

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 23, 2023

Robert Calvani, R.A  
NCA, Architects. Planners, AIA  
1306 Rio Grande Blvd. NW  
Albuquerque, NM 87104

**Re: ACCC Vassar Facilities Renovations**  
**3300 Vassar Dr. NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 05-12-22 (G16-D158)  
Certification dated 05-16-23

Dear Mr. Calvani,

Based upon the information provided in your submittal received 06-09-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- Per approved site plan, please provide an ADA pathway connection in this area.



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Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma      via: email

C:      CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** ACCC Vassar Facilities Renovations **Building Permit #** BP-2022-27831 **Hydrology File #** \_\_\_\_\_

**DRB#** 2021-005426 **EPC#** \_\_\_\_\_

**Legal Description:** The south 100 feet of the north 330 feet of west 1/2 of tract J Cole's Industrial Subdivision #2 **City Address OR Parcel** 3300 Vassar Dr. NE Albuquerque, NM 87107

**Applicant/Agent:** NCA Architects LLC **Contact:** Lorenzo Ruiz

**Address:** 1306 Rio Grande Blvd. NW, Albuquerque, NM 87104 **Phone:** (505) 916-9396

**Email:** lrui@nca-architects.com

**Applicant/Owner:** SMI-ABQ Assets, LLC **Contact:** Joshua McManigal

**Address:** 1000 Louisiana St., Suite 400, Houston, TX 77002-5005 **Phone:** (505) 506-5115

**Email:** jmcmanigal@danielsfuneral.com

**TYPE OF DEVELOPMENT:** ☐ PLAT (#of lots) ☐ RESIDENCE ☒ DRB SITE ☐ ADMIN SITE: \_\_\_\_\_  
**RE-SUBMITTAL:** ☐ YES ☐ NO

**DEPARTMENT:** ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 6/6/2023



May 16, 2023

Transportation Department  
Development and Building Services  
Planning Department  
City of Albuquerque

Robert M. Calvani

John C. Layman

Thomas C. Wilber

Molly Calvani Butkus

RE: Approval of Certificate of Occupancy  
Project Name: ACCC Vassar Facilities Renovations  
Address: 3300 Vassar Dr. NE  
Albuquerque, NM 87107

Transportation Department,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 12/09/22. The record information edited onto the original design document has been obtained by Lorenzo Ruiz of the firm NCA Architects. I further certify that I have personally visited the project site on 5/11/22 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Respectfully,

Robert M. Calvani, FAIA, NCARB  
Principal-In-Charge



