

CITY OF ALBUQUERQUE



October 18, 2016

Don Dudley R.A.
400 Gold Ave SW Suite 850
Albuquerque, NM 87043

Re: Winnelson Wake House Remodel Addition
3545 Princeton Dr NE
Traffic Circulation Layout
Architect's Stamp 09-26-16 (G16D152)

Dear Mr. Dudley,

Based upon the information provided in your submittal received 10-13-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width and label on Princeton Dr NE.
2. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
3. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. A 5 ft. keyway is required for dead-end parking aisles.
5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
6. Call out where motorcycle parking and bicycle parking is located on site plan.
7. All sidewalks along streets should be placed at the property line.
8. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
9. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
10. Please specify the City Standard Drawing Number when applicable.
11. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

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Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

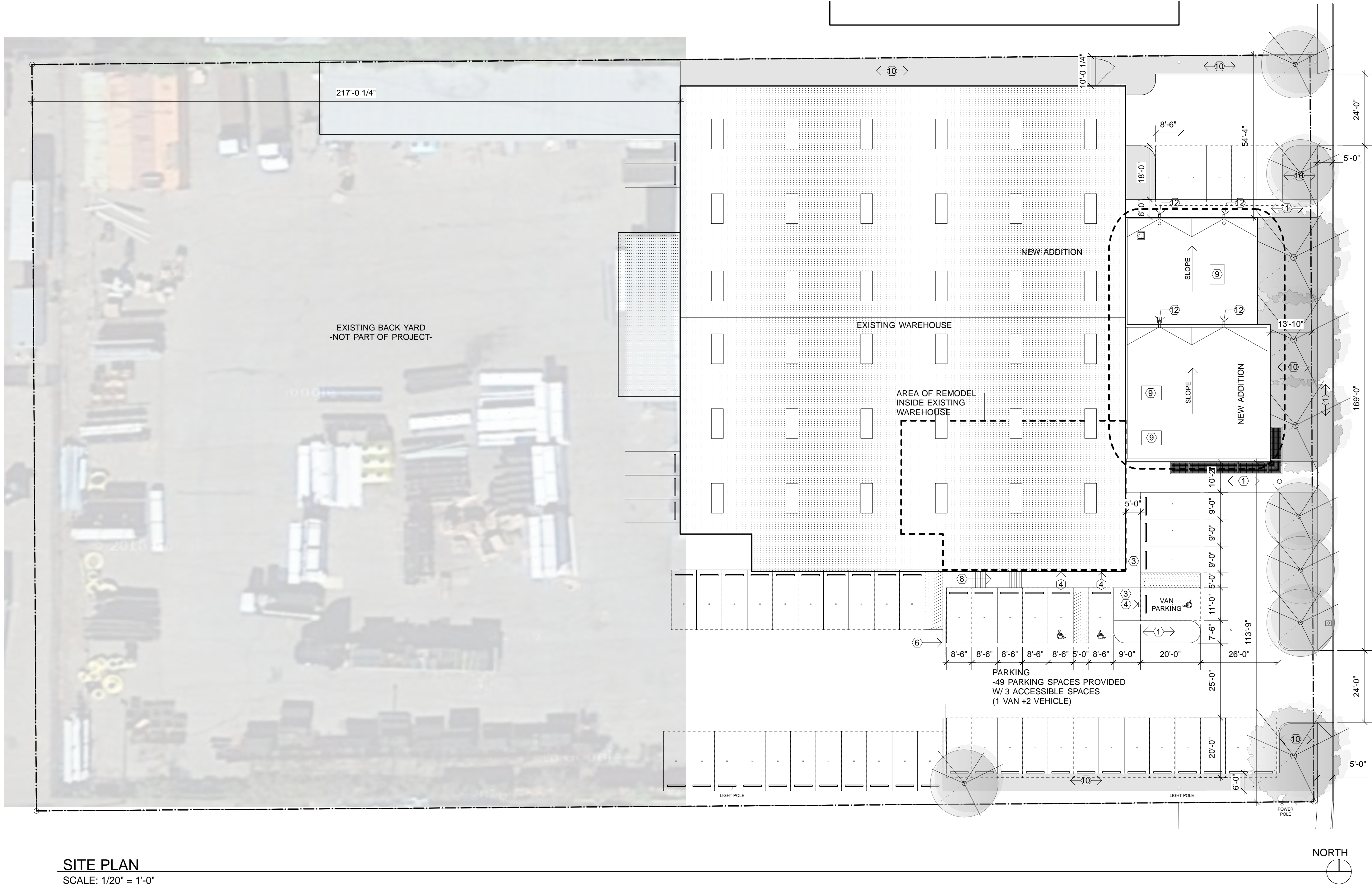
mao via: email
C: File

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SITE PLAN
SCALE: 1/20" = 1'-0"

1 GENERAL INFORMATION

PROJECT ADDRESS

ALBUQUERQUE WINNELSON
3545 Princeton Dr. NE
Albuquerque, New Mexico 87107

ZONING

M-1

OCCUPANCY GROUP

B (S-2 EXISTING WAREHOUSE)

CONSTRUCTION TYPE

TYPE II-B per 602.2

BUILDING AREA

ADDITION (New)	= 3807 Sq. Ft.
REMODEL (Existing)	= 3585 Sq. Ft.
WAREHOUSE (Existing)	= 19530 Sq. Ft.
TOTAL	= 26922 Sq. Ft.
NUMBER OF FLOORS	= 1
ALLOWABLE AREA	= 31,280 Sq. Ft.

OCCUPANCY LOAD

per table 1004.1.2

AREA	S.F.	OCC. LOAD FACTOR	No. OCCUPANTS
Business area (Addition)	3807	100 gross	= 35.85
(Remodel)	3585	100 gross	= 38.07
Warehouse (Existing)	19530	500 gross	= 39.06
TOTAL PROJECT	26,922		= 113

PARKING REQUIREMENTS

per 14-16-3-1 A (26)

Retail/ Service	7392sf/ 200sf = 36.96	= 37 spaces
Warehouse	19530sf/2000sf = 9.765	= 10 spaces

Minimum number of designated disabled parking spaces
Total Required off street parking 36 to 50 = 3

TOTAL PARKING REQUIRED

47 required/ 49 Provided
(3 motorcycle) (3-HC (1 Van + 2 Car))

EXECUTIVE SUMMARY

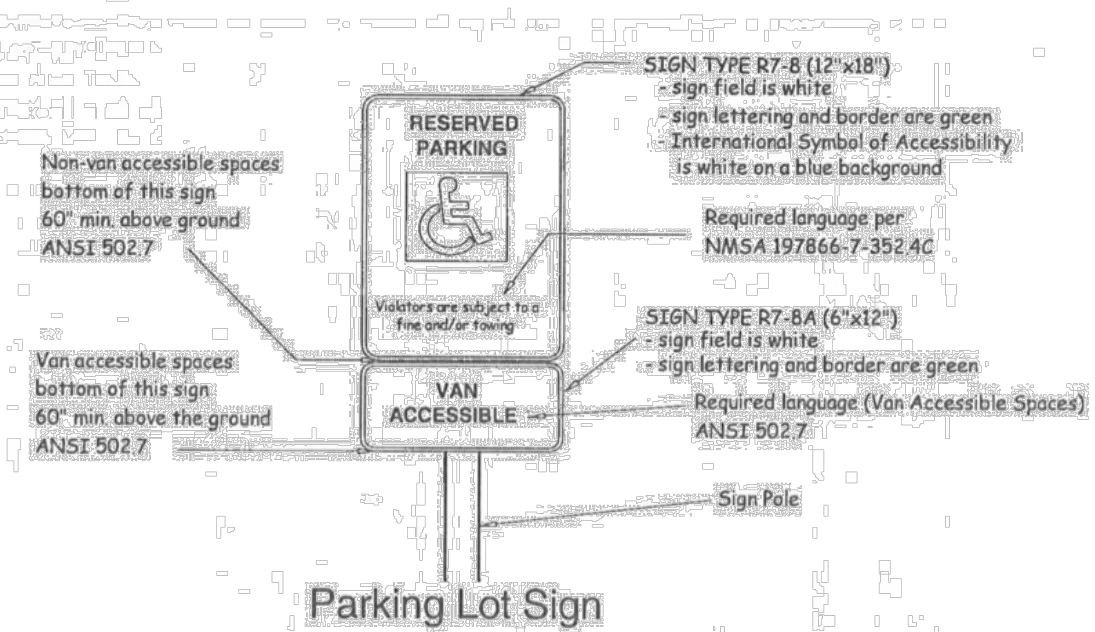
Albuquerque Winnelson is a plumbing supply store that is located at 3545 Princeton Dr. NE in Albuquerque. This project includes a 3585sf remodel of their current office space within the warehouse and an 3807sf addition of a showroom & conference room. The existing paved area to the east of the warehouse will accomodate the new addition, parking and landscaping per City of ABQ. zoning standards.

DRAINAGE

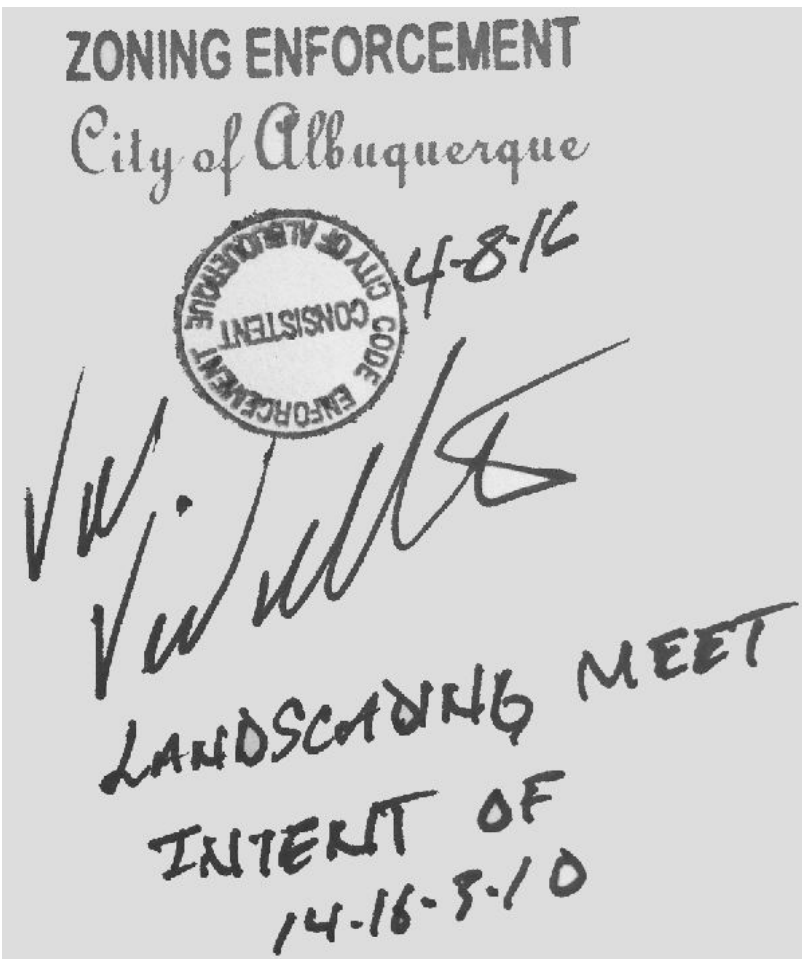
See Civil grading and drainage plans.

SHEET KEYED NOTES

- NEW 4" CONCRETE SIDEWALK
 - EXISTING SIDEWALK
-ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB & GUTTER.
 - ADA ACCESSIBLE RAMPS PER ABQ CITY STANDARDS.
 - HANDICAPPED PARKING SIGN PER ABQ. STANDARDS (See Drawing Below)
 - EXISTING CONCRETE VEHICLE RAMP.
 - CHAINLINK FENCE WITH SLIDING GATE.
 - CMU STANDARD WASTE ENCLOSURE PER CITY OF ABQ. STANDARDS.
-6" CONCRETE SLAB W/ CONC. APRON
 - EXISTING STAIRS
-NOT PART OF PROJECT.
 - ROOF TOP MECHINCAL
-SEE MECH. DRAWINGS
 - LANDSCAPING (BY OTHERS)
 - ROOF DRAINS
 - ROOF SCUPPERS
- * ALL SIDEWALK WORK TO BE ADA COMPLIANT AND MUST MEET CITY OF ABQ. STANDARDS

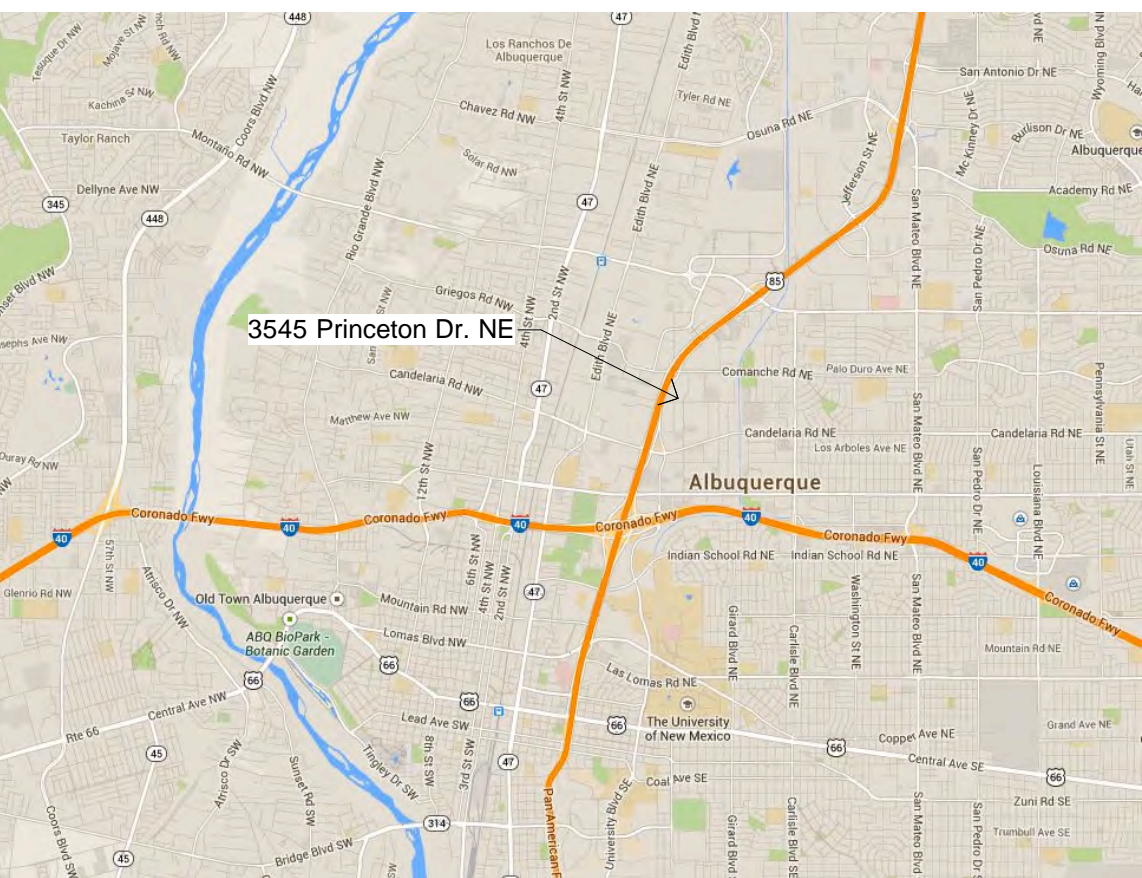


ACCESSIBLE PARKING SIGN



CITY OF ABQ ZONING LANDSCAPE APPROVAL

VICINITY MAP

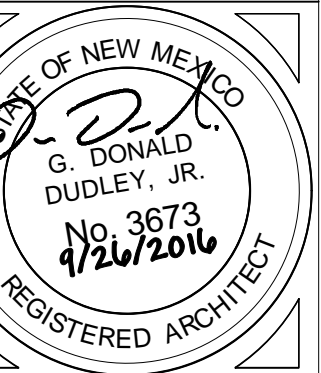


SCALE: N.T.S

NORTH

SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
87020
TEL 505.243.8100

G. DONALD DUDLEY AIA
ARCHITECT
ARCHITECTURE INTERIORS PLANNING
AIA NCARB LEED AP



PROJECT NAME:
ALBUQUERQUE WINNELSON
3545 PRINCETON DR NE
Albuquerque, NM 87107

MARK	DATE	DESCRIPTION

GDDA PROJECT NO:
15-111
DATE: **10.10.2016**
DRAWN BY: ..
CHECKED BY: ..
SET NO:
SHEET TITLE:

TCL PLAN

G-002