

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



Mayor Timothy M. Keller

August 26, 2019

Mike Walla, P.E.
Walla Engineering
6501 Americas Parkway, Suite 301
Albuquerque, NM 87110

**RE: Nusenda Credit Union Expansion
4100 Pan American Fwy NE
Request for Certificate of Occupancy – Permanent
Engineer's Certification – Accepted
Grading and Drainage Plan Stamp Date: 3/21/18
Certification Dated: 8/16/19
Hydrology File: G16D154**

PO Box 1293

Dear Mr. Walla:

Based on submittal received on 8/16/19, the Engineer's Certification approved in support of Certificate of Occupancy (Permanent) by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: NUSENDA CREDIT UNION **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT LETTERED "A-ONE, A-ONE" (A-1,A-1), LUECKING PARK COMPLEX 2 AND 3, ALBUQUERQUE, NEW MEXICO
City Address: 4100 PAN AMERICAN FWY. NE, ALBUQUERQUE, NM 87107

Applicant: WALLA ENGINEERING **Contact:** MIKE WALLA
Address: 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110
Phone#: 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

Other Contact: JOE SLAGLE ARCHITECT **Contact:** JOE SLAGLE
Address: 413 2ND ST. SW, ALBUQUERQUE, NM 87102
Phone#: 505-246-0870 **Fax#:** _____ **E-mail:** joe@slaglearchitect.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

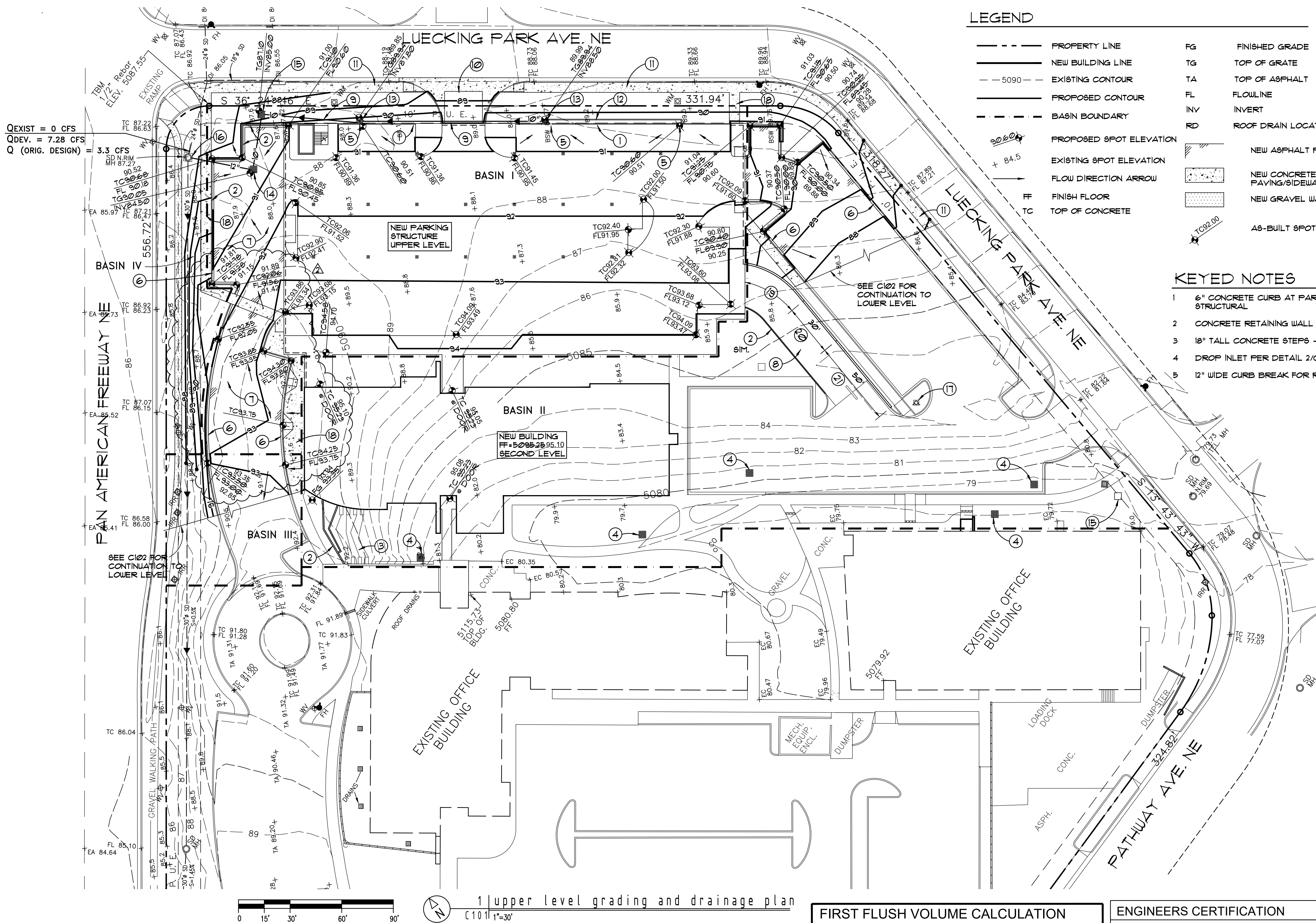
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-16-19 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
EXISTING CONDITIONS	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
LAND TRMT	(ACRE)	%	(CF)	(CF/AC)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	2.108	95%	0.18	228	6.11	166.1	166.1	166.1	166.1
C	0.150	5%	1.13	3.14	0.41	6.15	6.15	6.15	6.15
D	0.000	0%	2.12	4.10	0.00	0	0	0	0
TOTALS	2.258	100%	6.65	8283	8283	8283	8283	8283	8283
PROPOSED CONDITIONS BASIN I									
LAND TRMT	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
(ACRE)	%	(CF/AC)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.010	5%	0.18	228	0.16	198	198	198	198
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	1289	95%	2.12	4.10	6.06	9320	11,191	14,365	17,406
TOTALS	1393	100%	6.22	10,118	11,989	14,563	17,406	17,406	17,406

PROPOSED CONDITIONS BASIN II									
LAND TRMT	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
(ACRE)	%	(CF/AC)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.201	16%	0.18	228	0.46	569	569	569	569
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	1.035	84%	2.12	4.10	4.86	7,965	9,468	11,534	13,916
TOTALS	1.236	100%	5.32	8,534	10,031	12,103	14,545	14,545	14,545
PROPOSED CONDITIONS BASIN III									
LAND TRMT	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
(ACRE)	%	(CF/AC)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.000	0%	0.18	228	0.00	0	0	0	0
C	0.051	43%	1.13	3.14	0.18	234	234	234	234
D	0.011	51%	2.12	4.10	0.36	593	104	858	1,040
TOTALS	0.134	100%	0.54	826	938	1,092	1,274	1,274	1,274
PROPOSED CONDITIONS BASIN IV									
LAND TRMT	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
(ACRE)	%	(CF/AC)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.000	0%	0.18	228	0.00	0	0	0	0
C	0.093	73%	1.13	3.14	0.23	381	381	381	381
D	0.035	27%	2.12	4.10	0.16	269	320	390	473
TOTALS	0.128	100%	0.46	651	102	112	854	854	854

FIRST FLUSH VOLUME CALCULATION FOR FEE-IN-LIEU PAYMENT	
DEVELOPED TREATMENT D AREA = 1.482 AC + 0.958 AC = 2.44 AC	
V=2.44 (43560 SF/AC) X 0.34 IN X 1 FT/12 IN = 3011 CF	
FEE-IN-LIEU = 3011 CF X \$8.00/CF = \$24,088.00	

NOTICE TO CONTRACTOR

NO WORK IS PERMITTED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER.

- LEGEND
- PROPERTY LINE

NEW BUILDING LINE

EXISTING CONTOUR

PROPOSED CONTOUR

BASIN BOUNDARY

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

FLOW DIRECTION ARROW

FINISH FLOOR

TOP OF CONCRETE
- FG
- TG
- TA
- FL
- INV
- RD
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING/SIDEWALK
- NEW GRAVEL WALKING PATH
- AS-BUILT SPOT ELEVATION

KEYED NOTES

- 1

6" CONCRETE CURB AT PARKING DECK - SEE STRUCTURAL
- 2

CONCRETE RETAINING WALL PER DETAIL 8/C301
- 3

18" TALL CONCRETE STEPS - SEE ARCH.
- 4

DROP INLET PER DETAIL 2/C301
- 5

12" WIDE CURB BREAK FOR RUNOFF
- 6

CONCRETE CURB AND GUTTER PER DETAIL 1/C301
- 7

ASPHALT PAVING PER DETAIL 5/C301
- 8

CONCRETE PAVING PER DETAIL 4/C301
- 9

PVC STORM DRAIN - SEE PLAN FOR SIZE
- 10

4000 F81 CONCRETE DRIVE PAD PER C.O.A. STD. DRAWING #2426
- 11

4000 F81 CONCRETE SIDEWALK PER C.O.A. STD. DRAWING #2430
- 12

24" WIDE CONCRETE STORM DRAIN COLLECTION CHANNEL PER DETAIL 1/C301
- 13

CATCH BASIN WITH CURB PER DETAIL 9/C301
- 14

CATCH BASIN WITHOUT CURB PER DETAIL 10/C301
- 15

OIL/WATER SEPARATOR CATCH BASIN PER DETAIL 3/C301
- 16

CONNECT STORM DRAIN TO EXISTING MANHOLE
- 17

NEW FIRE HYDRANT PER ABCWA STANDARD DRAWING #2340
- 18

4" THICK, 4000 F81 CONCRETE SIDEWALK REINFORCED WITH 6x6-W2.1xW2.1 WWF. ON CHAIRS CENTERED IN SECTION
- 19

CONCRETE RETAINING WALL PER DETAIL 11/C301
- 20

CONCRETE RETAINING WALL PER DETAIL 12/8301
- 21

CONCRETE RETAINING WALL PER DETAIL 13/C301

DESIGN NARRATIVE

THE PROJECT IS THE CONSTRUCTION OF A NEW OFFICE BUILDING AND PARKING DECK ON THE VACANT NORTH END OF A 12 ACRE SITE. THE NEW CONSTRUCTION AREA IS APPROXIMATELY 3.6 ACRES AND WILL INCLUDE A PARKING LOT AND RAMP ACCESS TO THE LOWER AND UPPER PARKING DECK LEVELS WITH A NEW DRIVE ACCESS FROM LUECKING PARK AVE. ON THE NORTH END OF THE SITE. SITE RUNOFF CURRENTLY FLOWS FROM WEST TO EAST ACROSS THE UNIMPROVED PORTION OF THE SITE AND THE PROPOSED LOWER LEVEL IMPROVEMENTS ARE DESIGNED TO MAINTAIN THIS DRAINAGE SCHEME. UNDERGROUND STORM DRAIN LINES WILL COLLECT SURFACE FLOWS AND ROOF DRAINS THROUGH A SERIES OF DROP INLETS TO PUBLIC DOWNSTREAM FACILITIES ON THE EAST EDGE OF THE SITE VIA AN EXISTING MANHOLE IN LUECKING PARK AVE. THE UPPER PARKING DECK IS SLOPED TOWARD THE NORTH AND DEVELOPED FLOWS FROM THIS STRUCTURE WILL BE DEPOSITED INTO C.O.A. STORM DRAIN FACILITIES ON WEST EDGE OF THE PROPERTY. STORM RUNOFF IS CAPTURED IN CATCH BASINS AND STORM DRAIN LINES WHICH WILL BE DEPOSITED IN AN EXISTING MANHOLE LOCATED ADJACENT TO THE 1-25 FRONTAGE ROAD. THE DEVELOPED RUNOFF FROM THE LOWER LEVEL, WHICH ENTERS C.O.A. FACILITIES IN LUECKING PARK AVE., IS LESS THAN THE CALCULATED HISTORIC RUNOFF FROM THE SITE CURRENTLY. HOWEVER, THE NEW DEVELOPED FLOW DIRECTED TO C.O.A. FACILITIES AT THE NORTHEAST CORNER OF THE SITE IS AN INCREASE FROM THE UNDEVELOPED CONDITION.

DOWNSTREAM FACILITIES

THE SOUTHEAST HALF OF THE SITE (BASIN II) WILL HAVE DEVELOPED FLOW THAT IS LESS THAN THE UNDEVELOPED FLOW EXITING THE SITE INTO STORM DRAIN FACILITIES IN LUECKING PARK AVE. THEREFORE, DOWNSTREAM STORM DRAIN SHOULD BE UNAFFECTED BY THE NEW CONSTRUCTION. THE DEVELOPED FLOW ON THE NORTHEAST SIDE OF THE SITE (BASIN I) WILL BE COLLECTED AND DEPOSITED IN A MANHOLE ADJACENT TO THE 1-25 FRONTAGE ROAD AND THEN CONVEYED TO THE SOUTH IN AN EXISTING 30" RCP. ACCORDING TO THE ORIGINAL DESIGN BY JMA, INC. THE 30" STORM DRAIN CURRENTLY CONVEYS Q 100 + 245 CF8 WITH A Q MAX. OF 312 CF8, LEAVING ADDITIONAL CAPACITY OF 6.1 CF8. THE PROPOSED DEVELOPED Q 100 + 128 CF8 BUT THE ORIGINAL DESIGN ASSUME A Q FROM THIS SITE OF 33 CF8. THEREFORE, THE NET ADDITIONAL FLOW TO THE 30" STORM DRAIN IS 3.98 CF8 AND WILL STILL BE WITHIN THE CAPACITY OF THE EXISTING PIPE. THE NEW Q 100 IN THIS PIPE WILL BE 245 + 3.98 CF8 OF 28.48 CF8 WITH A HGL OF 2'-0" ABOVE THE PIPE INVERT.

OFFSITE RUNOFF TO THE N154RD FRONTAGE ROAD

ALONG THE WEST SIDE OF THE SITE THERE EXISTS A LANDSCAPED SLOPE WHERE STORM RUNOFF SURFACE FLOWS TOWARD THE FRONTAGE ROAD. THE NEW SITE DEVELOPMENT WILL NOT SIGNIFICANTLY CHANGE THIS CONDITION AND IN FACT WILL SLIGHTLY REDUCE THIS HISTORIC RUNOFF VOLUME (BASIN IV). THE EXISTING GRADING PROVIDE SOME RUNOFF STORAGE CAPACITY AT THE BASE OF THE SLOPE.

DISCHARGE TO ORIGINAL DEVELOPMENT

A SMALL AREA OF THE PROPOSED SITE WILL DISCHARGE RUNOFF TO THE EXISTING IMPROVED PART OF THE DEVELOPMENT. THIS AREA IS LOCATED AT THE NORTHEAST PERIMETER OF THE PROPERTY AND IDENTIFIED AS BASIN II. WITH A Q 100 OF 0.54 CF8 THIS FLOW WILL FALL WITHIN EXPECTED PARAMETERS OF THE ORIGINAL PATHWAY OFFICE PARK DRAINAGE PLAN.

NEW ADMIN BUILDING

FOR:

nUSENDA

CREDIT UNION

4100 PAN AM FWY , ABQ, NM

Walla

ENGINEERING LTD

Structural Engineering
Civil Engineering

6501 Americas Parkway, NE • Suite 301
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 881-4025

joe slagle architect

413 2nd st sw
aba nm 87102
505 246 0870

revisions:

△

RFI 1301-11-19

△

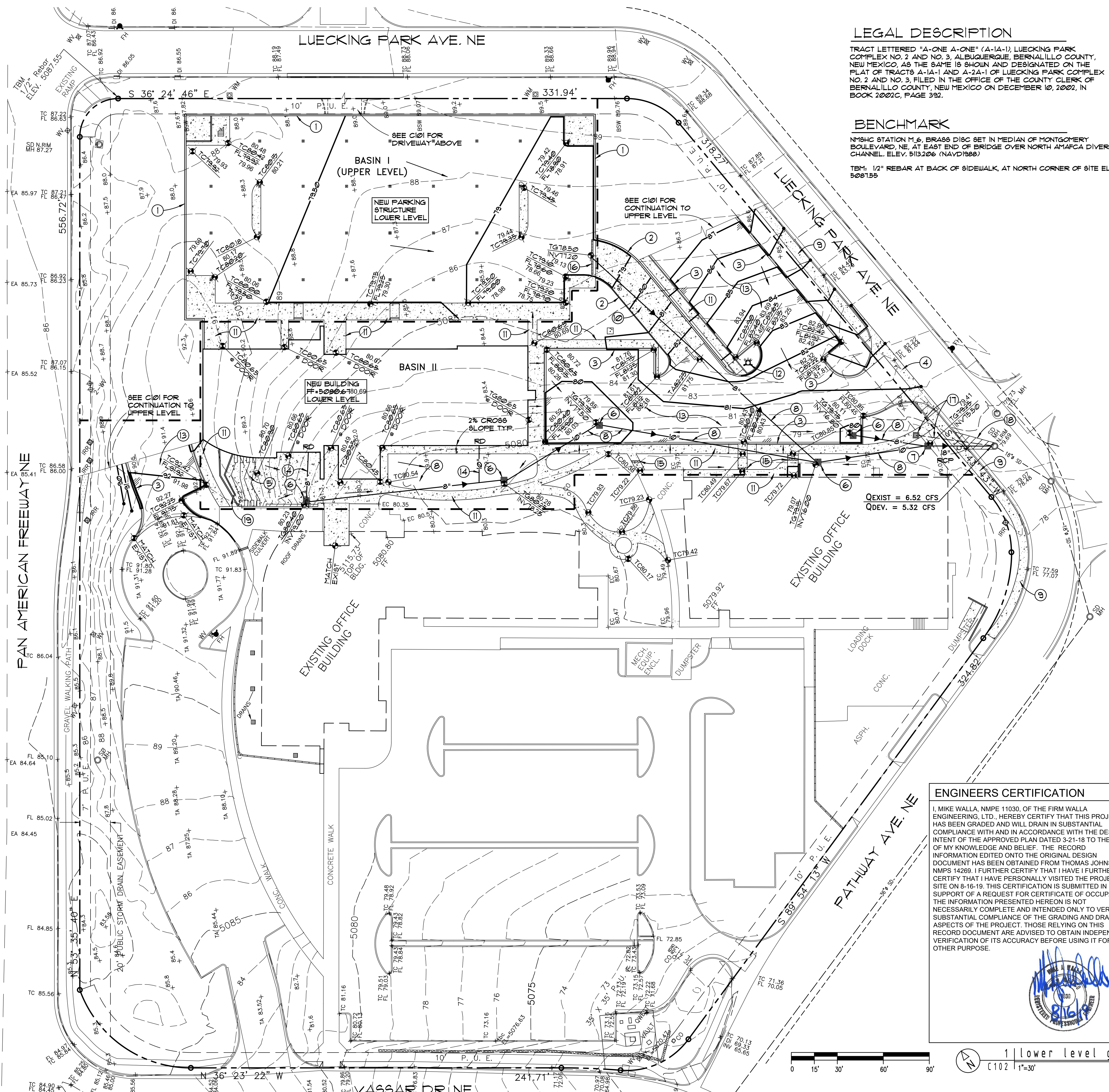
REVISED 4-26-19



UPPER LEVEL
GRADING and
DRAINAGE PLAN

date:
3-21-18

sheet:
c101



LEGAL DESCRIPTION

TRACT LETTERED "A-ONE A-ONE" (A-1A-1), LUECKING PARK COMPLEX NO. 2 AND NO. 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1A-1 AND A-2A-1 OF LUECKING PARK COMPLEX NO. 2 AND NO. 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 2002, IN BOOK 2002C, PAGE 392.

BENCHMARK

N184C STATION M.6, BRASS DISC SET IN MEDIAN OF MONTGOMERY BOULEVARD, NE, AT EAST END OF BRIDGE OVER NORTH AMFCA DIVERSION CHANNEL. ELEV. 5132.06 (NAVD1988)

BM: 1/2" REBAR AT BACK OF SIDEWALK, AT NORTH CORNER OF SITE ELEV. 5081.55

NEW ADMIN BUILDING

FOR:

nusenda
CREDIT UNION

4100 PAN AM FWY, ABQ, NM

Walla ENGINEERING LTD.
6501 Americas Parkway NE, Suite 301
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025

joe slagle architect

413 2nd st sw
aba nm 87102
505 246 0870

revisions:

REVISOR: 5-15-18

KEYED NOTES

- 1 CONCRETE WALL AT PARKING STRUCTURE - SEE STRUCTURAL
- 2 CONCRETE RETAINING WALL PER 11, 12, 13/C301
- 3 CONCRETE CURB AND GUTTER PER DETAIL 1/C301
- 4 4000 PSI CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2426
- 5 18" TALL CONCRETE STEPS - SEE ARCH.
- 6 DROP INLET PER DETAIL 2/C301
- 7 OIL/WATER SEPARATOR CATCH BASIN PER 3/C301
- 8 PVC STORM DRAIN - SEE PLAN FOR SIZE
- 9 4000 PSI CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING 2430
- 10 CONCRETE PAVING PER DETAIL 4/C301
- 11 4" THICK, 4000 PSI CONCRETE SIDEWALK REINFORCED WITH 6X6-U2.IXU21 W.W.F. ON CHAIRS CENTERED IN SECTION
- 12 NEW FIRE HYDRANT PER ABCWA STANDARD DRAWING 2340
- 13 ASPHALT PAVING PER DETAIL 5/C301
- 14 PVC ROOF DRAIN - SIZE AS SHOWN
- 15 1'-0" WIDE SIDEWALK CULVERT PER DETAIL 6/C301
- 16 TRENCH DRAIN - SEE 2/P30201
- 17 REMOVE EXISTING 18" RCP STORM DRAIN AND CATCH BASIN
- 18 REMOVE AND REPLACE EXISTING CONCRETE CURB AND GUTTER AND ASPHALT PAVING PER C.O.A. STANDARD DRAWINGS 2415, 2401 AND 2465
- 19 CONCRETE RETAINING WALL PER 14/C301

LEGEND

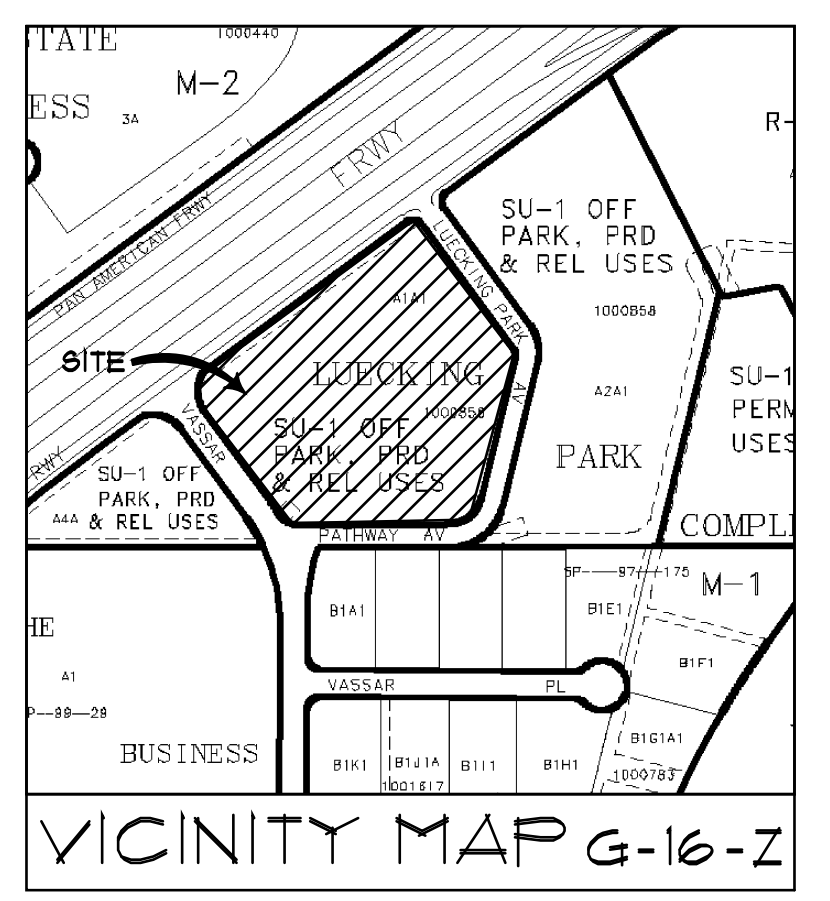
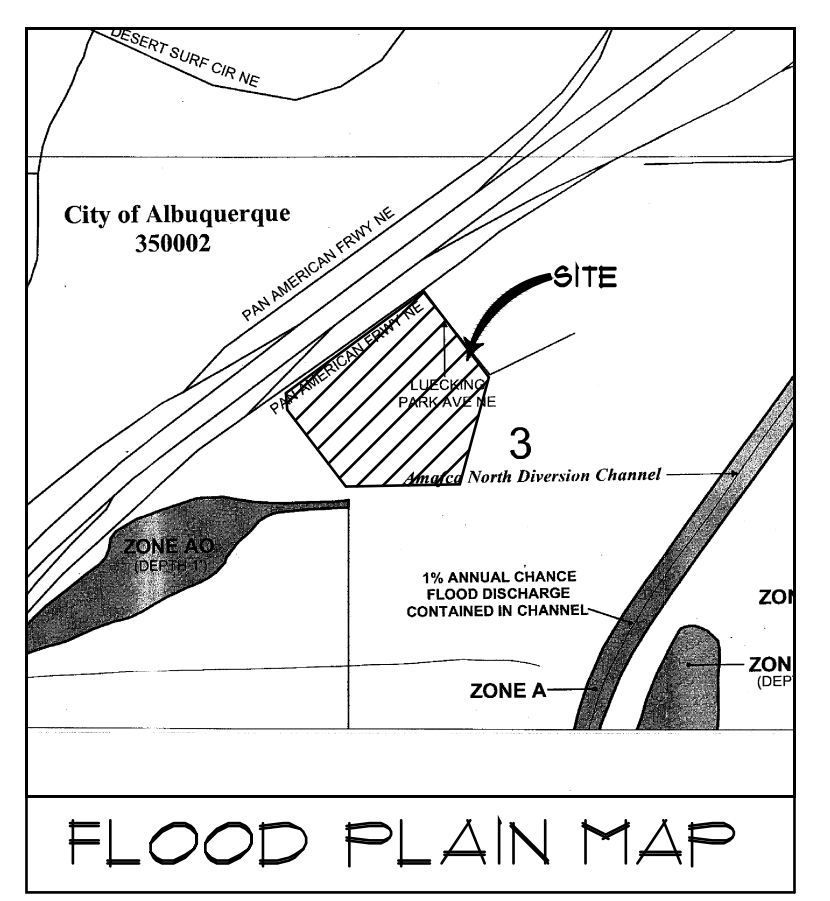
- PROPERTY LINE
- NEW BUILDING LINE
- - - 5090 - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- BASIN BOUNDARY
- 79.00 + EXISTING SPOT ELEVATION
- + 84.5 EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FF FINISH FLOOR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FL FLOWLINE
- INV INVERT
- RD ROOF DRAIN LOCATION
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING/SIDEWALK
- NEW GRAVEL WALKING PATH
- AS-BUILT SPOT ELEVATION

SITE CONDITION STATEMENT

I HAVE PERSONALLY VISITED THE SUBJECT SITE AND CERTIFY THAT THE EXISTING TOPOGRAPHY ON THIS PLAN IS AN ACCURATE REPRESENTATION OF CURRENT CONDITIONS. NO GRADING, FILLING OR EXCAVATION HAS OCCURRED ON THIS SITE SINCE THE AS-BUILT SURVEY OF THE EXISTING CONSTRUCTION WAS PREPARED.

ENGINEERS CERTIFICATION

I, MIKE WALLA, NMPE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-21-18 TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM THOMAS JOHNSTON, NMPS 14269. I FURTHER CERTIFY THAT I HAVE FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-16-19. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



LOWER LEVEL
GRADING and
DRAINAGE PLAN

date:
3-21-18
sheet:
c102