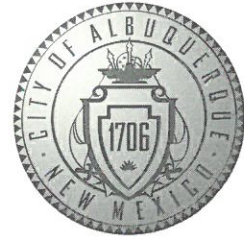


# CITY OF ALBUQUERQUE



May 30<sup>th</sup>, 2018

David Hickman, R.A.  
JEEBS & ZUZU, LLC  
11030 Menaul Blvd. Suite C, NE  
Albuquerque, NM 87112

**Re: Arroyo Vista Apartments Phase 2 Building B**  
**4201 Bryn Mawr Dr. NE, 87109**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 11-04-16 (G16-D153)  
Certification dated 05-21-18

Dear Mr. Hickman

Based upon the information provided in your submittal received 05-22-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

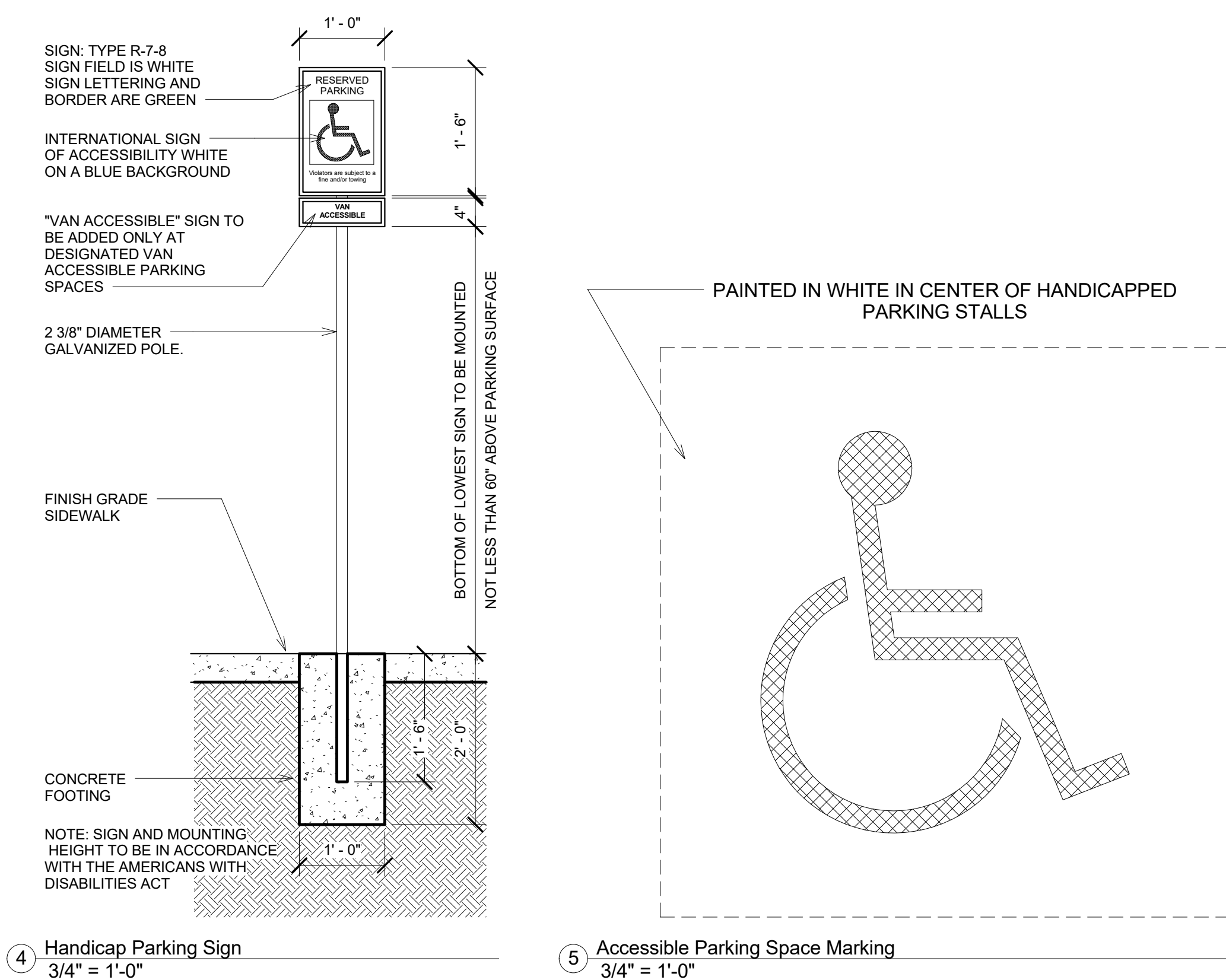
Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

Ernie Gomez, Planning Dept.  
Plan Checker, Transportation  
Development Review Services

EG via: email  
C: CO Clerk, File





④ Handicap Parking Sign  
3/4" = 1'-0"

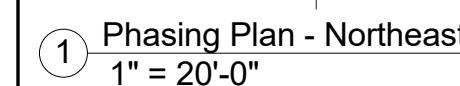
5 Accessible Parking Space Marking  
3/4" = 1'-0"

**KEYED NOTES:**

1. ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
2. SWIMMING POOL - SEE POOL DRAWINGS.
3. CONCRETE SIDEWALK, 4,000 PSI AIR ENTRAINED CONCRETE MIN. - SEE DETAIL 2 / AS2.1
4. ACCESSIBLE PARKING SPACES - SEE DETAIL 11 / AS2.0
5. 12'-0" (SINGLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 7 / AS2.0
6. 24'-0" (DOUBLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 8 / AS2.0
7. 36'-0" (TRIPLE) REFUSE ENCLOSURE AND GATE -
8. 6'-0" TWINBAR FENCE AND GATE @ SWIMMING POOL PERIMETER - SEE DETAIL X3 / AS2.1
9. 4'-0" TWINBAR FENCE @ PLAYGROUND PERIMETER - SEE DETAIL 4 / AS2.1
10. CONCRETE PLANTER - SEE DETAIL X / AS2.0
11. PARK BENCH - SEE DETAIL 16 / AS2.0
12. CONCRETE STEPS - SEE DETAIL 7 / AS2.1
13. BUILDING SIGNAGE - SEE DETAIL 11 / AS2.1
14. MONUMENTAL SIGNAGE WALL - SEE DETAIL 1-5 / AS2.0
15. SITE PARKING LIGHT - SEE ELECTRICAL
16. 6 BIKE ANCHORED BIKE RACKS - SEE DETAIL 1 / AS2.1
17. PLAYGROUND / TODDLER PLAY AREA W/ APPROPRIATE WARNING SIGNAGE. THE PLAY STRUCTURE SHOWN ARE IDENTIFYING A STRUCTURE AND DOES NOT MATCH WHAT WILL BE LOCATED THERE. SEE SPECIFICATIONS FOR ACTUAL PLAY STRUCTURE - SEE DETAIL 14 / AS2.1
18. ADA CURB RAMP - SEE DETAIL 13 / AS2.0
19. VAN ACCESSIBLE PARKING SPACE - SEE DETAIL 11 / AS2.0
20. PLAYGROUND EQUIPMENT AND FALL ZONE RADIUS SYNTHETIC RUBBER PLAY SURFACE, 6'-0" FALL ZONE SHOWN IDENTIFIES THE REQUIREMENT OF ONE. PLEASE SEE SPECIFICATION OF PLAYGROUND STRUCTURE AND REQUIRED FALL ZONE AREA.
21. CROSSWALK.
22. COVERED PARKING STRUCTURE.
23. ACCESSIBLE RAMP INTO PLAYGROUND AREAS - SEE DETAIL 12 / AS2.0
24. MAIL CENTER.
25. LANDSCAPE AREA.
26. PAVED MULTI-USE TRAIL WITH CONNECTION TO DIVERSION CANAL.
27. SITTING YARD WALL - SEE DETAIL 13 / AS2.1
28. 8'-0" PAVED TRAIL MEETING ADA REQUIREMENTS FOR PEDESTRIAN CONNECTION TSTREET.
29. FIRE SPRINKLER CLOSET
30. SITE RETAINING WALLS - SEE STRUCTURAL FOR DETAILS.
31. DETECTABLE WARNING SURFACES. TRUNCATED DOMES AT CURB RAMPS CROSSING HIGH VEHICULAR TRAFFIC.
32. VEHICULAR ACCESS FOR MAINTENANCE BUILDING
33. HOSE BIB PROVIDED WITHIN POOL BARRIER.
34. HARD WIRED EMERGENCY PHONE WITHIN POOL BARRIER.
35. MOTORCYCLE PARKING (6 TOTAL)
36. TEMPORARY SECURITY FENCING TO BE LOCATED BETWEEN PHASES. TO BE REMOVED AS SUBSEQUENT PHASE IS COMPLETED.
37. TEMPORARY SECURITY GATE WITH NOX BOX. GATE SHALL PROVIDE ACCESS TO CONSTRUCTION SITE DURING WORKING HOURS AND EMERGENCY RESPONDERS AT ALL TIMES.
38. TEMPORARY SECURITY GATE WITH NOX BOX TO REMAIN UNTIL THE COMPLETION OF ALL PHASES.
39. TEMPORARY SECURITY FENCING TO REMAIN UNTIL THE COMPLETION OF PHASE 5.
40. TEMPORARY SECURITY FENCING TO REMAIN UNTIL THE COMPLETION OF ALL PHASES.

GENERAL NOTES:

- A. SWPPP COMPLETED BY GREEN GLOBE ENVIRONMENTAL ON NOV. 22, 2016



(Δ1) 3-28-17

(Δ2) 3-31-17

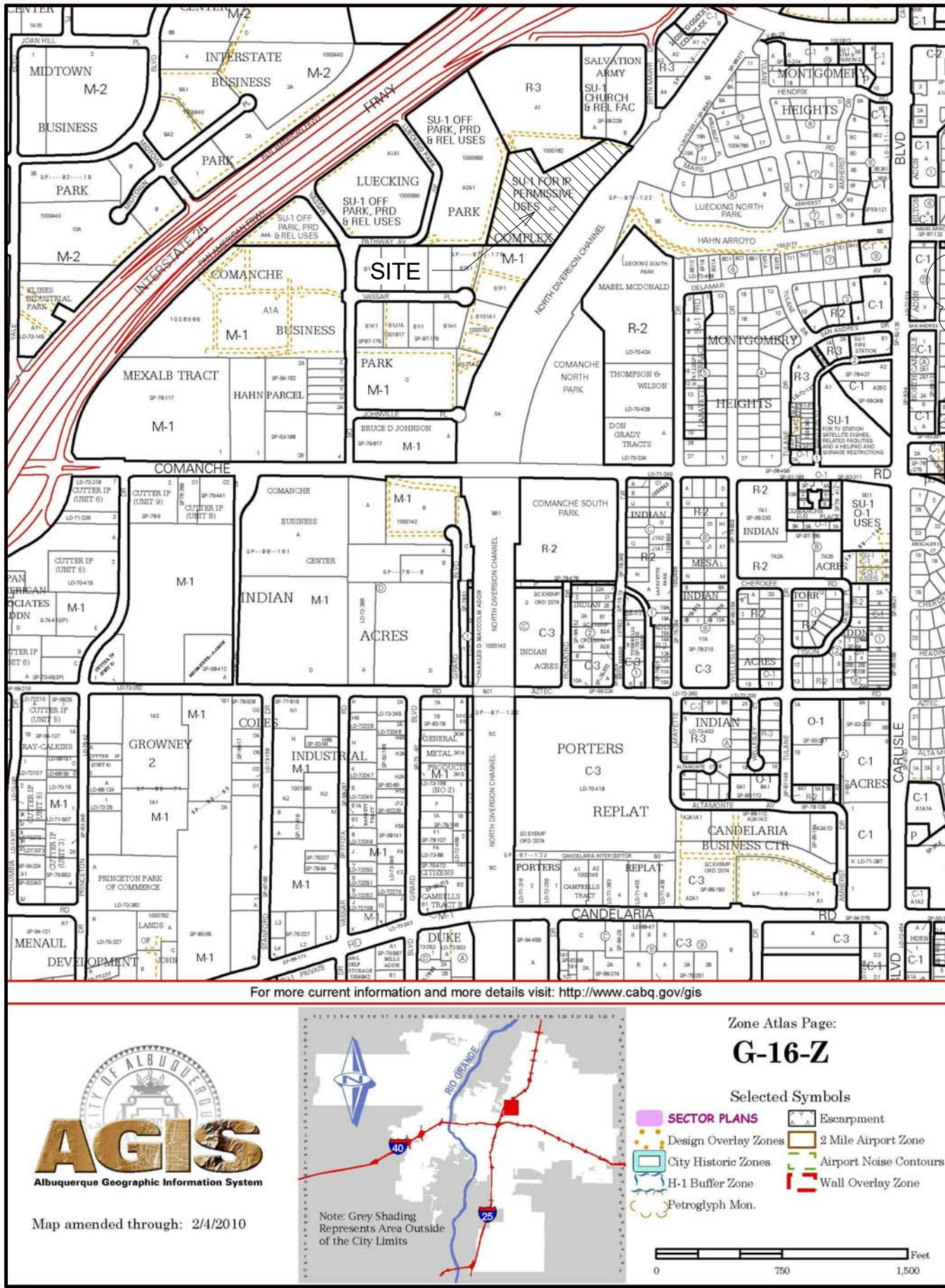
(Δ3) 4-24-17

(A4) 1-15-18

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VICINITY MAP



GENERAL NOTES:  
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE ON THE WORK ORDER.

PROJECT INFORMATION

<u>OCCUPANCY = R-2</u>		<u>190 UNITS</u>	
BUILDINGS = 6			
BUILDING A -	12 UNITS	1 ADA UNIT	
BUILDING B -	30 UNITS	2 ADA UNITS	
BUILDING C -	51 UNITS	2 ADA UNITS	
BUILDING D -	49 UNITS	2 ADA UNITS	
BUILDING E -	12 UNITS	1 ADA UNIT	
	COMMUNITY SPACE		
	LEASING OFFICES		
BUILDING F -	36 UNITS	2 ADA UNITS	(3)
<u>PARKING REQUIREMENTS:</u>			
UNIT TYPES:			
ONE BEDROOM	75 UNITS	X 1.5	= 113 SPACES
TWO BEDROOM/2 BATH	96 UNITS	X 2	= 192 SPACES
THREE BEDROOM	19 UNITS	X 2	= 38 SPACES
TOTAL NUMBER OF SPACES REQUIRED			
TOTAL NUMBER OF STANDARD SPACES PROVIDED			
TOTAL NUMBER OF ADA SPACES PROVIDED			
<u>TOTAL NUMBER OF SPACES PROVIDED</u>			
<u>GENERAL NOTES:</u>			
343 > 343			
TOTAL NUMBER OF MOTORCYCLE SPACES REQUIRED			
<u>TOTAL NUMBER OF MOTORCYCLE SPACES PROVIDED</u>			

- KEYED NOTES:
1. ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
  2. SWIMMING POOL - SEE POOL DRAWINGS.
  3. CONCRETE SIDEWALK 4,000 PSI AIR ENTRAINED CONCRETE MIN. - SEE DETAIL 2 / AS2.1
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40. TEMPORARY SECURITY FENCING TO REMAIN UNTIL THE COMPLETION OF ALL PHASES.



1 Phasing Plan - Southwest  
1" = 20'-0"

NEW MEXICO  
JEEB & ZUZU  
REGISTERED  
11-4-16

JEEB & ZUZU, LLC.  
ARCHITECTS & CONTRACTORS  
MAKING HOUSE CALLS

11030 MENAUL NE SUITE C  
ALBUQUERQUE, NM 87113  
P. 505-797-1318

job no: 16-010  
drawn: EAM  
checked: JDH  
date: November 4, 2016

Revisions:  
(A1) 3-28-17  
(A2) 3-31-17  
(A3) 4-24-17  
(A4) 1-15-18

WWW.JEEBANDZUZU.COM

ARRQ YO VISTA APTS  
4201 BRYN MAWR DR. NE  
ALBUQUERQUE, NM, 87107

sheet no: TCLI





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

**Project Title:** Arroyo Vista Apartments **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** G16D153  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** ORIG HOBBS, LOTS 1-24, BLOCK 47, LOT SIZE 2.12 ACRES  
**City Address:** 4201 Bryn Mawr DR. NE Albuquerque NM 87107

**Applicant:** JEEBS & ZUZU, LLC **Contact:** Edgar Mata  
**Address:** 11030 Menaul Blvd. Suite C, NE, Albuquerque NM 87112  
**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** edgar@jeebsandzuzu.com  
**Other Contact:** JEEBS & ZUZU, LLC **Contact:** David Hickman  
**Address:** 11030 Menaul Blvd. Suite C, NE, Albuquerque NM, 87112  
**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** daw.e@jeebsandzuzu.com

Check all that Apply:

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

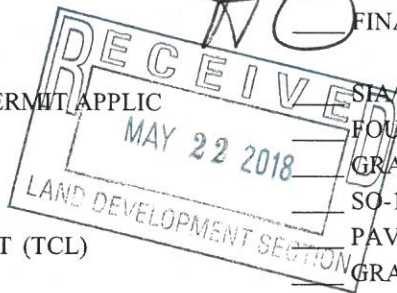
☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

☐ STA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_



**DATE SUBMITTED:** 5/22/18 **By:** David Hickman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Regarding:

Arroyo Vista Apartments

4201 Bryn Mawr, NE

Albuquerque, NM

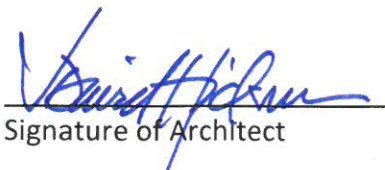
TCL- File # G16D153 – TCL Approved 4/4/17

I, J. DAVID HICKMAN NMRA #3340, OF THE FIRM JEEBS & ZUZU, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TCL PLAN DATED 11/4/16 AND APPROVED ON 4/4/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY J. DAVID HICKMAN OF THE FIRM JEEBS & ZUZU, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MAY 21, 2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA AND INFORMATION PROVIDED ON THE AS BUILT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY FOR **PHASE TWO – BUILDING PERMIT #BP-2017-01528.**

EXCEPTIONS:

none

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Architect



5/21/18  
Date: