



October 18, 2016

Don Dudley R.A.
400 Gold Ave SW Suite 850
Albuquerque, NM 87043

Re: Winnelson Wake House Remodel Addition
3545 Princeton Dr NE
Traffic Circulation Layout
Architect's Stamp 09-26-16 (G16D152)

Dear Mr. Dudley,

Based upon the information provided in your submittal received 10-13-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width and label on Princeton Dr NE.
2. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
3. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. A 5 ft. keyway is required for dead-end parking aisles.
5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
6. Call out where motorcycle parking and bicycle parking is located on site plan.
7. All sidewalks along streets should be placed at the property line.
8. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
9. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
10. Please specify the City Standard Drawing Number when applicable.
11. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Monica Ortiz', is written over the typed name.

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: File

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