

CITY OF ALBUQUERQUE



May 30th, 2018

David Hickman, R.A.
JEEBS & ZUZU, LLC
11030 Menaul Blvd. Suite C, NE
Albuquerque, NM 87112

Re: Arroyo Vista Apartments Phase 2 Building B
4201 Bryn Mawr Dr. NE, 87109
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-04-16 (G16-D153)
Certification dated 05-21-18

Dear Mr. Hickman

Based upon the information provided in your submittal received 05-22-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

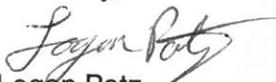
PO Box 1293

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

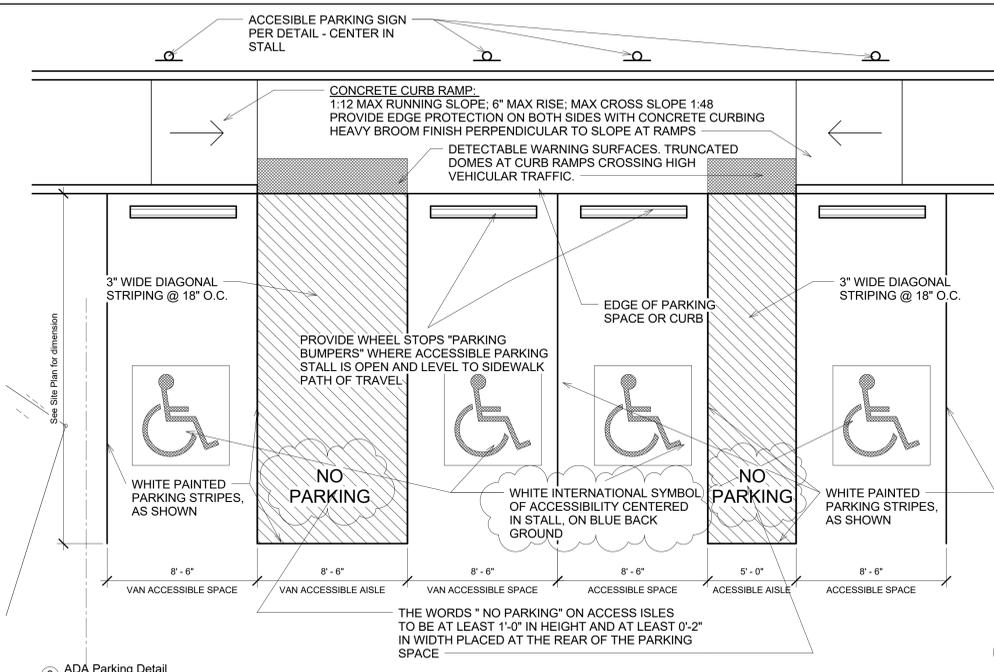
NM 87103


Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

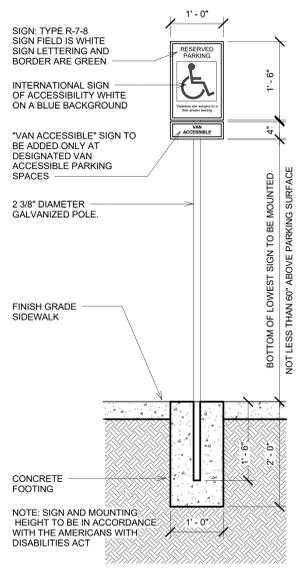
www.cabq.gov

Ernie Gomez, Planning Dept.
Plan Checker, Transportation
Development Review Services

EG via: email
C: CO Clerk, File



3 ADA Parking Detail
1/4" = 1'-0"



4 Handicap Parking Sign
3/4" = 1'-0"



5 Accessible Parking Space Marking
3/4" = 1'-0"

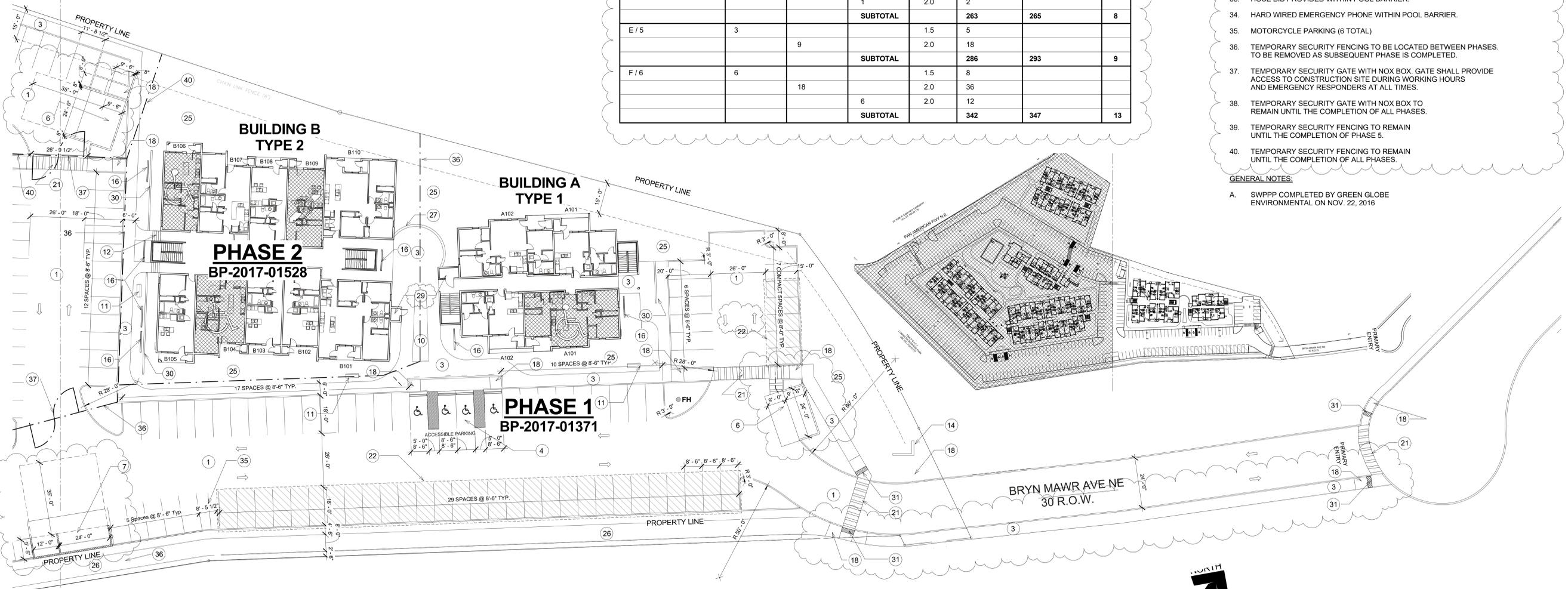
PHASED PARKING MATRIX							
BUILDING / PHASES	1 BR / 1 BA	2BR / 2 BA	3 BR / 2 BA	RATIO	SPACES REQ	PROVIDED TOTAL	HC
A / 1	6			1.5	9		
			6	2.0	12		
			SUBTOTAL		21	44	4
B / 2	18			1.5	27		
		6		2.0	12		
			6	2.0	12		
			SUBTOTAL		72	76	4
C / 3	18			1.5	27		
		33		2.0	66		
			SUBTOTAL		165	166	8
D / 4	24			1.5	36		
		30		2.0	60		
			1	2.0	2		
			SUBTOTAL		263	265	8
E / 5	3			1.5	5		
		9		2.0	18		
			SUBTOTAL		286	293	9
F / 6	6			1.5	8		
		18		2.0	36		
			6	2.0	12		
			SUBTOTAL		342	347	13

KEYED NOTES:

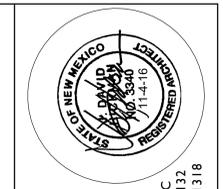
- ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
- SWIMMING POOL - SEE POOL DRAWINGS.
- CONCRETE SIDEWALK, 4,000 PSI AIR ENTRAINED CONCRETE MIN. - SEE DETAIL 2 / AS2.1
- ACCESSIBLE PARKING SPACES - SEE DETAIL 11 / AS2.0
- 12'-0" (SINGLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 7 / AS2.0
- 24'-0" (DOUBLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 8 / AS2.0
- 36'-0" (TRIPLE) REFUSE ENCLOSURE AND GATE -
- 6'-0" TWINBAR FENCE AND GATE @ SWIMMING POOL PERIMETER - SEE DETAIL X3 / AS2.1
- 4'-0" TWINBAR FENCE @ PLAYGROUND PERIMETER - SEE DETAIL 4 / AS2.1
- CONCRETE PLANTER - SEE DETAIL X1 / AS2.0
- PARK BENCH - SEE DETAIL 16 / AS2.0
- CONCRETE STEPS - SEE DETAIL 7 / AS2.1
- BUILDING SIGNAGE - SEE DETAIL 11 / AS2.1
- MONUMENTAL SIGNAGE WALL - SEE DETAIL 1-5 / AS2.0
- SITE PARKING LIGHT - SEE ELECTRICAL
- 6 BIKE ANCHORED BIKE RACKS - SEE DETAIL 1 / AS2.1
- ADA CURB RAMP - SEE DETAIL 13 / AS2.0
- VAN ACCESSIBLE PARKING SPACE - SEE DETAIL 11 / AS2.0
- PLAYGROUND / TODDLER PLAY AREA W/ APPROPRIATE WARNING SIGNAGE. THE PLAY STRUCTURE SHOWN ARE IDENTIFYING A STRUCTURE AND DOES NOT MATCH WHAT WILL BE LOCATED THERE. SEE SPECIFICATIONS FOR ACTUAL PLAY STRUCTURE - SEE DETAIL 14 / AS2.1
- ADA CURB RAMP - SEE DETAIL 13 / AS2.0
- VAN ACCESSIBLE PARKING SPACE - SEE DETAIL 11 / AS2.0
- PLAYGROUND EQUIPMENT AND FALL ZONE RADIUS SYNTHETIC RUBBER PLAY SURFACE, 6'-0" FALL ZONE SHOWN IDENTIFIES THE REQUIREMENT OF ONE. PLEASE SEE SPECIFICATION FOR PLAYGROUND STRUCTURE AND REQUIRED FALL ZONE AREA.
- CROSSWALK.
- COVERED PARKING STRUCTURE.
- ACCESSIBLE RAMP INTO PLAYGROUND AREAS - SEE DETAIL 12 / AS2.0
- MAIL CENTER.
- LANDSCAPE AREA.
- PAVED MULTI-USE TRAIL WITH CONNECTION TO DIVERSION CANAL.
- SITTING YARD WALL - SEE DETAIL 13 / AS2.1
- 8'-0" PAVED TRAIL MEETING ADA REQUIREMENTS FOR PEDESTRIAN CONNECTION TO STREET.
- FIRE SPRINKLER CLOSET
- SITE RETAINING WALLS - SEE STRUCTURAL FOR DETAILS.
- DETECTABLE WARNING SURFACES, TRUNCATED DOMES AT CURB RAMPS CROSSING HIGH VEHICULAR TRAFFIC.
- VEHICULAR ACCESS FOR MAINTENANCE BUILDING
- HOSE BIB PROVIDED WITHIN POOL BARRIER.
- HARD WIRED EMERGENCY PHONE WITHIN POOL BARRIER.
- MOTORCYCLE PARKING (6 TOTAL)
- TEMPORARY SECURITY FENCING TO BE LOCATED BETWEEN PHASES. TO BE REMOVED AS SUBSEQUENT PHASE IS COMPLETED.
- TEMPORARY SECURITY GATE WITH NOX BOX. GATE SHALL PROVIDE ACCESS TO CONSTRUCTION SITE DURING WORKING HOURS AND EMERGENCY RESPONDERS AT ALL TIMES.
- TEMPORARY SECURITY GATE WITH NOX BOX TO REMAIN UNTIL THE COMPLETION OF ALL PHASES.
- TEMPORARY SECURITY FENCING TO REMAIN UNTIL THE COMPLETION OF PHASE 5.
- TEMPORARY SECURITY FENCING TO REMAIN UNTIL THE COMPLETION OF ALL PHASES.

GENERAL NOTES:

- SWPPP COMPLETED BY GREEN GLOBE ENVIRONMENTAL ON NOV. 22, 2016



1 Phasing Plan - Northeast
1" = 20'-0"



JEEB & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS
11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87113
P. 505-797-1318



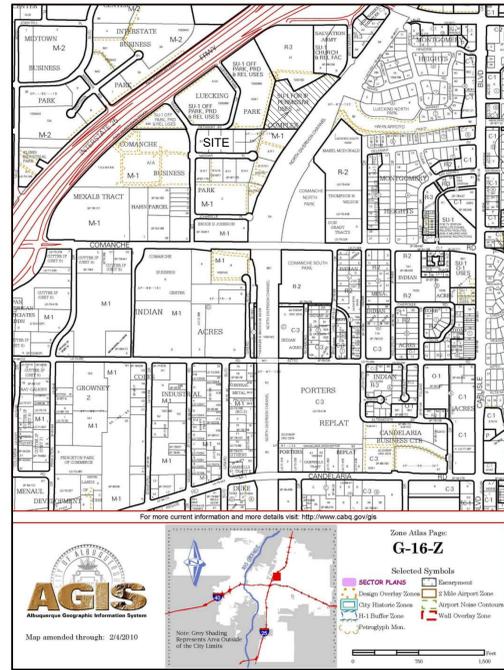
job no: 16-010
drawn: EAM
checked: JDH
date: November 4, 2016

Revisions:

(A1) 3-28-17
(A2) 3-31-17
(A3) 4-24-17
(A4) 1-15-18

WWW.JEEBANDZUZU.COM
SIT PLAN
ARROYO VISTA APTS
1201 BRYN MAWR DR. NE
ALBUQUERQUE, NM, 87107
sheet no:
TCL2

VICINITY MAP



GENERAL NOTES:
 1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE ON THE WORK ORDER.

PROJECT INFORMATION

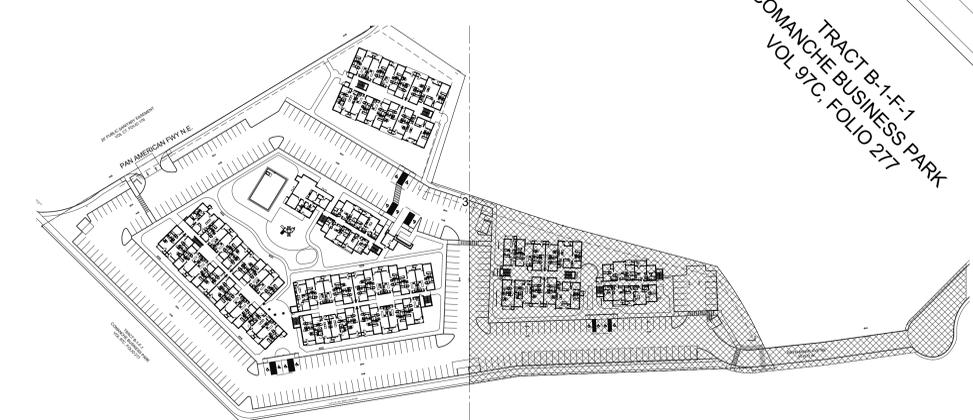
OCCUPANCY = R-2 190 UNITS

BUILDINGS = 6

BUILDING A -	12 UNITS	1 ADA UNIT
BUILDING B -	30 UNITS	2 ADA UNITS
BUILDING C -	51 UNITS	2 ADA UNITS
BUILDING D -	49 UNITS	2 ADA UNITS
BUILDING E -	12 UNITS	1 ADA UNIT
BUILDING F -	COMMUNITY SPACE LEASING OFFICES	2 ADA UNITS
	36 UNITS	

PARKING REQUIREMENTS:

UNIT TYPES:				
ONE BEDROOM	75 UNITS	X	1.5	= 113 SPACES
TWO BEDROOM/2 BATH	96 UNITS	X	2	= 192 SPACES
THREE BEDROOM	19 UNITS	X	2	= 38 SPACES
TOTAL NUMBER OF SPACES REQUIRED				= 343
TOTAL NUMBER OF STANDARD SPACES PROVIDED				= 330
TOTAL NUMBER OF ADA SPACES PROVIDED				= 13 (9 VAN ACCESSIBLE)
TOTAL NUMBER OF SPACES PROVIDED				= 343
GENERAL NOTES:				343 > 343
TOTAL NUMBER OF MOTORCYCLE SPACES REQUIRED				= 6
TOTAL NUMBER OF MOTORCYCLE SPACES PROVIDED				= 6



KEYED NOTES:

- ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
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ARRQ YO VISTA APTS
 4201 BRYN MAWR DR. NE
 ALBUQUERQUE, NM, 87107

sheet no: TCLI



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: Arroyo Vista Apartments Building Permit #: _____ Hydrology File #: G16D153
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: ORIG HOBBS, LOTS 1-24, BLOCK 47, LOT SIZE 2.12 ACRES
City Address: 4201 Bryn Mawr DR. NE Albuquerque NM 87107

Applicant: JEEBS & ZUZU, LLC Contact: Edgar Mata
Address: 11030 Menaul Blvd. Suite C, NE, Albuquerque NM 87112
Phone#: 505-797-1318 Fax#: _____ E-mail: edgar@jeebsandzuzu.com

Other Contact: JEEBS & ZUZU, LLC Contact: David Hickman
Address: 11030 Menaul Blvd. Suite C, NE, Albuquerque NM, 87112
Phone#: 505-797-1318 Fax#: _____ E-mail: daw.e@jeebsandzuzu.com

Check all that Apply:

IS THIS A RESUBMITTAL?: ___ Yes No

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR

- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)

- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

- STA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____



DATE SUBMITTED: 5/22/18 By: David Hickman

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Regarding:

Arroyo Vista Apartments

4201 Bryn Mawr, NE

Albuquerque, NM

TCL- File # G16D153 – TCL Approved 4/4/17

I, J. DAVID HICKMAN NMRA #3340, OF THE FIRM JEEBS & ZUZU, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TCL PLAN DATED 11/4/16 AND APPROVED ON 4/4/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY J. DAVID HICKMAN OF THE FIRM JEEBS & ZUZU, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MAY 21, 2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA AND INFORMATION PROVIDED ON THE AS BUILT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY FOR **PHASE TWO – BUILDING PERMIT #BP-2017-01528.**

EXCEPTIONS:

none

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Architect

5/21/18
Date:

