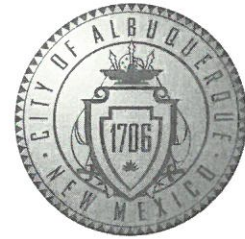


CITY OF ALBUQUERQUE



April 4, 2017

Jeeds & ZuZu LLC
David Hickman
11030 Menaul Blvd
Albuquerque, NM 87112

**Re: Arroyo Vista Apartment
4201 Bryn Mawr DR NE
Traffic Circulation Layout
Architect's Stamp dated 11-04-17 (G16-D153)**

Dear Mr. Hickman,

The TCL submittal received 03-28-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Arroyo Vista Apartments Building Permit #: BP2017-01084 Hydrology File #: GileD153
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Orig Hobbs, Lots 1-24, Block 47, Lot size 2.12 acres
City Address: 4201 Bryn Mawr, Albuquerque NM 87107
Applicant: Jeebs and Zuzu Contact: Edgar
Address: 11030 Menaul Blvd. Suite C 87112
Phone#: 505-797-1318 Fax#: _____ E-mail: edgar@jeebsandzuzu.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?



☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ OTHER (SPECIFY) _____

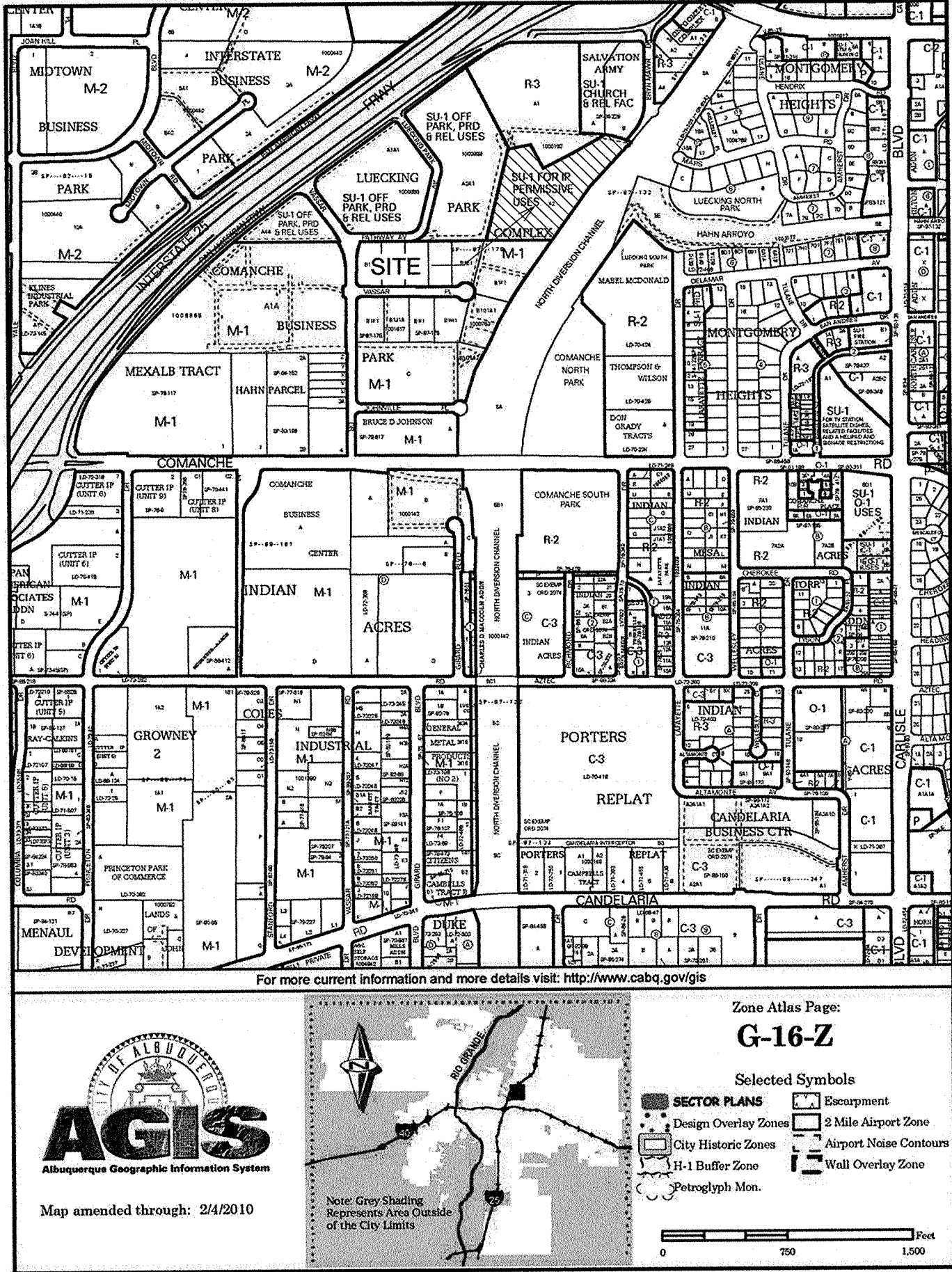
DATE SUBMITTED: 3/28/17 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

VICINITY MAP



GENERAL NOTES:
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE ON THE WORK ORDER.

PROJECT INFORMATION

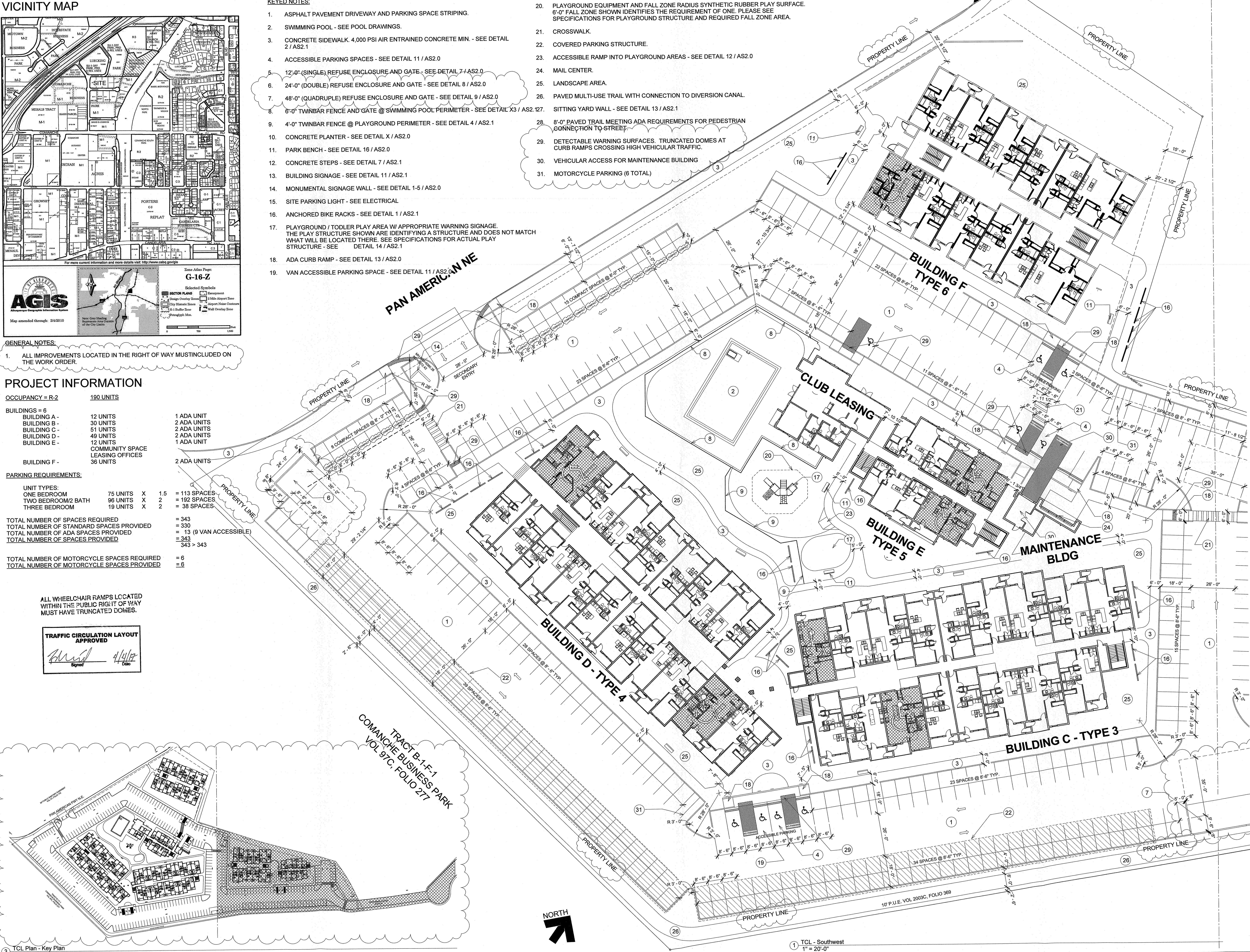
OCCUPANCY = R-2	190 UNITS
BUILDINGS = 6	
BUILDING A -	12 UNITS
BUILDING B -	30 UNITS
BUILDING C -	51 UNITS
BUILDING D -	49 UNITS
BUILDING E -	12 UNITS
BUILDING F -	36 UNITS
COMMUNITY SPACE	
LEASING OFFICES	
1 ADA UNIT	
2 ADA UNITS	
2 ADA UNITS	
1 ADA UNIT	
2 ADA UNITS	
PARKING REQUIREMENTS:	
UNIT TYPES:	
ONE BEDROOM	75 UNITS X 1.5 = 113 SPACES
TWO BEDROOM/2 BATH	96 UNITS X 2 = 192 SPACES
THREE BEDROOM	19 UNITS X 2 = 38 SPACES
TOTAL NUMBER OF SPACES REQUIRED	= 343
TOTAL NUMBER OF STANDARD SPACES PROVIDED	= 330
TOTAL NUMBER OF ADA SPACES PROVIDED	= 13 (9 VAN ACCESSIBLE)
TOTAL NUMBER OF SPACES PROVIDED	= 343
	343 > 343
TOTAL NUMBER OF MOTORCYCLE SPACES REQUIRED	= 6
TOTAL NUMBER OF MOTORCYCLE SPACES PROVIDED	= 6

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED
4/4/17
Signed
Date

- KEYED NOTES:
- ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
 - SWIMMING POOL - SEE POOL DRAWINGS.
 - CONCRETE SIDEWALK, 4,000 PSI AIR ENTRAINED CONCRETE MIN. - SEE DETAIL 2 / AS2.1
 - ACCESSIBLE PARKING SPACES - SEE DETAIL 11 / AS2.0
 - 12'-0" (SINGLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 7 / AS2.0
 - 24'-0" (DOUBLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 8 / AS2.0
 - 48'-0" (QUADRUPLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 9 / AS2.0
 - 6'-0" TWINBAR FENCE AND GATE @ SWIMMING POOL PERIMETER - SEE DETAIL X3 / AS2.127.
 - 4'-0" TWINBAR FENCE @ PLAYGROUND PERIMETER - SEE DETAIL 4 / AS2.1
 - CONCRETE PLANTER - SEE DETAIL X / AS2.0
 - PARK BENCH - SEE DETAIL 16 / AS2.0
 - CONCRETE STEPS - SEE DETAIL 7 / AS2.1
 - BUILDING SIGNAGE - SEE DETAIL 11 / AS2.1
 - MONUMENTAL SIGNAGE WALL - SEE DETAIL 1-5 / AS2.0
 - SITE PARKING LIGHT - SEE ELECTRICAL
 - ANCHORED BIKE RACKS - SEE DETAIL 1 / AS2.1
 - PLAYGROUND / TODDLER PLAY AREA W/ APPROPRIATE WARNING SIGNAGE. THE PLAY STRUCTURE SHOWN ARE IDENTIFYING A STRUCTURE AND DOES NOT MATCH WHAT WILL BE LOCATED THERE. SEE SPECIFICATIONS FOR ACTUAL PLAY STRUCTURE - SEE DETAIL 14 / AS2.1
 - ADA CURB RAMP - SEE DETAIL 13 / AS2.0
 - VAN ACCESSIBLE PARKING SPACE - SEE DETAIL 11 / AS2.0

- PLAYGROUND EQUIPMENT AND FALL ZONE RADIUS SYNTHETIC RUBBER PLAY SURFACE. 6'-0" FALL ZONE SHOWN IDENTIFIES THE REQUIREMENT OF ONE. PLEASE SEE SPECIFICATIONS FOR PLAYGROUND STRUCTURE AND REQUIRED FALL ZONE AREA.
- CROSSWALK.
- COVERED PARKING STRUCTURE.
- ACCESSIBLE RAMP INTO PLAYGROUND AREAS - SEE DETAIL 12 / AS2.0
- MAIL CENTER.
- LANDSCAPE AREA.
- PAVED MULTI-USE TRAIL WITH CONNECTION TO DIVERSION CANAL.
- SITTING YARD WALL - SEE DETAIL 13 / AS2.1
- 8'-0" PAVED TRAIL MEETING ADA REQUIREMENTS FOR PEDESTRIAN CONNECTION TO STREET.
- DETECTABLE WARNING SURFACES, TRUNCATED DOMES AT CURB RAMPS CROSSING HIGH VEHICULAR TRAFFIC.
- VEHICULAR ACCESS FOR MAINTENANCE BUILDING
- MOTORCYCLE PARKING (6 TOTAL)



3 TCL Plan - Key Plan
1" = 100'-0"

NEW MEXICO
STATE OF
REGISTERED
PROFESSIONAL
ENGINEER
NO. 1114-16
DAVID
J. JEEB

JEEB & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS
SUITE C
11030 MENAUL NE
ALBUQUERQUE, NM 871132
P. 505-797-1318

job no: 16-010
drawn: EAM
checked: JDH
date: November 4, 2016

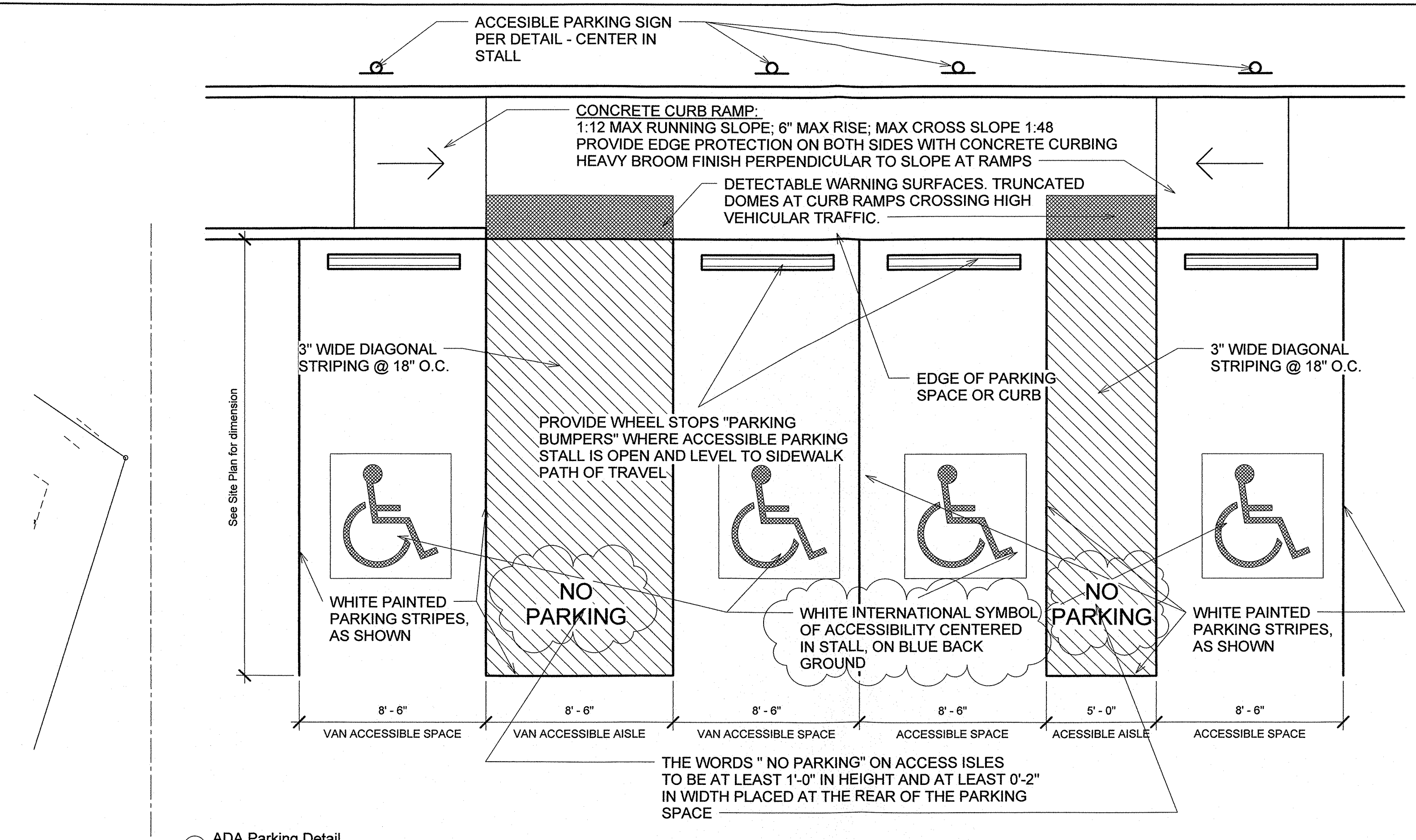
Revisions:
(A1) 3/28/17

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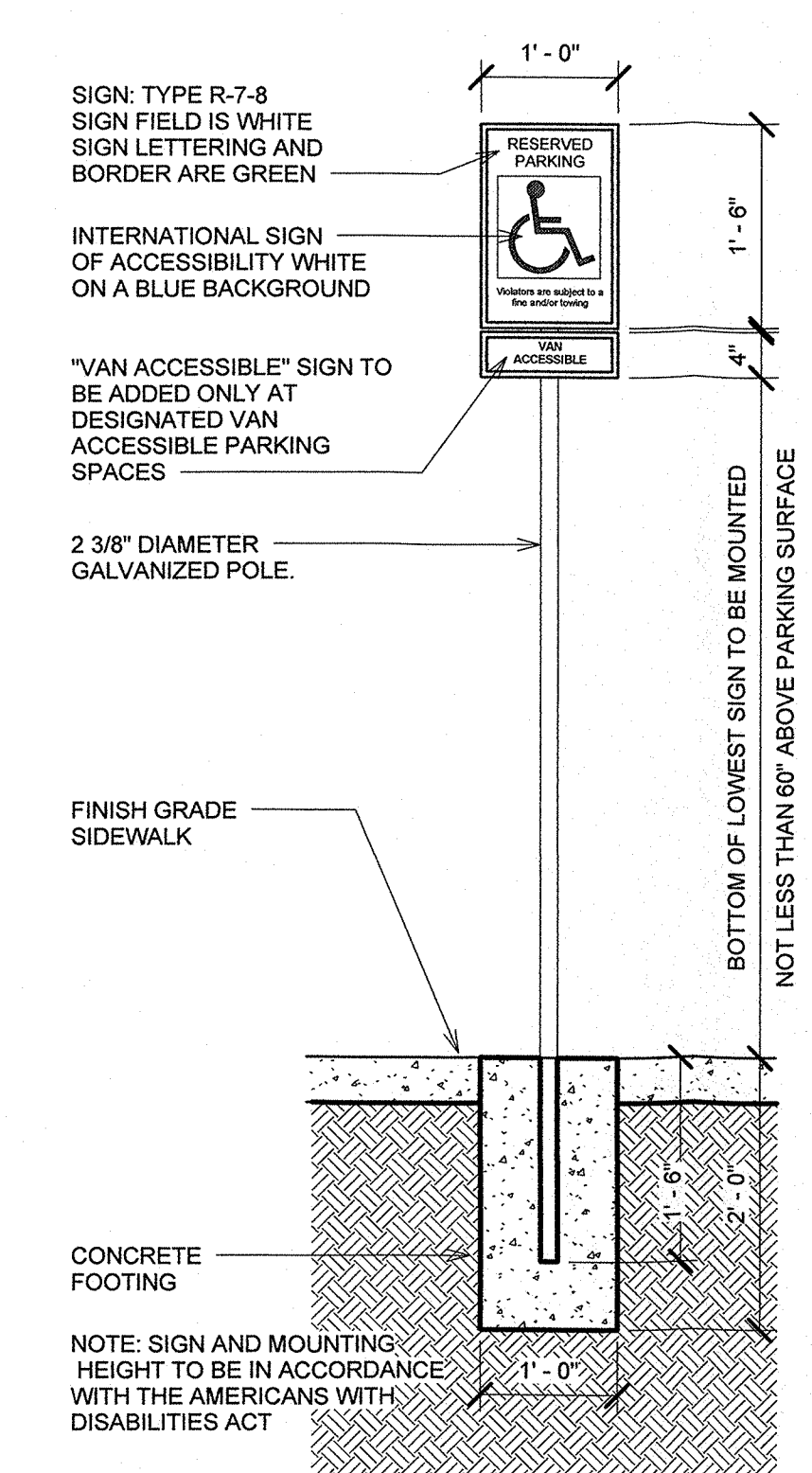
TRAFFIC CONTROL LAYOUT

ARROYO VISTA APARTMENTS
4201 BRYN MAWR DR NE
ALBUQUERQUE, NM 87107

sheet no: TCLI



2 ADA Parking Detail
1/4" = 1'-0"



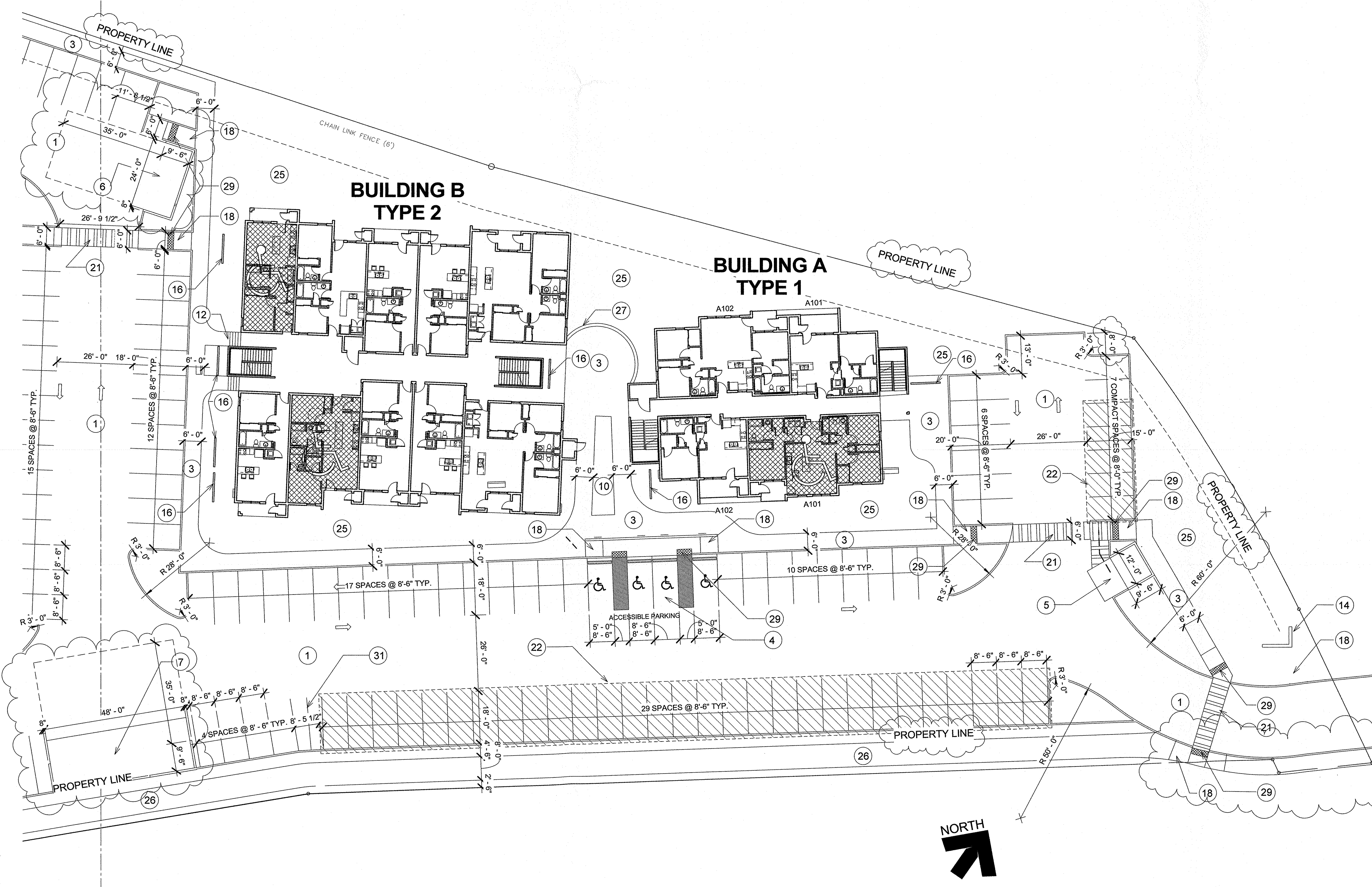
3 Handicap Parking Sign
3/4" = 1'-0"



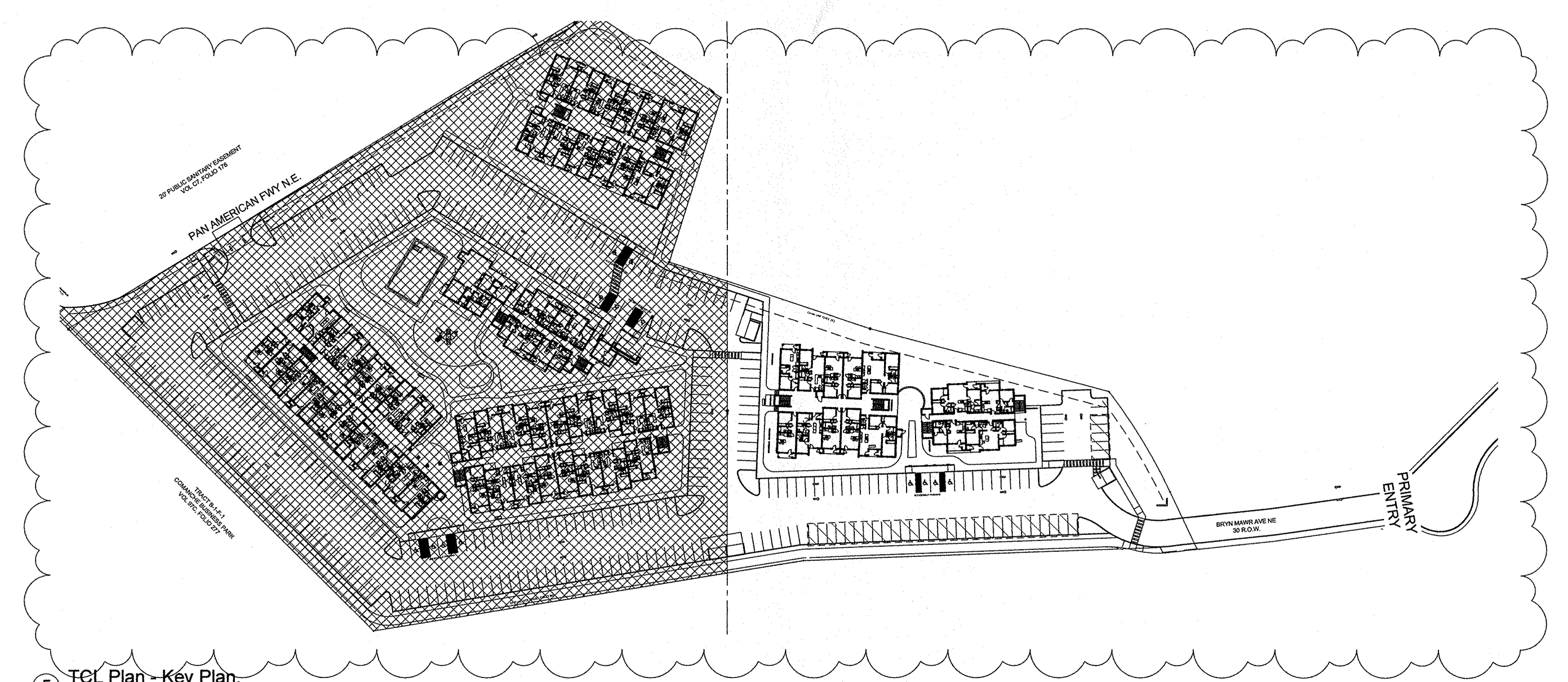
4 Accessible Parking Space Markin
3/4" = 1'-0"

KEYED NOTES:

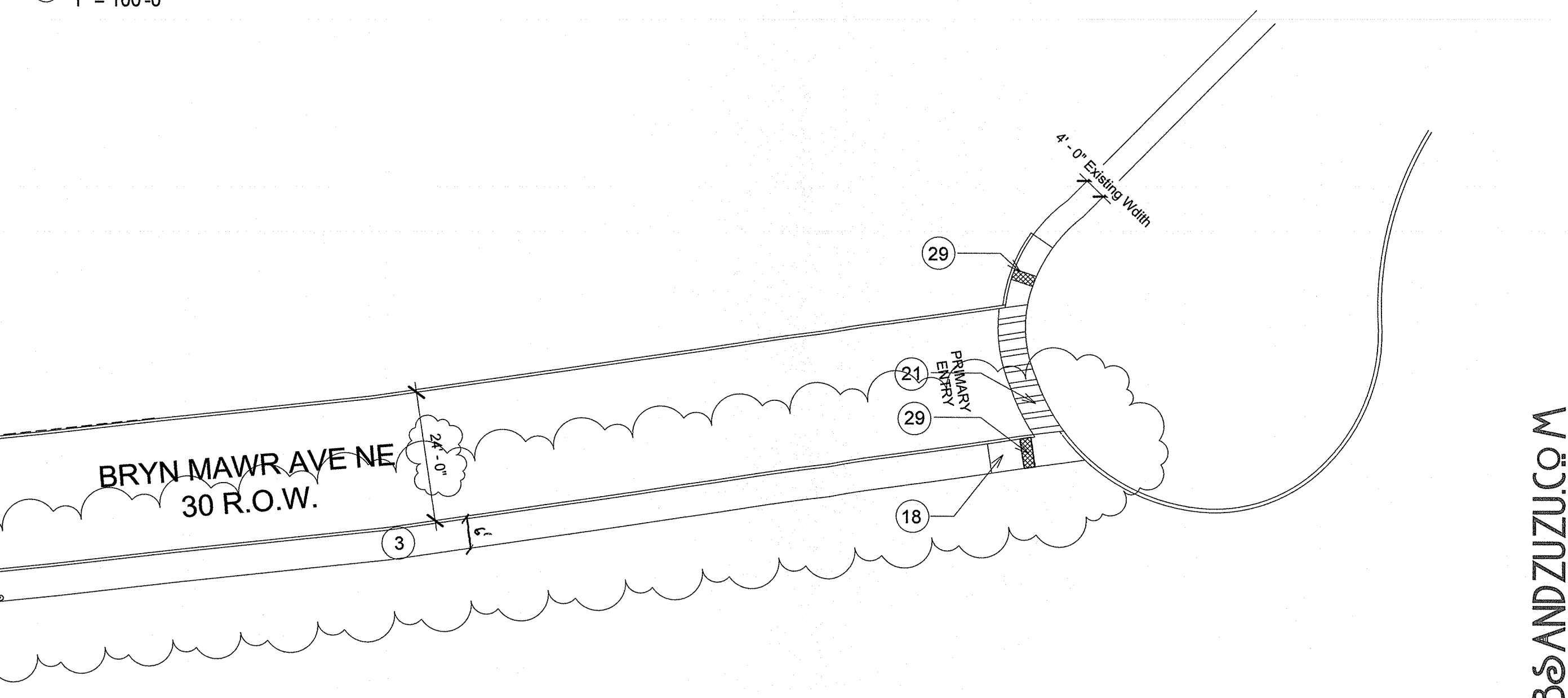
1. ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
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8. 6'-0" TWINBAR FENCE AND GATE @ SWIMMING POOL PERIMETER - SEE DETAIL X3 / AS2.1
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12. CONCRETE STEPS - SEE DETAIL 7 / AS2.1
13. BUILDING SIGNAGE - SEE DETAIL 11 / AS2.1
14. MONUMENTAL SIGNAGE WALL - SEE DETAIL 1-5 / AS2.0
15. SITE PARKING LIGHT - SEE ELECTRICAL
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24. MAIL CENTER.
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27. SITTING YARD WALL - SEE DETAIL 13 / AS2.1
28. 8'-0" PAVED TRAIL MEETING ADA REQUIREMENTS FOR PEDESTRIAN CONNECTION TO STREET.
29. DETECTABLE WARNING SURFACES. TRUNCATED DOMES AT CURB RAMPS CROSSING HIGH VEHICULAR TRAFFIC.
- 30.
31. MOTORCYCLE PARKING (6 TOTAL)



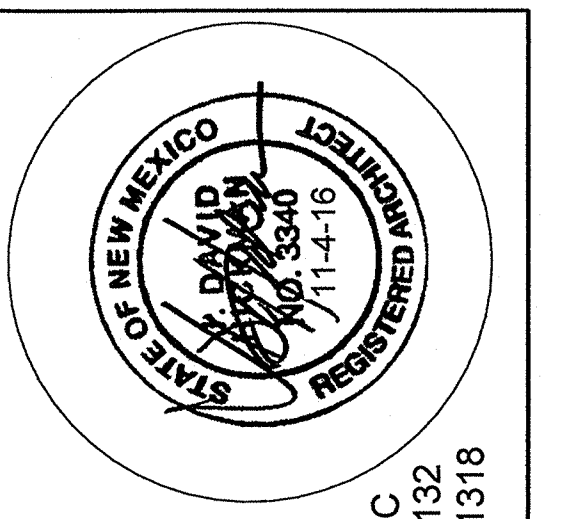
1 TCL - Northeast
1" = 20'-0"



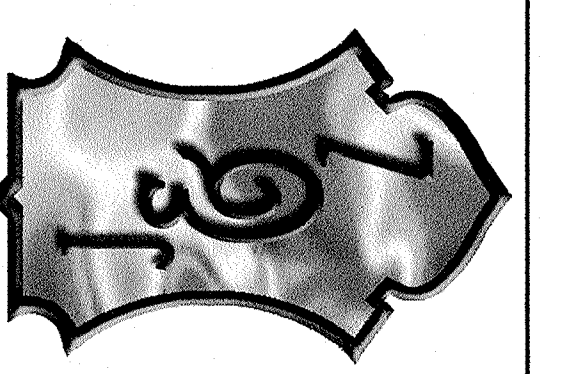
5 TCL Plan - Key Plan
1" = 100'-0"



5 TCL Plan - Key Plan
1" = 100'-0"



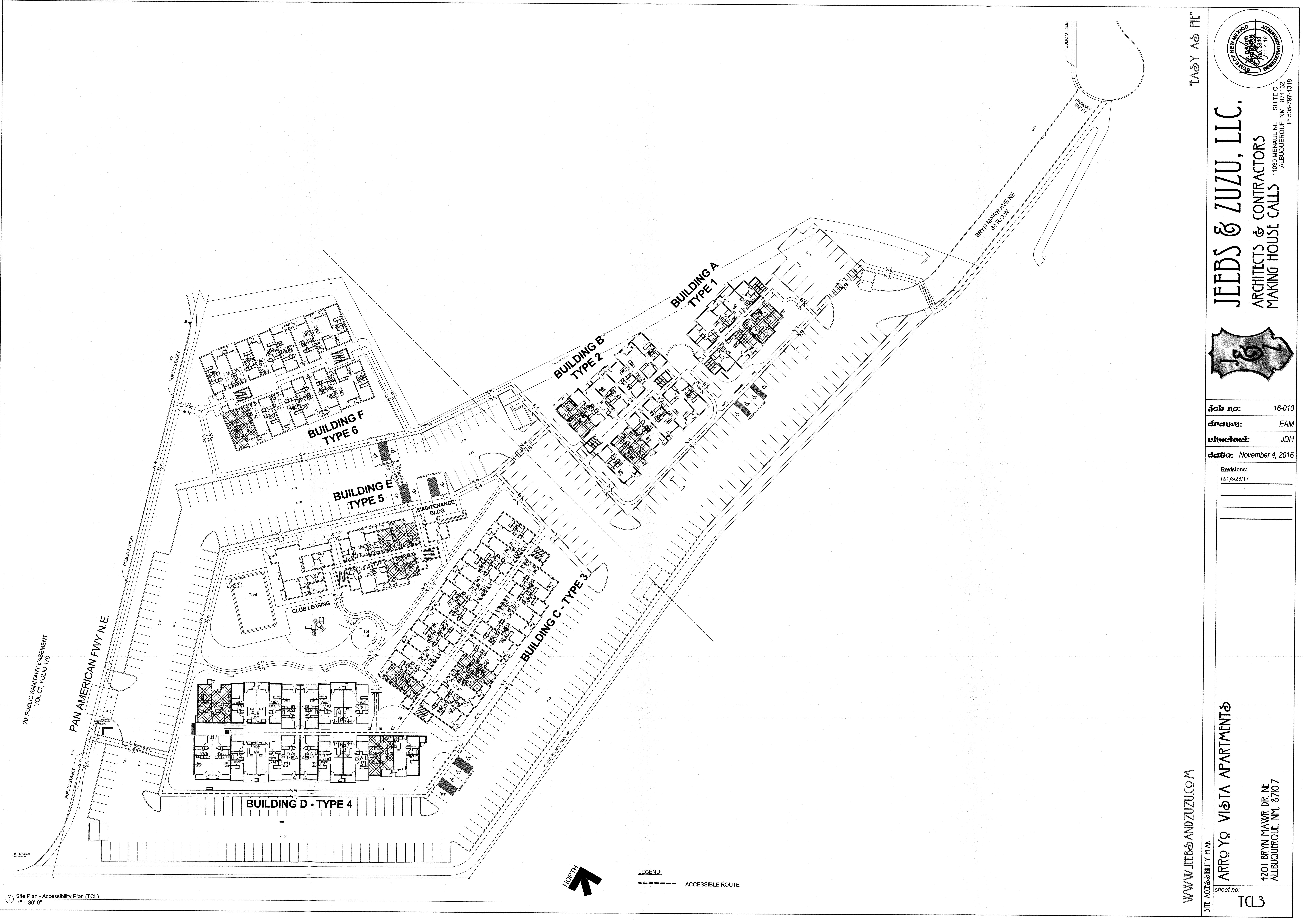
JEEBS & ZUZU, LLC.
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SUITE C
11030 MENAUL NE
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: 16-010
drawn: EAM
checked: JDH
date: November 4, 2016

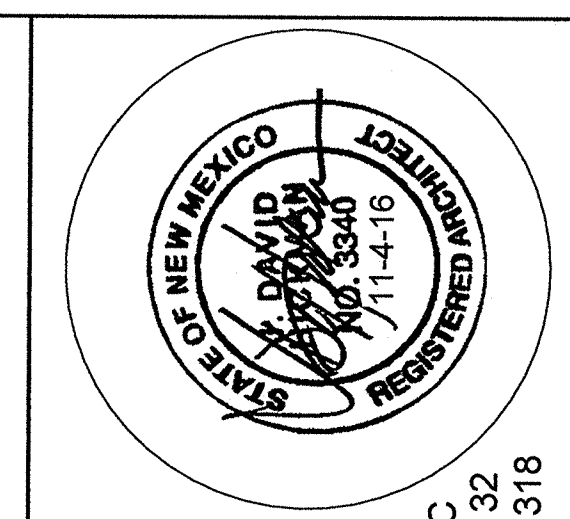
Revisions:
(Δ1) 3/28/17
(Δ2) 3-31-17

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ARROYO VISTA APARTMENTS
4201 BRYN MAWR DR. NE
ALBUQUERQUE, NM, 87107
sheet no: TCL2

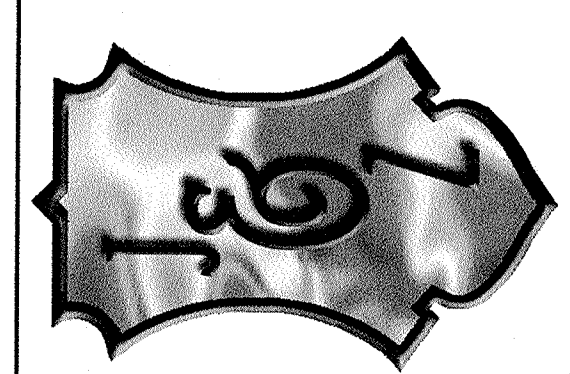


1 Site Plan - Accessibility Plan (TCL)
1" = 30'-0"

"EASY AS PIE"



JEEDS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS
11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 871132
P. 505-797-1318



job no:	16-010
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Revisions:
(Δ1)3/28/17

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ARROYO VISTA APARTMENTS

4201 BRYN MAWR DR. NE
ALBUQUERQUE, NM, 87107

Sheet no:
TCL3