CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



June 23, 2023

Robert Calvani, R.A NCA, Architects. Planners, AIA 1306 Rio Grande Blvd. NW Albuquerque, NM 87104

Re: ACCC Vassar Facilities Renovations
3300 Vassar Dr. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 05-12-22 (G16-D158)
Certification dated 05-16-23

Dear Mr. Calvani,

Based upon the information provided in your submittal received 06-09-23, Transportation Development has no objection to a <u>30-day Temporary Certificate of Occupancy</u> based. This letter serves as a "green tag" from Transportation Development for a <u>30-day Temporary</u> Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

NM 87103

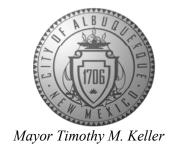
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of signs.
- Per approved site plan, please provide an ADA pathway connection in this area.

www.cabq.gov



CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Once these corrections are complete, email pictures to malnajjra@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

DRB#_2021-005426	EPC#
Legal Description: The south 100 feet of the north 330 feet of 1/2 of tract J Cole's Industrial Subdivision #	west City Address OR Parcel 3300 Vassar Dr. NE Albuquerque, NM 87 ^{‡2}
Applicant/Agent: NCA Architects LLC	Contact: Lorenzo Ruiz
Applicant/Agent: NCA Architects LLC Address: 1306 Rio Grande Blvd. NW, Albuquerque, NM 87104	Phone: (505) 916-9396
Email: Iruiz@nca-architects.com	
Applicant/Owner: SMI-ABQ Assets, LLC	Contact: Joshua McManigal
Address: 1000 Louisiana St., Suite 400, Houston, TX 77002-500	05 Phone: (505) 506-5115
Email: jmcmanigal@danielsfuneral.com	
TYPE OF DEVELOPMENT:PLAT (#of lots)RESIDENCE \(\sqrt{DRB SITE ADMIN SITE:} \) RE-SUBMITTAL:YESNO DEPARTMENT: \(\sqrt{TRANSPORTATION } \) HYDROLOGY/DRAINAGE	
DEPARTMENT:TRANSPORTATION Check all that apply:	HYDROLOGY/DRAINAGE
TYPE OF SUBMITTAL: TYP	PE OF APPROVAL/ACCEPTANCE SOUGHT:
✓ENGINEER/ARCHITECT CERTIFICATION	BUILDING PERMIT APPROVAL
PAD CERTIFICATION	✓CERTIFICATE OF OCCUPANCY
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DRB APPROVAL
GRADING PLAN	
	PRELIMINARY PLAT APPROVAL
DRAINAGE REPORT	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL
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Transportation Department
Development and Building Services
Planning Department
City of Albuquerque

Robert M. Calvani John C. Layman

Thomas C. Wilber

RE:

Molly Calvani Butkus

Approval of Certificate of Occupancy

Project Name: ACCC Vassar Facilities Renovations

Address: 3300 Vassar Dr. NE Albuquerque, NM 87107

Transportation Department,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, herby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 12/09/22. The record information edited onto the original design document has been obtained by Lorenzo Ruiz of the firm NCA Architects. I further certify that I have personally visited the project site on 5/11/22 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Respectfully,

Robert M. Calvani, FAIA, NCARB

Principal-In-Charge

These plans have been reviewed for code compliance and are:

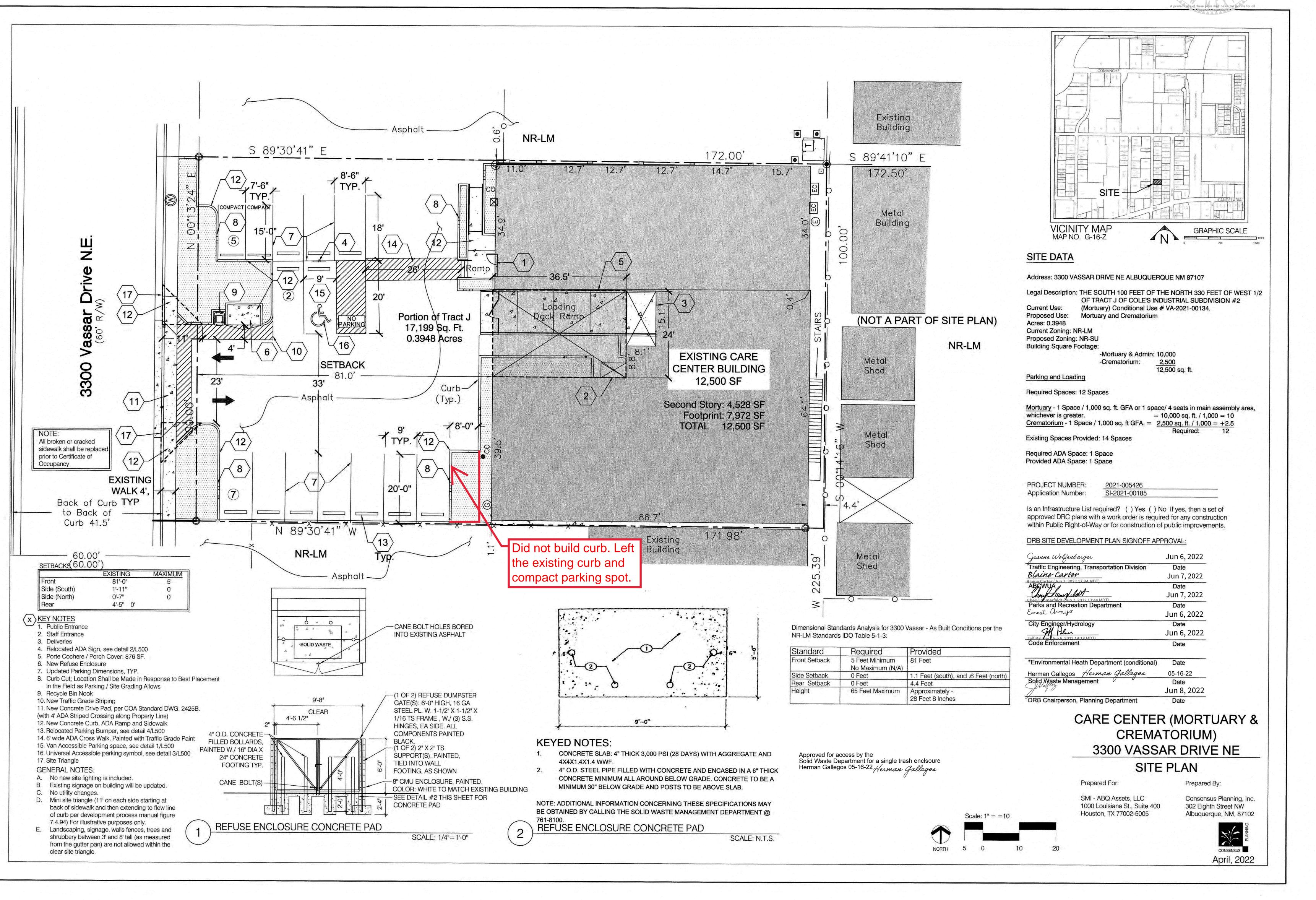
APPROVED

The Approval of these plans shall not be construed to be a permit for any violations of any code or ordinance of this city.

PERMIT #: BP-2022-27831

DATE: 12/09/22

A printed copy of these plans shall be on the job site for prepared inspections.



ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW ALBUQUERQUE, NM 87104 505-255-6400 505-268-6954 FAX WWW.NCA-ARCHITECTS.COM

ROBERT CALVANI NO. 1056

PROJECT TITLE

ACCC VASSAR

ALBUQUERQUE, NEW MEXICO

REVISIONS:

MK DATE DESCRIPTION

DRAWN BY: CHECKED BY:

NCA IR

NCA LR
PROJECT NUMBER:
A22.09
DATE:

MARCH 2022 SHEET TITLE:

SITE PLAN

SHEET NO:

Sheet 1 of 5