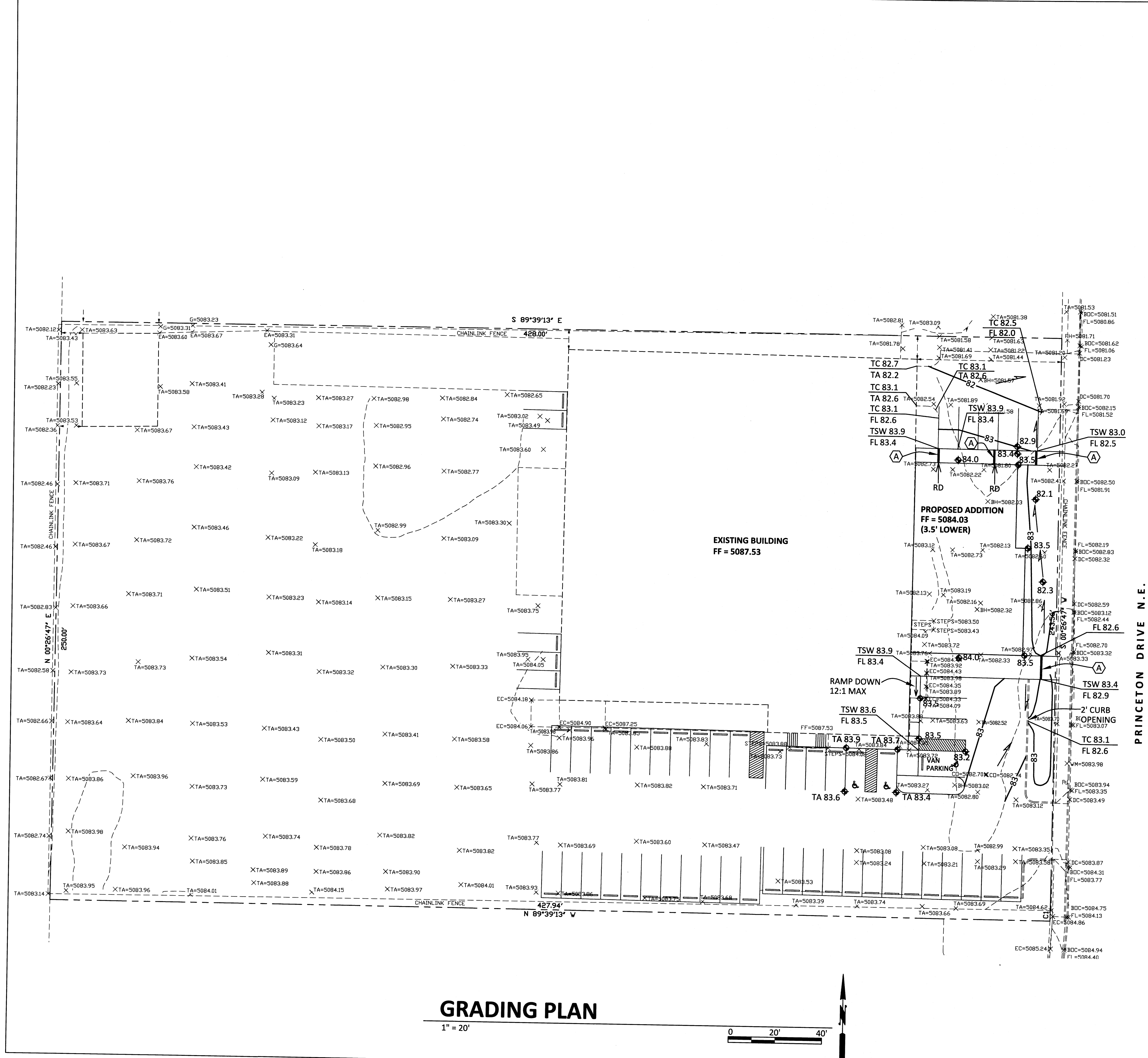


ALBUQUERQUE WINNELSON
3545 PRINCETON DR NE
Albuquerque, NM 87107

[illegible]

GRADING PLAN

C101



VICINITY MAP
NOT TO SCALE

LEGEND	
---	EXISTING CONTOUR LINE
---	NEW CONTOUR LINE
FF = 5084.03	FINISH FLOOR ELEVATION
83.5	NEW SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
TA	TOP OF ASPHALT
TSW	TOP OF SIDEWALK

KEYED NOTES

(A) 12" BY FULL WIDTH OF SIDEWALK TRENCH DRAIN (NEENAH R-4999-AX) OR APPROVED EQUAL)

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PROJECT NAME:
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Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDDA PROJECT NO: 15-111
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DRAWN BY: CB
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SHEET TITLE:

GRADING PLAN

C101