

CITY OF ALBUQUERQUE



November 16, 2016

Don Dudley R.A.
400 Gold Ave SW Suite 850
Albuquerque, NM 87043

Re: Winnelson Wake House Remodel Addition
3545 Princeton Dr NE
Traffic Circulation Layout
Architect's Stamp dated 09-26-16 (G16D152)

Dear Mr. Dudley,

The TCL submittal received 11-14-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

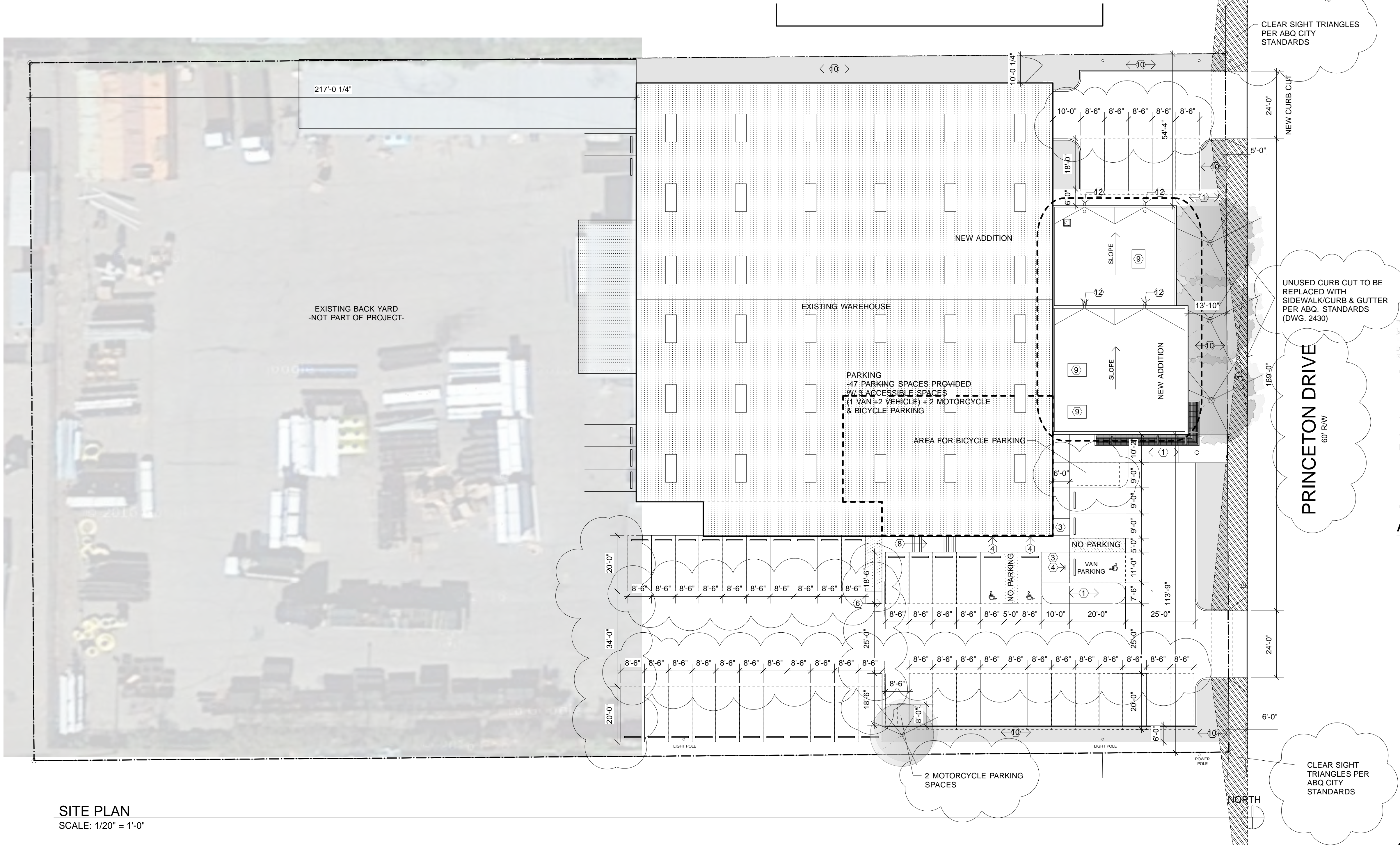
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

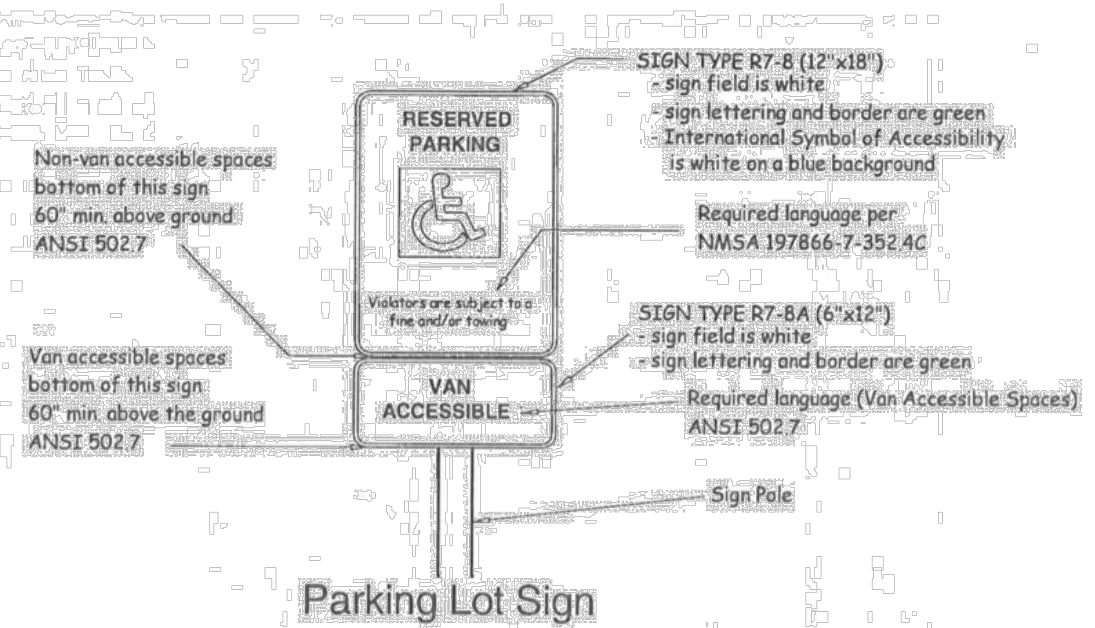
Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: File

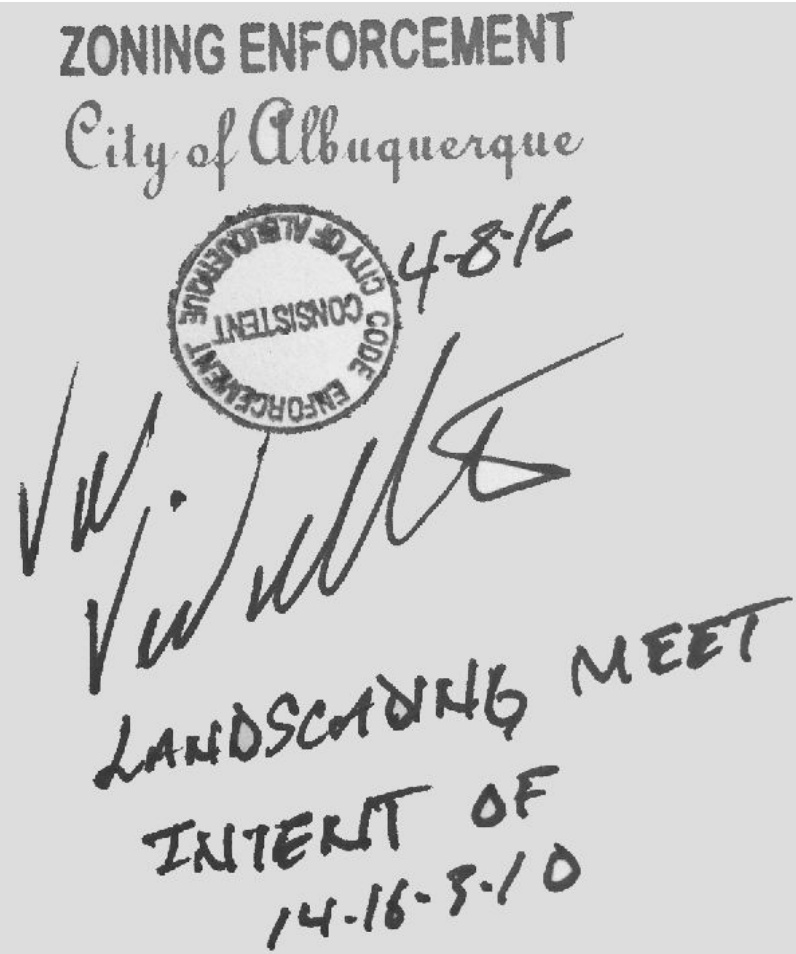


SHEET KEYED NOTES

1. NEW 4" CONCRETE SIDEWALK
 2. EXISTING SIDEWALK
-ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB & GUTTER.
 3. ADA ACCESSIBLE RAMPS PER ABQ CITY STANDARDS.
 4. HANDICAPPED PARKING SIGN PER ABQ. STANDARDS (See Drawing Below)
 5. EXISTING CONCRETE VEHICLE RAMP.
 6. CHAINLINK FENCE WITH SLIDING GATE.
 7. CMU STANDARD WASTE ENCLOSURE PER CITY OF ABQ. STANDARDS.
-6" CONCRETE SLAB W/ CONC. APRON
 8. EXISTING STAIRS
-NOT PART OF PROJECT.
 9. ROOF TOP MECHICAL
-SEE MECH. DRAWINGS
 10. LANDSCAPING (BY OTHERS)
 11. ROOF DRAINS
 12. ROOF SCUPPERS
- * ALL SIDEWALK WORK TO BE ADA COMPLIANT AND MUST MEET CITY OF ABQ. STANDARDS

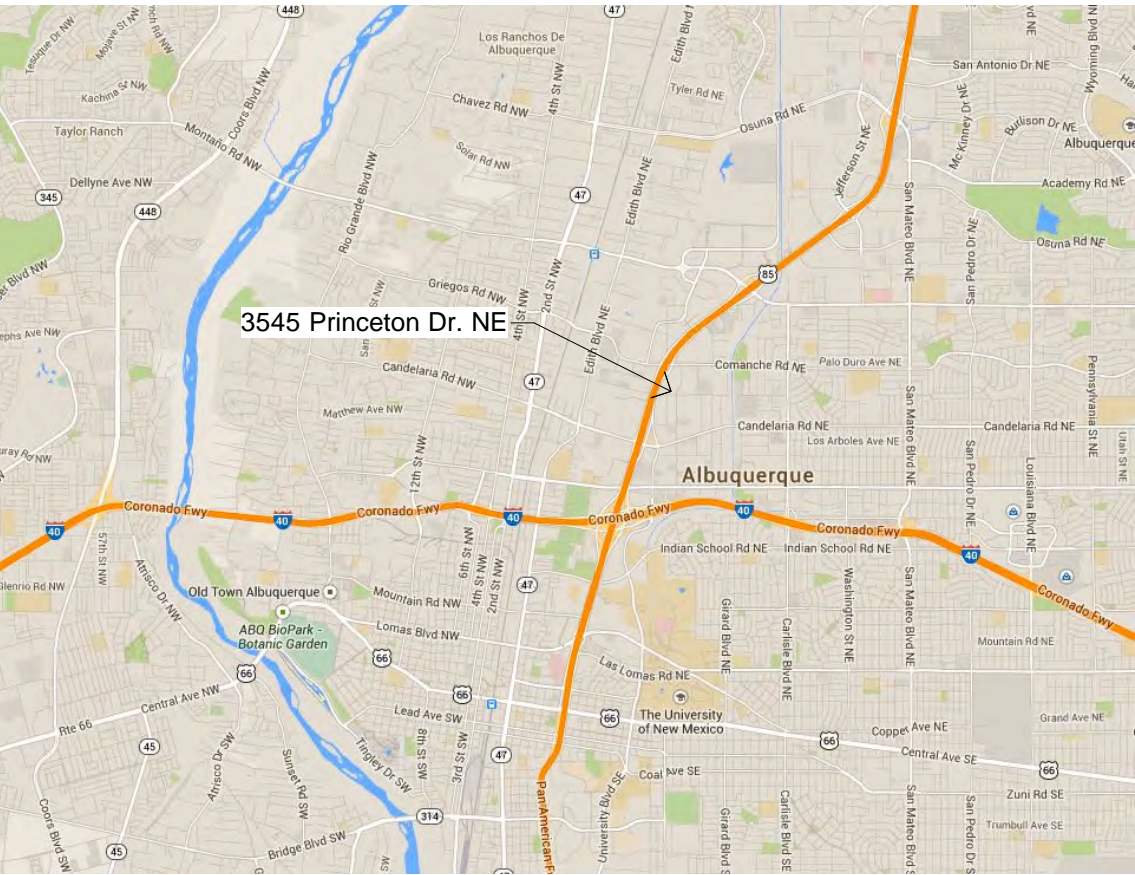


ACCESSIBLE PARKING SIGN



CITY OF ABQ ZONING LANDSCAPE APPROVAL

VICINITY MAP



SCALE: N.T.S

NORTH

SITE PLAN

SCALE: 1/20" = 1'-0"

1 GENERAL INFORMATION

PROJECT ADDRESS

ALBUQUERQUE WINNELSON
3545 Princeton Dr. NE
Albuquerque, New Mexico 87107

ZONING

M-1

OCCUPANCY GROUP

B (S-2 EXISTING WAREHOUSE)

CONSTRUCTION TYPE

TYPE II-B per 602.2

BUILDING AREA

ADDITION (New)	= 3807 Sq. Ft.
REMODEL (Existing)	= 3585 Sq. Ft.
WAREHOUSE (Existing)	= 19530 Sq. Ft.
TOTAL	= 26922 Sq. Ft.
NUMBER OF FLOORS	= 1
ALLOWABLE AREA	= 31,280 Sq. Ft.

OCCUPANCY LOAD

per table 1004.1.2

AREA	S.F.	OCC. LOAD FACTOR	No. OCCUPANTS
Business area (Addition)	3807	100 gross	= 35.85
(Remodel)	3585	100 gross	= 38.07
Warehouse (Existing)	19530	500 gross	= 39.06
TOTAL PROJECT	26,922		= 113

PARKING REQUIREMENTS

per 14-16-3-1 A (26)

Retail/ Service	7392sf/ 200sf = 36.96	= 37 spaces
Warehouse	19530sf/2000sf = 9.765	= 10 spaces

Minimum number of designated disabled parking spaces

Total Required off street parking 36 to 50 = 3

TOTAL PARKING REQUIRED

47 required/ 47 Provided
(+2 motorcycle) {3-HC (1 Van + 2 Car)}

EXECUTIVE SUMMARY

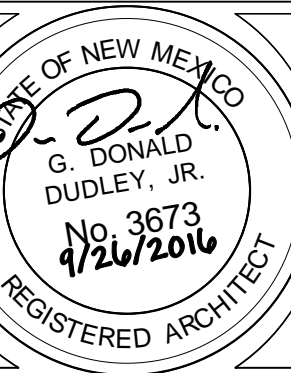
Albuquerque Winnelson is a plumbing supply store that is located at 3545 Princeton Dr. NE in Albuquerque. This project includes a 3585sf remodel of their current office space within the warehouse and an 3807sf addition of a showroom & conference room. The existing paved area to the east of the warehouse will accomodate the new addition, parking and landscaping per City of ABQ. zoning standards.

DRAINAGE

See Civil grading and drainage plans.

SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
877 0 2
TEL 505.243.8100

G. DONALD DUDLEY AIA
ARCHITECT
ARCHITECTURE INTERIORS PLANNING
AIA NCARB LEED AP



PROJECT NAME:
ALBUQUERQUE WINNELSON
3545 PRINCETON DR NE
Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDPA PROJECT NO:

15-111

DATE: 10.27.2016

DRAWN BY: ..

CHECKED BY: ..

SET NO:

SHEET TITLE:

TCL PLAN

REVISED 11.11.2016

G-002