

February 21, 2018

Mike Walla, P.E.  
Walla Engineering  
6501 Americas Parkway, Suite 301  
Albuquerque, NM 87110

**RE: Nusenda Credit Union Admin Expansion  
Grading and Drainage Plan  
Engineer's Stamp Date 2/14/18  
Hydrology File: G16D154**

Dear Mr. Walla:

Based on the information provided in your submittal received 2/14/18, the Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed:

1. The first flush volume for the new impervious area needs to be quantified and retained on-site. If unable to pond onsite, payment of Fee-in-Lieu will be required at a rate of \$8/CF.
2. The site must demonstrate adequate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances. Is there a master plan for this area that previously sized the drainage infrastructure and defined permissible runoff rates?
3. Are there any modifications or increases in runoff to Pan-American? If so, NMDOT approval is required.
4. Show the existing storm drain alignments along Pan-American and Luecking.
5. This project will require a public Work Order for the work along Luecking. Add a note to this grading plan that "No work is permitted in the Public Right-of Way without an approved Work Order" or similar.
6. Either a recorded SIA with financial guarantee or close-out of the public work order will be required prior to issuing Certificate of Occupancy.
7. Basin 2 appears to discharge to several areas: Basin 1, Pan-American, and Luecking. Please divide this basin and explain how each part of the site drains.

PO Box 1293

Albuquerque

NM 87103

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# CITY OF ALBUQUERQUE



8. The new driveway and surrounding landscaping off of the cul-de-sac needs to be included in the site hydrology. Currently it does not appear to be a part of any of the basins.
9. The use of land treatment B is suspect. Compacted areas and sloped landscaping exceeding 10% are considered land treatment C. Please re-evaluate land treatments to be consistent with table A-4 of DPM Ch. 22.
10. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or 924-3420).

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

A handwritten signature in black ink, appearing to read 'Dana Peterson'.

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

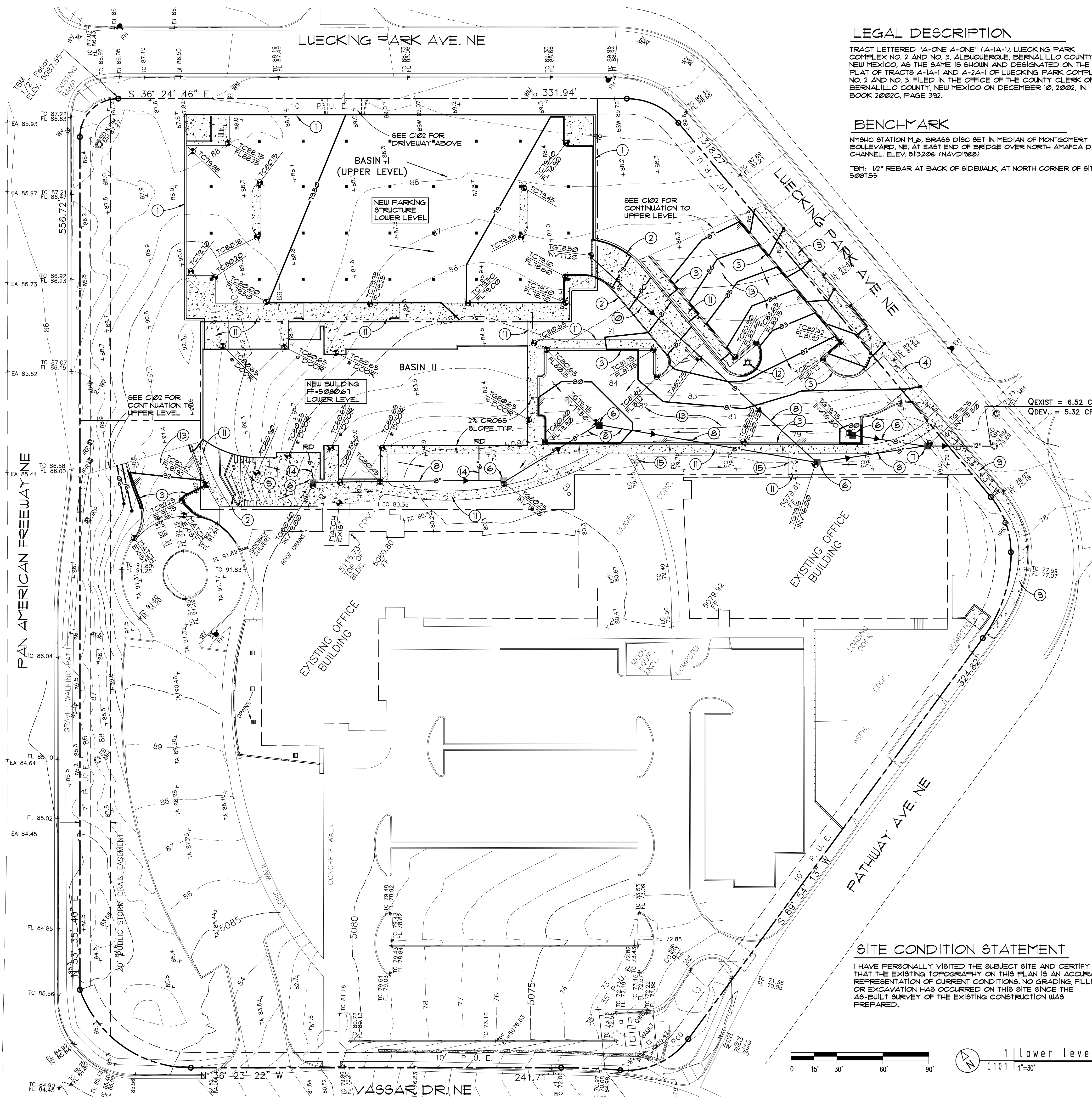
PO Box 1293

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NM 87103

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**LEGAL DESCRIPTION**

TRACT LETTERED "A-ONE A-ONE" (A-1A-1), LUECKING PARK COMPLEX NO. 2 AND NO. 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1A-1 AND A-2A-1 OF LUECKING PARK COMPLEX NO. 2 AND NO. 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 10, 2002, IN BOOK 2002C, PAGE 392.

**BENCHMARK**

N198C STATION M.6, BRASS DISC SET IN MEDIAN OF MONTGOMERY BOULEVARD, NE, AT EAST END OF BRIDGE OVER NORTH AMAFCA DIVERSION CHANNEL ELEV. 5132.06 (NAVD1988)  
 TM: 1/2" REBAR AT BACK OF SIDEWALK, AT NORTH CORNER OF SITE ELEV. 5081.55

NEW ADMIN BUILDING  
 FOR:  
**NUSENDA**  
 CREDIT UNION  
 4100 PAN AM FWY, ABQ, NM

joe slagle architect  
 413 2nd st sw  
 abq nm 87102  
 505 246 0870

revisions:

**Walla** Structural Engineering  
 ENGINEERING LTD  
 6501 Americas Parkway, NE Suite 301  
 Albuquerque, New Mexico 87110  
 881-3008 • Facsimile 881-4025

**KEYED NOTES**

- 1 CONCRETE WALL AT PARKING STRUCTURE - SEE STRUCTURAL
- 2 CONCRETE RETAINING WALL
- 3 CONCRETE CURB AND GUTTER PER DETAIL 1/C301
- 4 4000 PSI CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2426
- 5 18" TALL CONCRETE STEPS - SEE ARCH.
- 6 DROP INLET PER DETAIL 2/C301
- 7 OIL/WATER SEPARATOR CATCH BASIN PER 3/C301
- 8 PVC STORM DRAIN - SEE PLAN FOR SIZE
- 9 4000 PSI CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING 2430
- 10 CONCRETE PAVING PER DETAIL 4/C301
- 11 4" THICK, 4000 PSI CONCRETE SIDEWALK REINFORCED WITH 6x6-1/2" I.U.21 W.W.F. ON CHAIRS CENTERED IN SECTION
- 12 NEW FIRE HYDRANT PER ABCUWA STANDARD DRAWING 2340
- 13 ASPHALT PAVING PER DETAIL 5/C301
- 14 6" PVC ROOF DRAIN
- 15 1'-0" WIDE SIDEWALK CULVERT PER DETAIL 6/C301

**LEGEND**

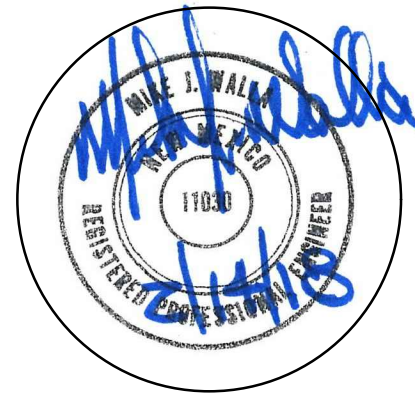
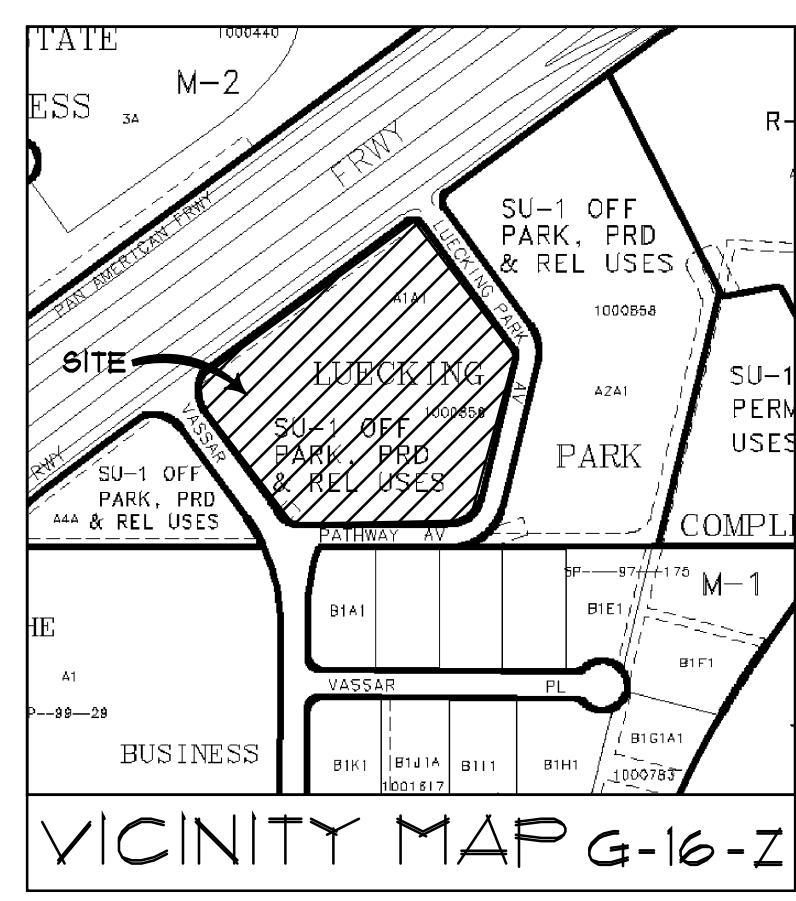
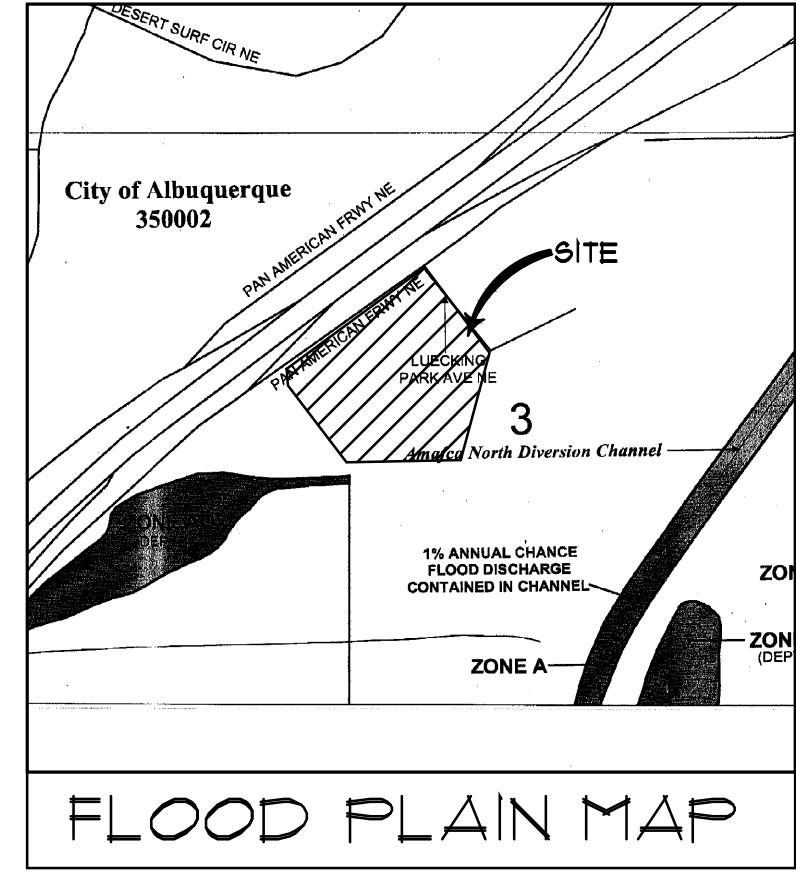
- PROPERTY LINE
- NEW BUILDING LINE
- - - 5090 - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- BASIN BOUNDARY
- 13.00' PROPOSED SPOT ELEVATION
- + 84.5 EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FF FINISH FLOOR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- TG TOP OF GRADE
- TA TOP OF ASPHALT
- FL FLOWLINE
- INV INVERT
- RD ROOF DRAIN LOCATION
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING/SIDEWALK
- NEW GRAVEL WALKING PATH

**DESIGN NARRATIVE**

THE PROJECT IS THE CONSTRUCTION OF A NEW OFFICE BUILDING AND PARKING DECK ON THE VACANT NORTH END OF A 12 ACRE SITE. THE NEW CONSTRUCTION AREA IS APPROXIMATELY 3.6 ACRES AND WILL INCLUDE A PARKING LOT AND RAMP ACCESS TO THE LOWER AND UPPER PARKING DECK LEVELS WITH A NEW DRIVE ACCESS FROM LUECKING PARK AVE. ON THE NORTH END OF THE SITE. SITE RUNOFF CURRENTLY FLOWS FROM EAST TO WEST ACROSS THE UNIMPROVED PORTION OF THE SITE AND THE PROPOSED IMPROVEMENTS ARE DESIGNED TO MAINTAIN THIS DRAINAGE SCHEME. UNDERGROUND STORM DRAIN LINES WILL COLLECT SURFACE FLOWS THROUGH A SERIES OF DROP INLETS AND DIRECT RUNOFF TO PUBLIC DOWNSTEAM FACILITIES ON THE WEST EDGE OF THE SITE. THE UPPER PARKING DECK IS SLOPED TOWARD THE NORTH AN DEVELOPED FLOWS FROM THIS STRUCTURE WILL BE DEPOSITED INTO LUECKING PARK AVE. VIA SIDEWALK CULVERTS WHERE A PORTION OF THE SITE DRAINAGE WILL SURFACE FLOW TOWARD STORM DRAIN FACILITIES ON THE EAST PERIMETER OF THE SITE

**SITE CONDITION STATEMENT**

I HAVE PERSONALLY VISITED THE SUBJECT SITE AND CERTIFY THAT THE EXISTING TOPOGRAPHY ON THIS PLAN IS AN ACCURATE REPRESENTATION OF CURRENT CONDITIONS. NO GRADING, FILLING OR EXCAVATION HAS OCCURRED ON THIS SITE SINCE THE AS-BUILT SURVEY OF THE EXISTING CONSTRUCTION WAS PREPARED.



1" = 30'  
 lower level grading and drainage plan  
 c101

**LOWER LEVEL GRADING and DRAINAGE PLAN**  
 date:  
 2-14-18  
 sheet:  
 c101



revisions:

**KEYED NOTES**

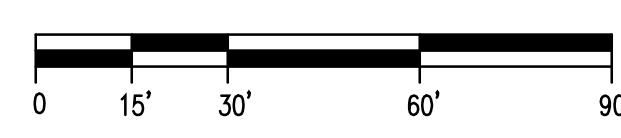
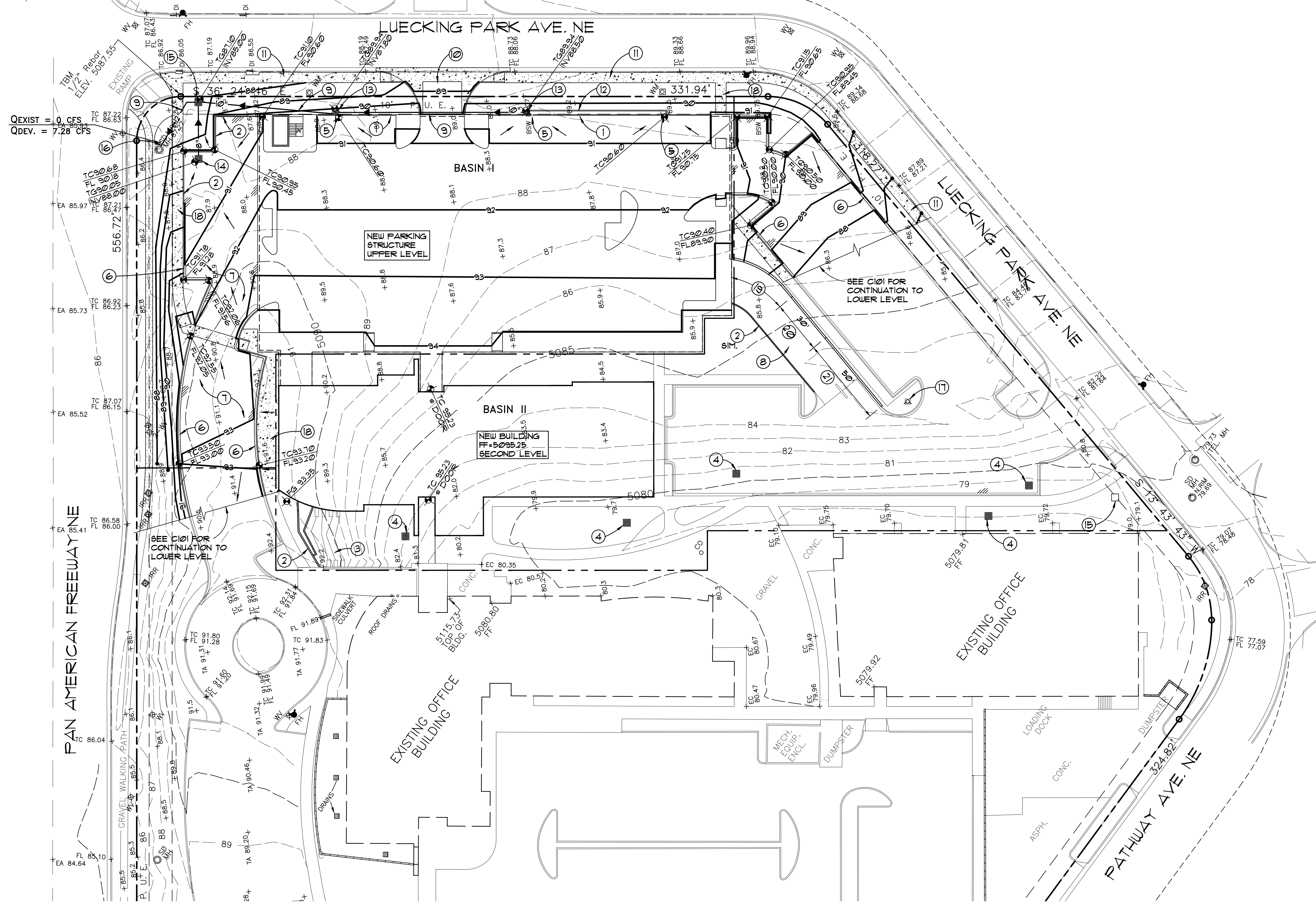
- 1 6" CONCRETE CURB AT PARKING DECK - SEE STRUCTURAL
- 2 CONCRETE RETAINING WALL PER DETAIL 8/C301
- 3 18" TALL CONCRETE STEPS - SEE ARCH.
- 4 DROP INLET PER DETAIL 2/C301
- 5 12" WIDE CURB BREAK FOR RUNOFF
- 6 CONCRETE CURB AND GUTTER PER DETAIL 1/C301
- 7 ASPHALT PAVING PER DETAIL 5/C301
- 8 CONCRETE PAVING PER DETAIL 4/C301
- 9 PVC STORM DRAIN - SEE PLAN FOR SIZE
- 10 4000 F81 CONCRETE DRIVE PAD PER C.O.A. STD. DRAWING #2426
- 11 4000 F81 CONCRETE SIDEWALK PER C.O.A. STD. DRAWING #2430
- 12 24" WIDE CONCRETE STORM DRAIN COLLECTION CHANNEL PER DETAIL 1/C301
- 13 CATCH BASIN WITH CURB PER DETAIL 9/C301
- 14 CATCH BASIN WITHOUT CURB PER DETAIL 10/C301
- 15 OIL/WATER SEPARATOR CATCH BASIN PER DETAIL 3/C301
- 16 CONNECT STORM DRAIN TO EXISTING MANHOLE
- 17 NEW FIRE HYDRANT PER ABCQUA STANDARD DRAWING #2340
- 18 4" THICK, 4000 F81 CONCRETE SIDEWALK REINFORCED WITH 6x6-1/2x1/2 W.W.F. ON CHAIRS CENTERED IN SECTION
- 19 CONCRETE RETAINING WALL PER DETAIL 11/C301
- 20 CONCRETE RETAINING WALL PER DETAIL 12/C301
- 21 CONCRETE RETAINING WALL PER DETAIL 13/C301

**LEGEND**

- PROPERTY LINE
- NEW BUILDING LINE
- - - 5090 - EXISTING CONTOUR
- PROPOSED CONTOUR
- BASIN BOUNDARY
- 80.60 PROPOSED SPOT ELEVATION
- + 84.5 EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FF FINISH FLOOR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FL FLOWLINE
- INV INVERT
- RD ROOF DRAIN LOCATION
- [Pattern] NEW ASPHALT PAVING
- [Pattern] NEW CONCRETE PAVING/SIDEWALK
- [Pattern] NEW GRAVEL WALKING PATH

**UPPER LEVEL GRADING and DRAINAGE PLAN**

date:  
2-14-18  
sheet:  
c102



1 | upper level grading and drainage plan  
C102 1"=30'

**HYDROLOGY CALCULATIONS**

PRECIPITATION ZONE 2  
DESIGN STORM: (IN)

	1hr	6hr	24hr	4day	10day
	2.01	2.35	2.75	3.30	3.95

EXISTING CONDITIONS

LAND TRTMT	AREA (ACRE)	AREA %	F6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	2.858	100%	0.78	2.28	6.52	8,092	8,092	8,092	8,092
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.000	0%	2.12	4.70	0.00	0	0	0	0
<b>TOTALS</b>	<b>2.858</b>	<b>100%</b>			<b>6.52</b>	<b>8,092</b>	<b>8,092</b>	<b>8,092</b>	<b>8,092</b>

PROPOSED CONDITIONS BASIN I

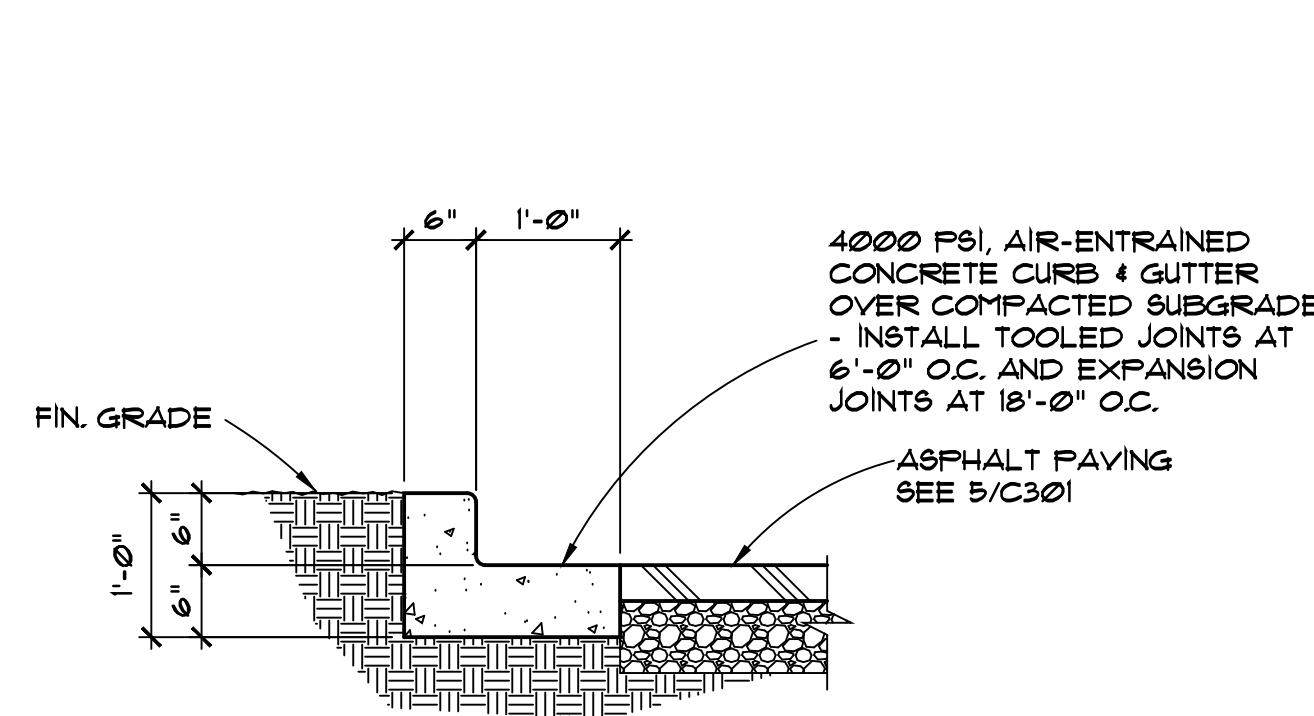
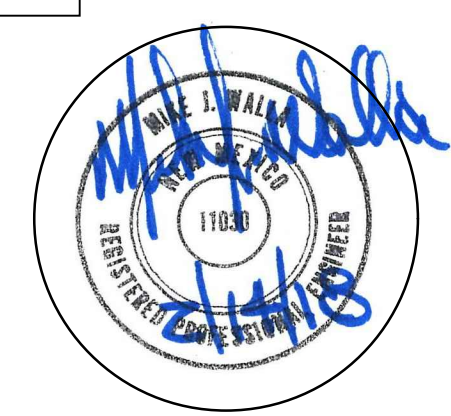
LAND TRTMT	AREA (ACRE)	AREA %	F6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.140	5%	0.78	2.28	0.32	396	396	396	396
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	1.482	91%	2.12	4.70	6.31	11,405	13,551	16,516	20,012
<b>TOTALS</b>	<b>1.622</b>	<b>100%</b>			<b>129</b>	<b>11,805</b>	<b>13,953</b>	<b>16,912</b>	<b>20,408</b>

PROPOSED CONDITIONS BASIN II

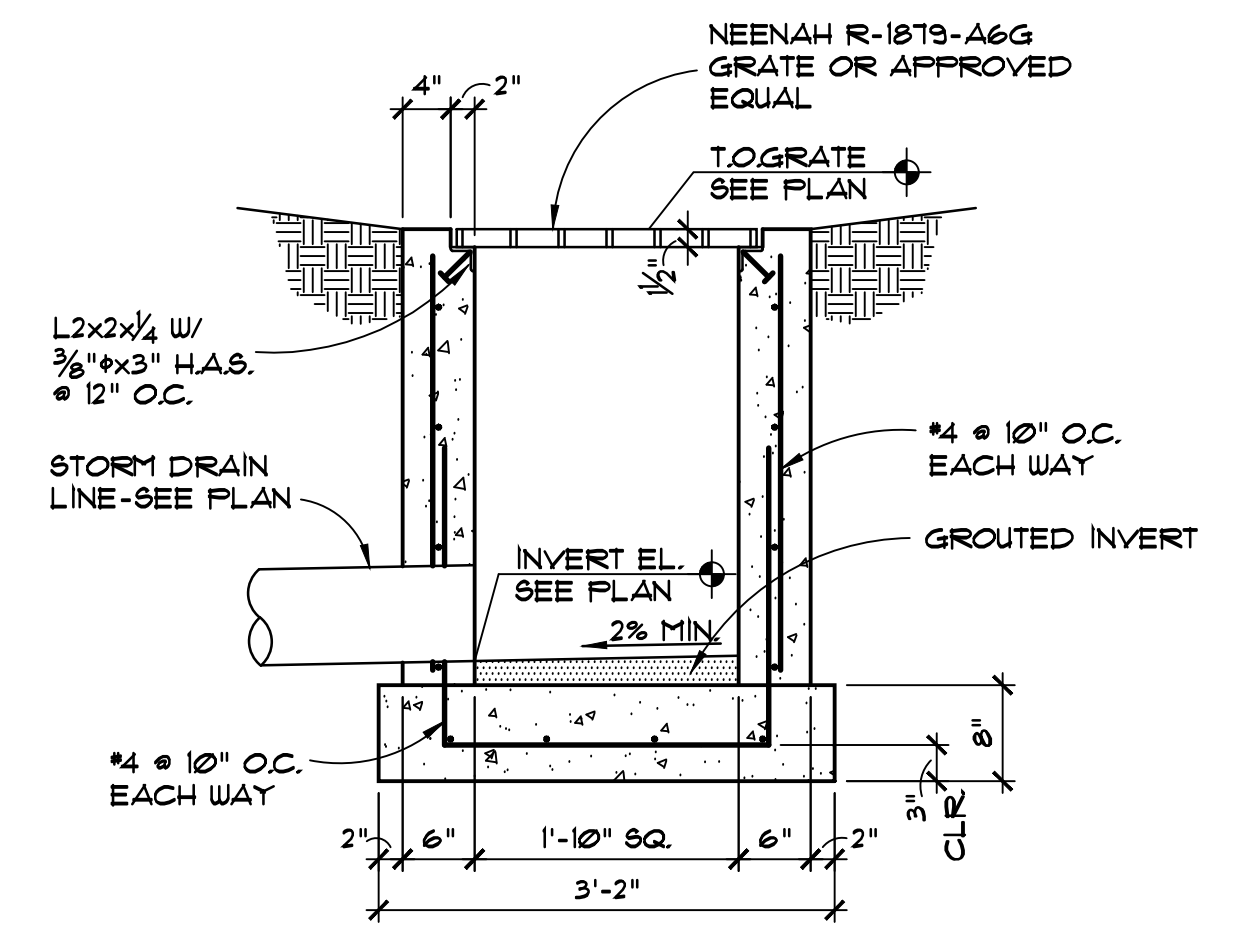
LAND TRTMT	AREA (ACRE)	AREA %	F6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.201	16%	0.78	2.28	0.46	569	569	569	569
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	1.035	84%	2.12	4.70	4.86	7,965	9,468	11,534	13,916
<b>TOTALS</b>	<b>1.236</b>	<b>100%</b>			<b>5.32</b>	<b>8,534</b>	<b>10,037</b>	<b>12,103</b>	<b>14,545</b>



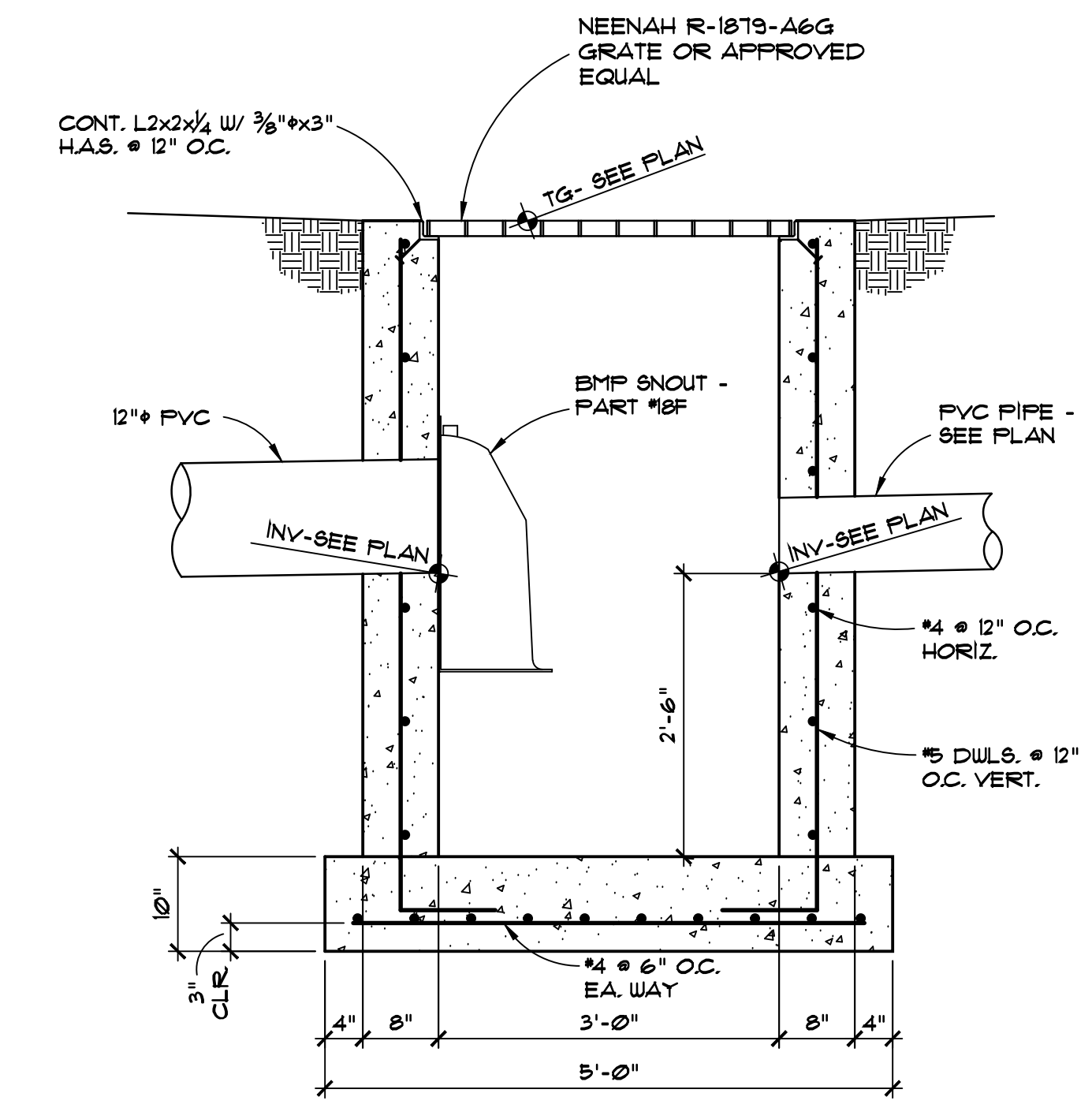
revisions:



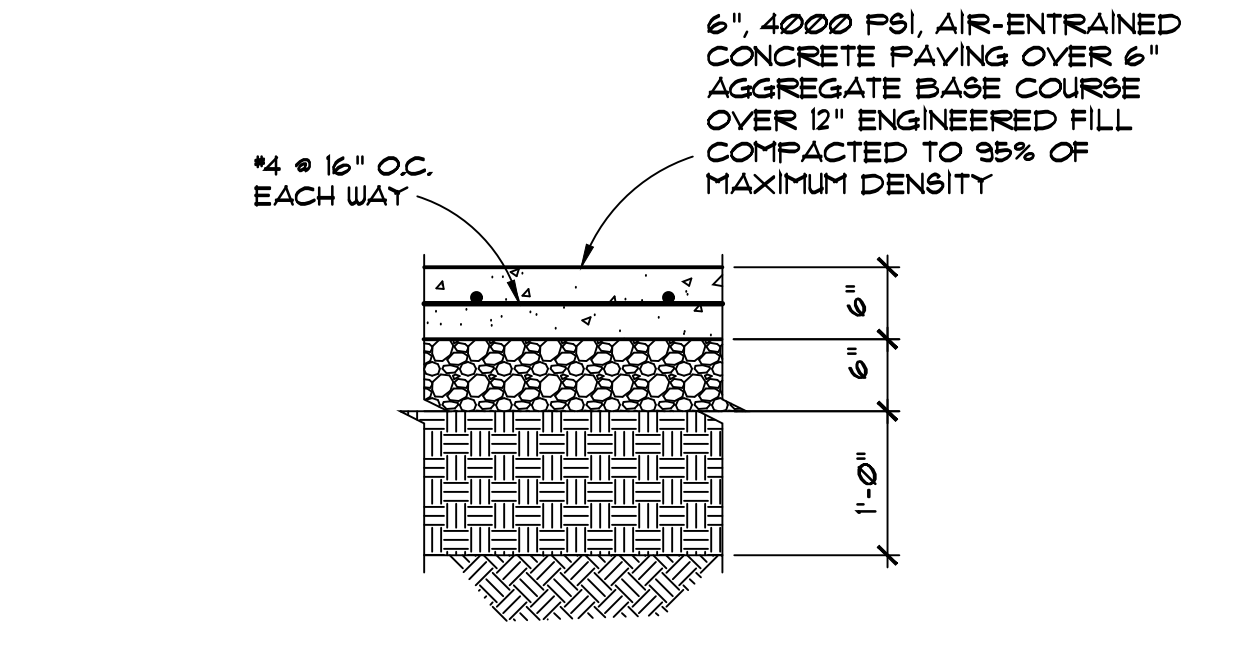
1 TYPICAL CURB AND GUTTER SECTION  
3/4" = 1'-0"



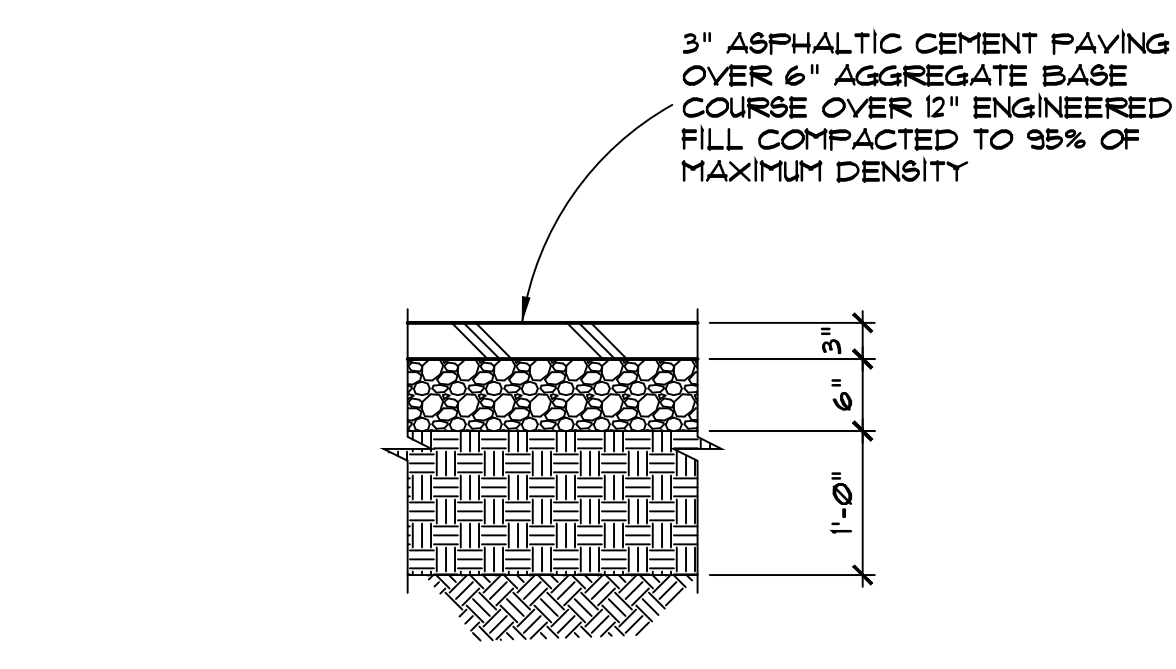
2 TYPICAL DROP INLET  
3/4" = 1'-0"



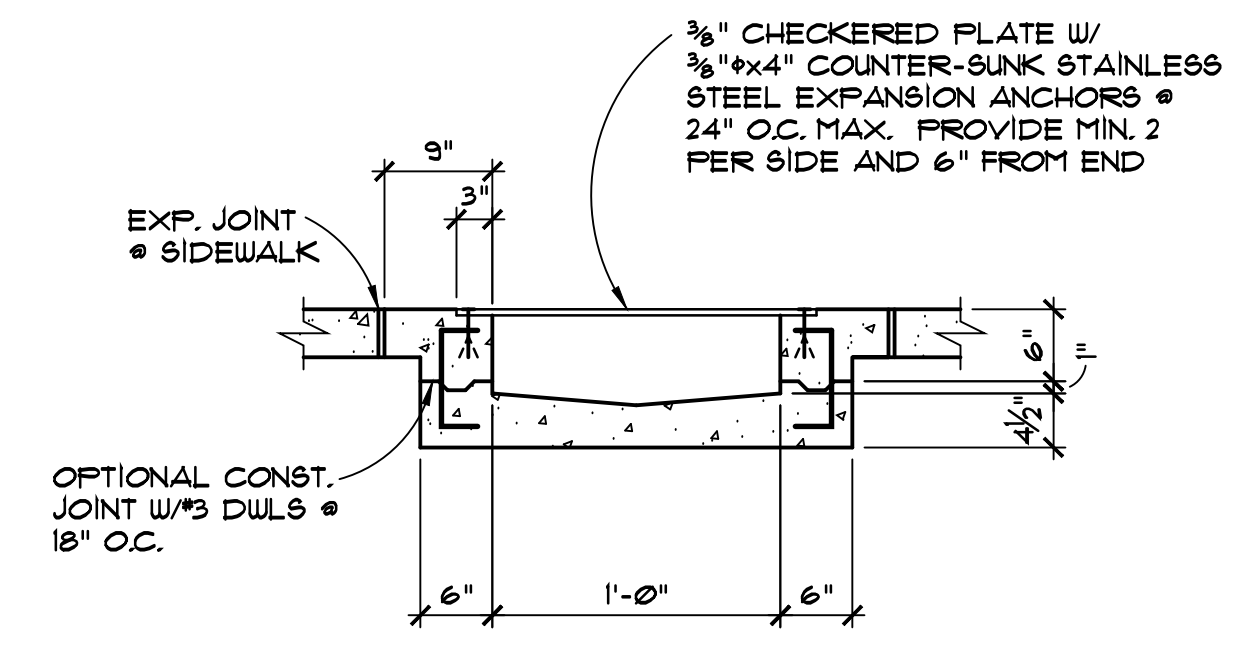
3 OIL/WATER SEPARATION CATCH BASIN  
3/4" = 1'-0"



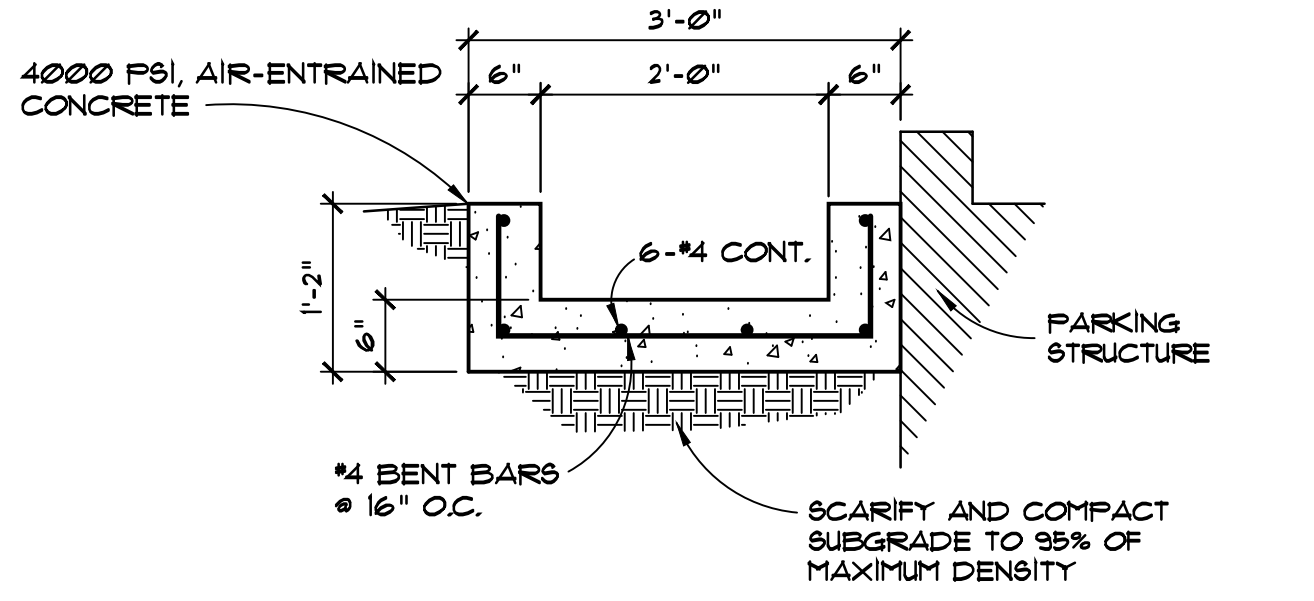
4 CONCRETE PAVING SECTION  
3/4" = 1'-0"



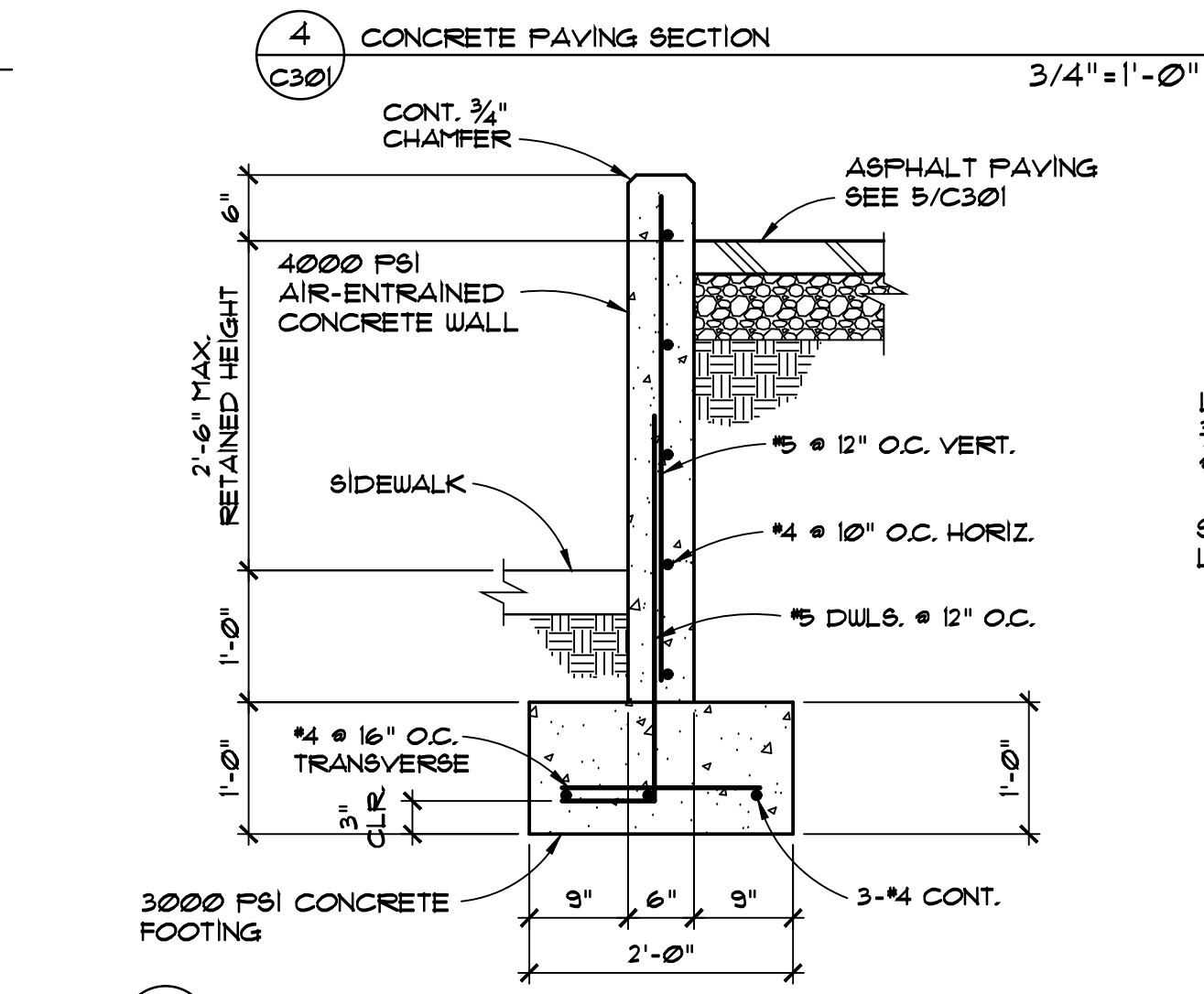
5 ASPHALT PAVING SECTION  
3/4" = 1'-0"



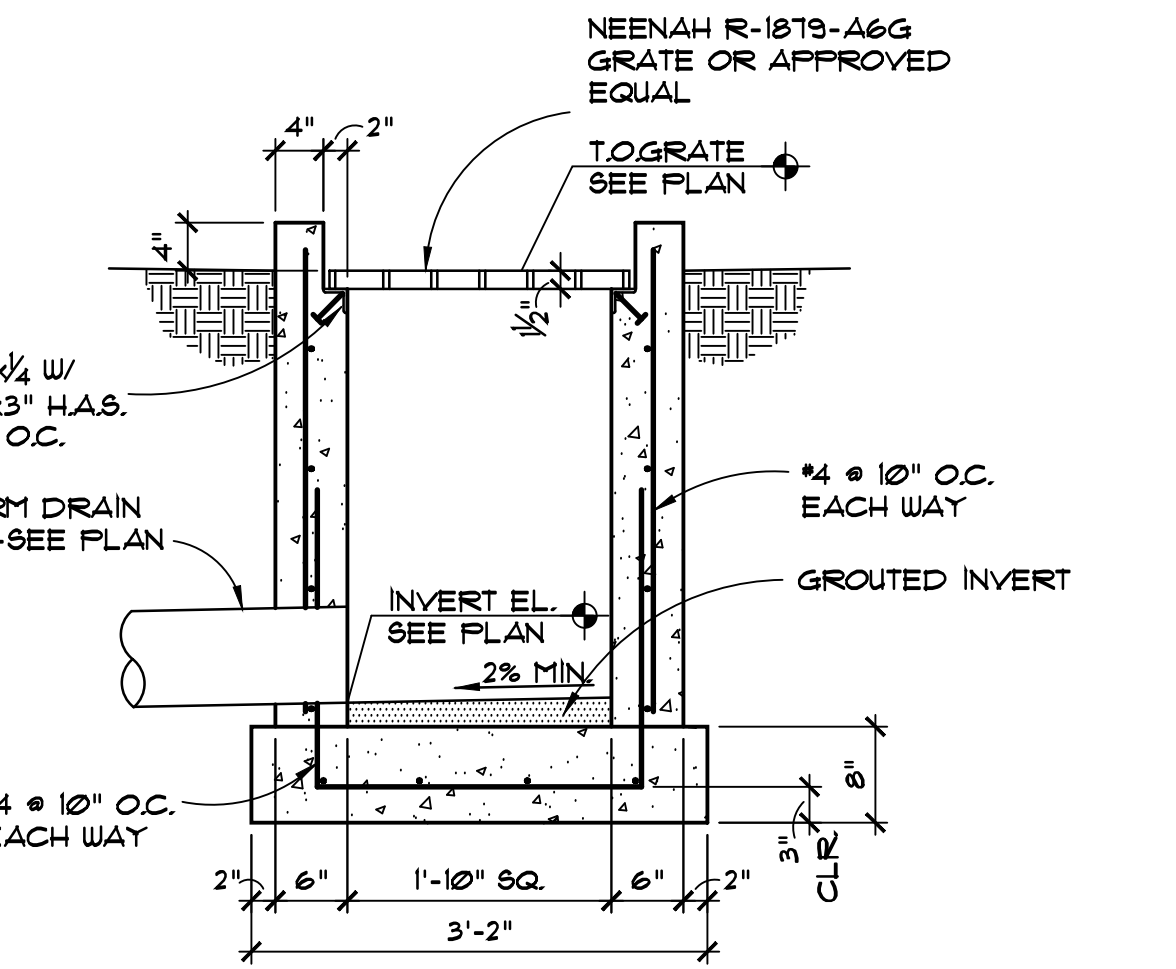
6 TYPICAL SIDEWALK CULVERT  
N.T.S.



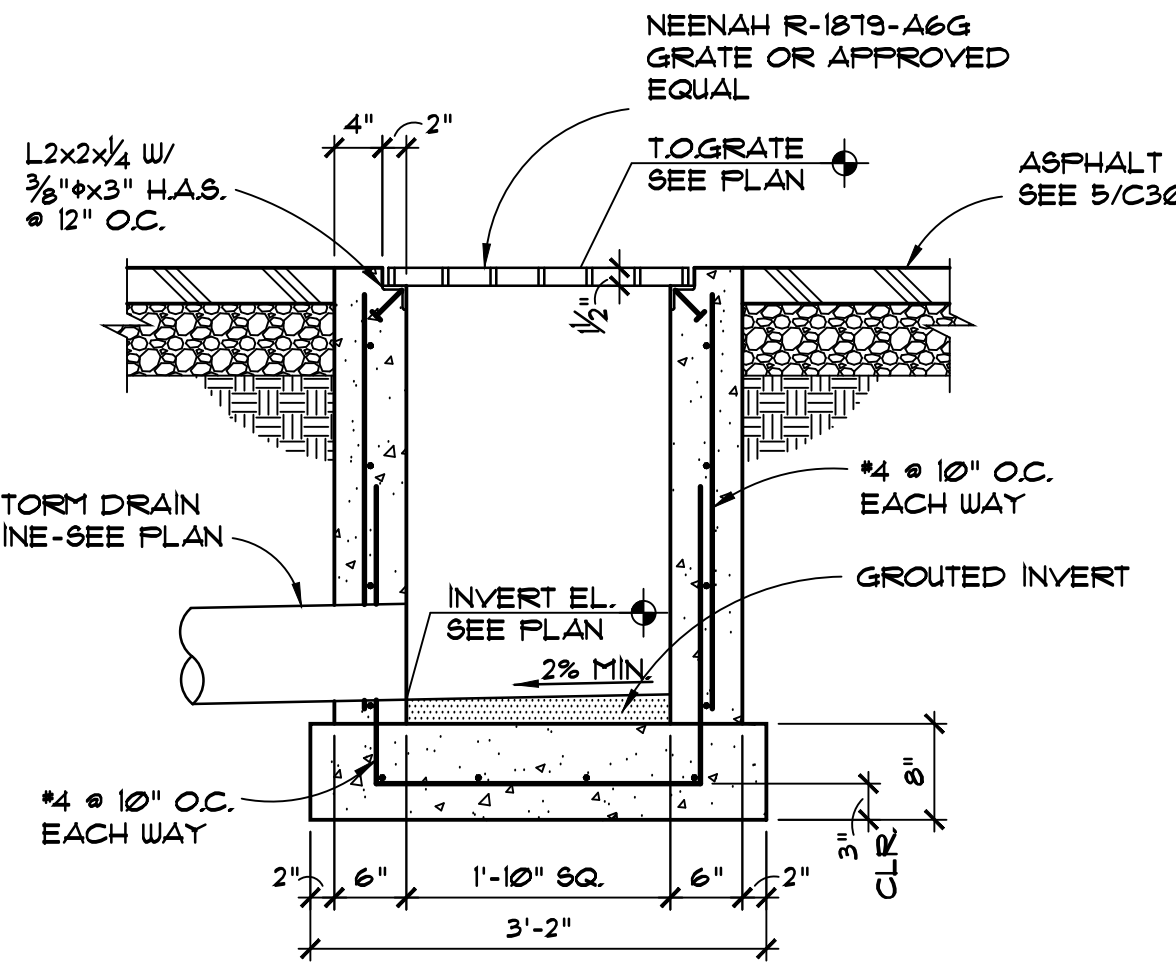
7 CONCRETE CHANNEL  
3/4" = 1'-0"



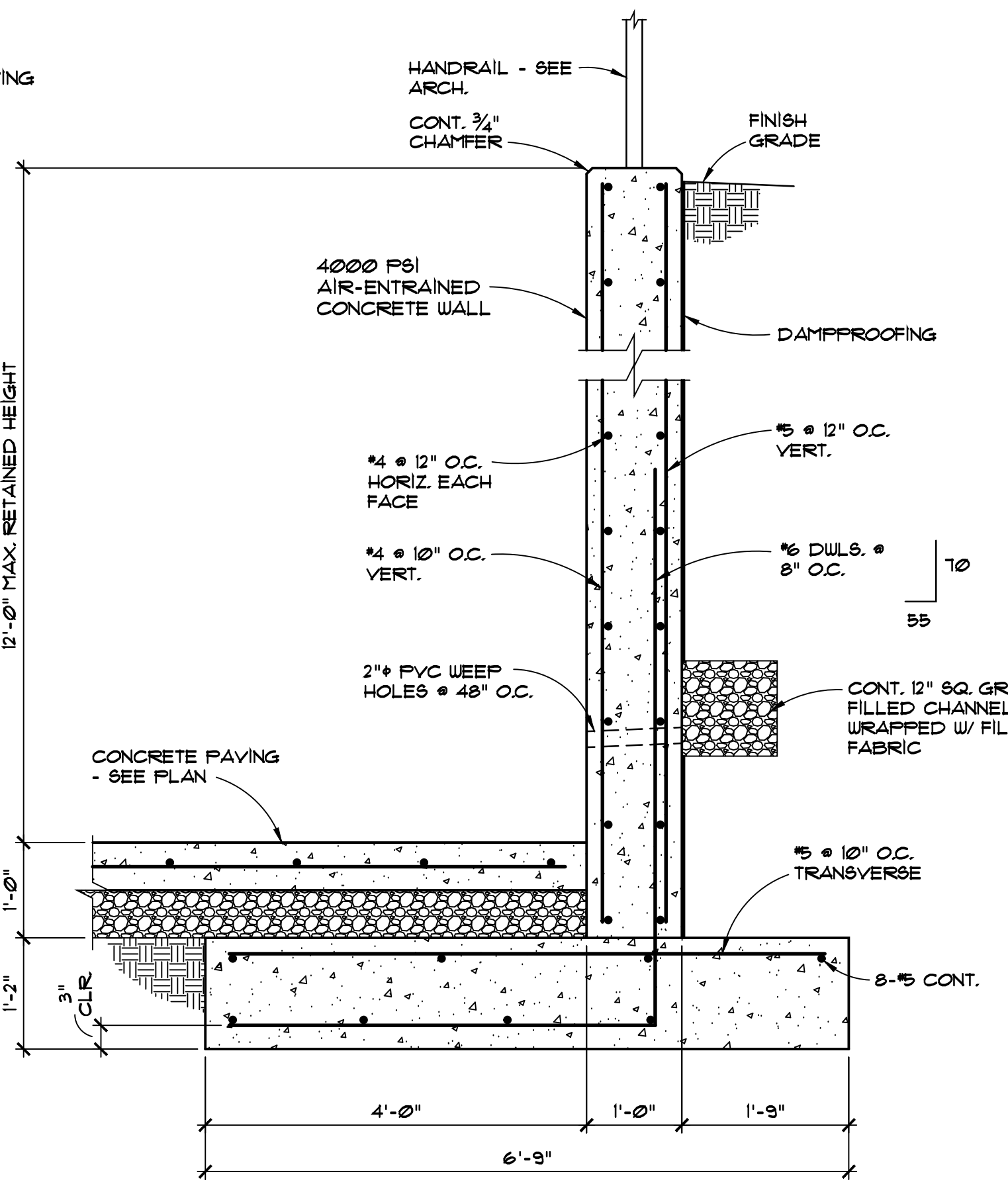
8 CATCH BASIN WITH CURB  
3/4" = 1'-0"



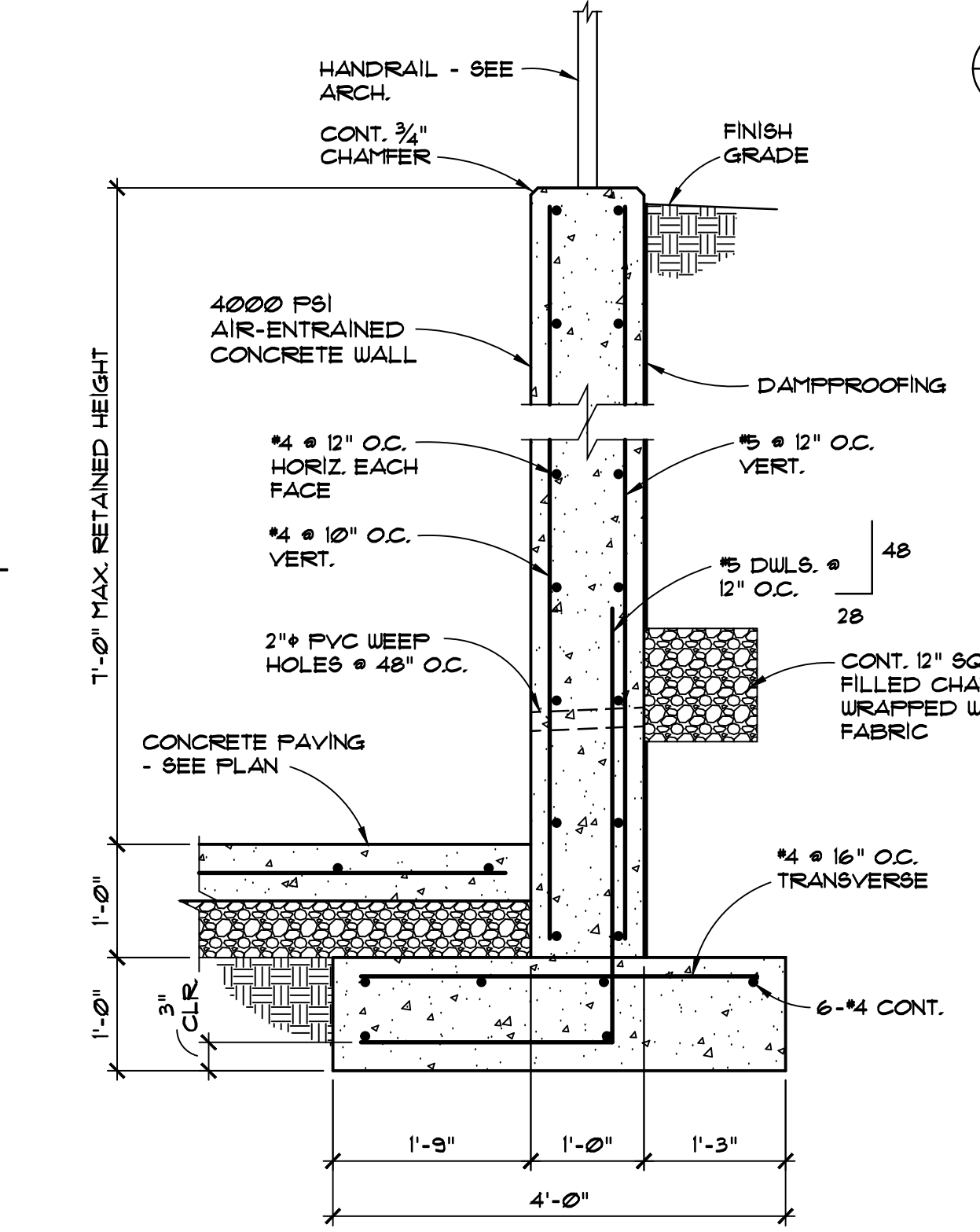
9 CATCH BASIN WITH CURB  
3/4" = 1'-0"



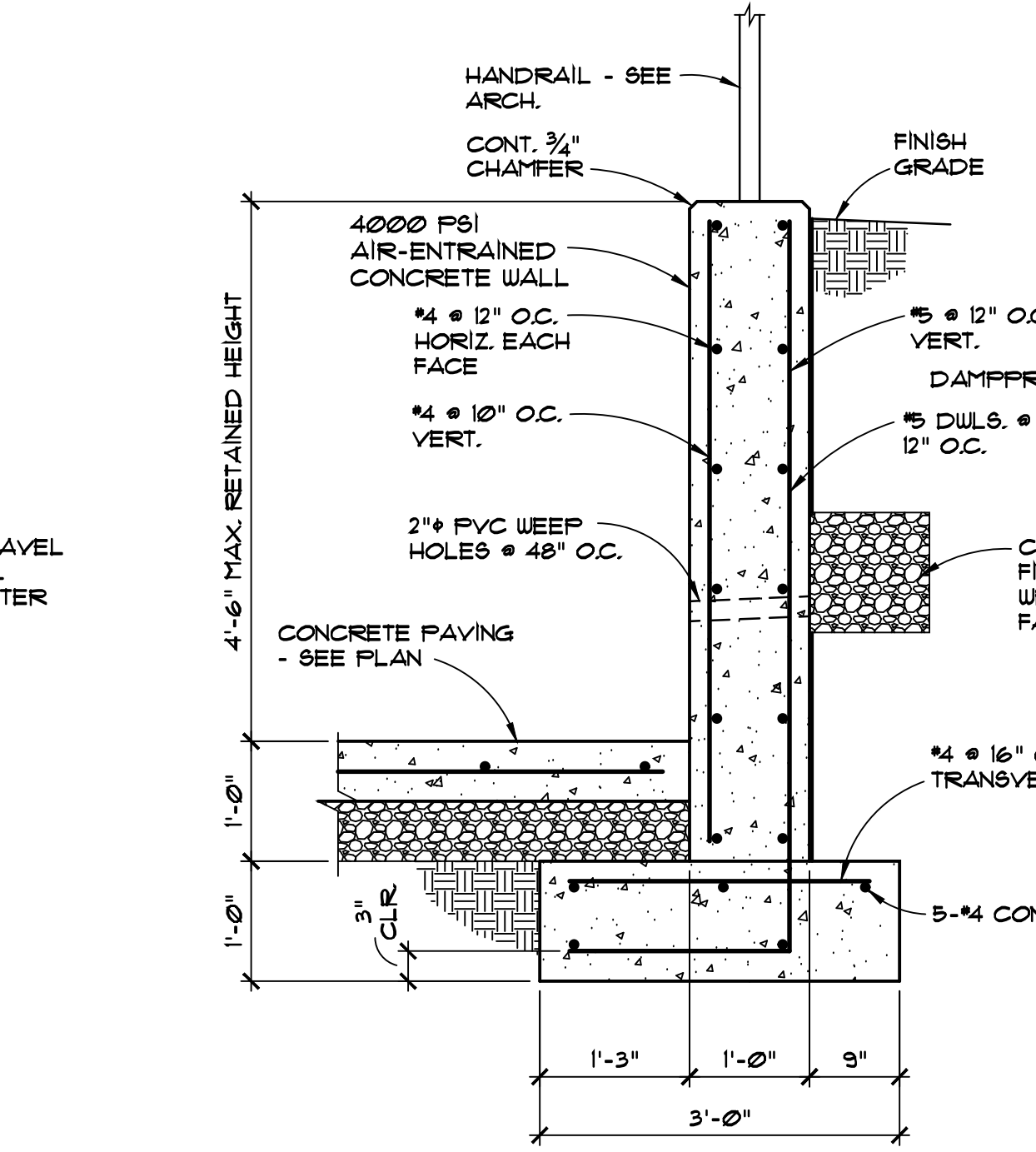
10 CATCH BASIN WITHOUT CURB  
3/4" = 1'-0"



11  
3/4" = 1'-0"



12  
3/4" = 1'-0"



13  
3/4" = 1'-0"

CIVIL DETAILS

date:  
2-14-18  
sheet:  
c301



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_