

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 10, 2024

Stephen Leos, RA
Stephen Leos Architect, LLC
413 2nd st. SW 2nd floor
Albuquerque, NM 87102

**Re: Princeton Cultivation
3701 Princeton NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 2/10/2024 (G16D159)**

Dear Mr. Leos,

The TCL submittal received 5-6-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

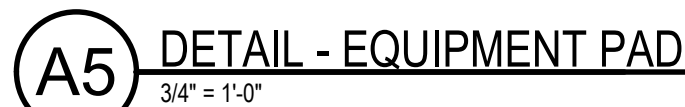
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 6/10/2024

Signed _____ Date _____

1. PARKING and ACCESSIBLE PAVEMENT MARKING and STRIPING SHALL CONFORM to THE NEW MEXICO COMMERCIAL BUILDING CODE, SECTION 1110.3 #7.2.
2. EXISTING BROKEN or CRACKED SIDEWALK SHALL BE REPLACED WITH NEW SIDEWALK, CURB and GUTTER. REFER to COA STD. DRAWING 2415A AND 2430.

PROJECT LOCATION

Map showing the I-20 Zone Atlas for May 2018. The map displays various land use zones and transportation corridors, including I-20, I-405, and I-10. Key areas labeled include PORTERS, REPLAT, LAKESIDE, ACRES, and various residential and commercial zones. A legend in the bottom right corner defines symbols for Eastment, Escurement, Agricultural Natural Resource, Area Outside of City Limits, Airport Protection Overlay (APO) Zone, Cemetery Protection Overlay (CPO) Zone, Historic Preservation Overlay (HPO) Zone, and View Protection Overlay (VPO) Zone. A scale bar indicates distances from 0 to 1/4 mile. A north arrow is also present.

I-20 Zone Atlas May 2018

AGIS

AGIS is a leading provider of geographic information systems (GIS) and mapping services. For more information, visit www.agis.com.

Legend:

- Eastment
- Escurement
- Agricultural Natural Resource
- Area Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Cemetery Protection Overlay (CPO) Zone
- Historic Preservation Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Scale: 0 to 1/4 mile

North Arrow: N

Map Data: City of San Jose, AGIS

- NEW WORK:
1. EXISTING CITY SIDEWALK
2. EXISTING CONCRETE CURB AND GUTTER
3. EXISTING PROPERTY LINE
4. EXISTING PUBLIC UTILITY EASEMENT
5. EXISTING CURB CUT
6. EXISTING FIRE HYDRANT
7. EXISTING DUMPSTER
8. EXISTING ROLLING GATE
9. PROPOSED LANDSCAPING AREA
10. NEW ACCESSIBLE PARKING SIGN "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4 CMSS 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" SEE DETAIL
11. NEW STRIPED ADA AISLE WITH 12" HIGHER PAINTED LETTERING "NO PARKING" PER 66-14-1B NMS 1978
12. NEW ADA PAVEMENT MARKING, SEE DETAIL D1AS-102
13. NEW 4' WIDE PARKING STRIPING
14. NEW PAINTED MOTORCYCLE PARKING SPACE
15. NEW MOTORCYCLE PARKING SIGN, SEE DETAIL D4AS/102, FOR POST/MOUNTING
16. NEW STRAFFING STRIPING, SEE DETAIL AS-102 - D1
17. NEW BICYCLE RACK, SEE DETAIL D3AS/102
18. NEW BOLLARD, SEE DETAIL AS-102 - A2
19. NEW MECHANICAL UNIT SCREEN
20. NEW TRANSFORMER AND PAD (SEE ELEC)
21. RELOCATED EXISTING WHEEL STOP
22. INTERSECTION CLEAR SITE DISTANCE
23. CLEAR SIGN TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PA) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE
24. NEW CONCRETE CURB AND SIDEWALK PER C&A STANDARD DETAIL 2430
25. ADA SIDEWALK CURB, SEE DETAIL A24AS-102
26. EXISTING WATER METER
27. NEW DRIVE/PAD W/ SIDEWALK AT CURB OF CURB, PER C&A STANDARD DETAIL 2425A
28. NEW SIDEWALK PER C&A STANDARD DETAIL 2430
29. NEW CONCRETE RAMP MAX SLOPE = 1:10. MAX RISE = 3"
30. CONCRETE LANDING, MATCH ADJACENT CURB
31. EXISTING CONCRETE SIDEWALK

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albuquerque, new mexico 87102
505.681.2329 | www.SLeosArch.com



A1 SITE PLAN
1" = 10'-0"

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE

AS101

SHEET NO.

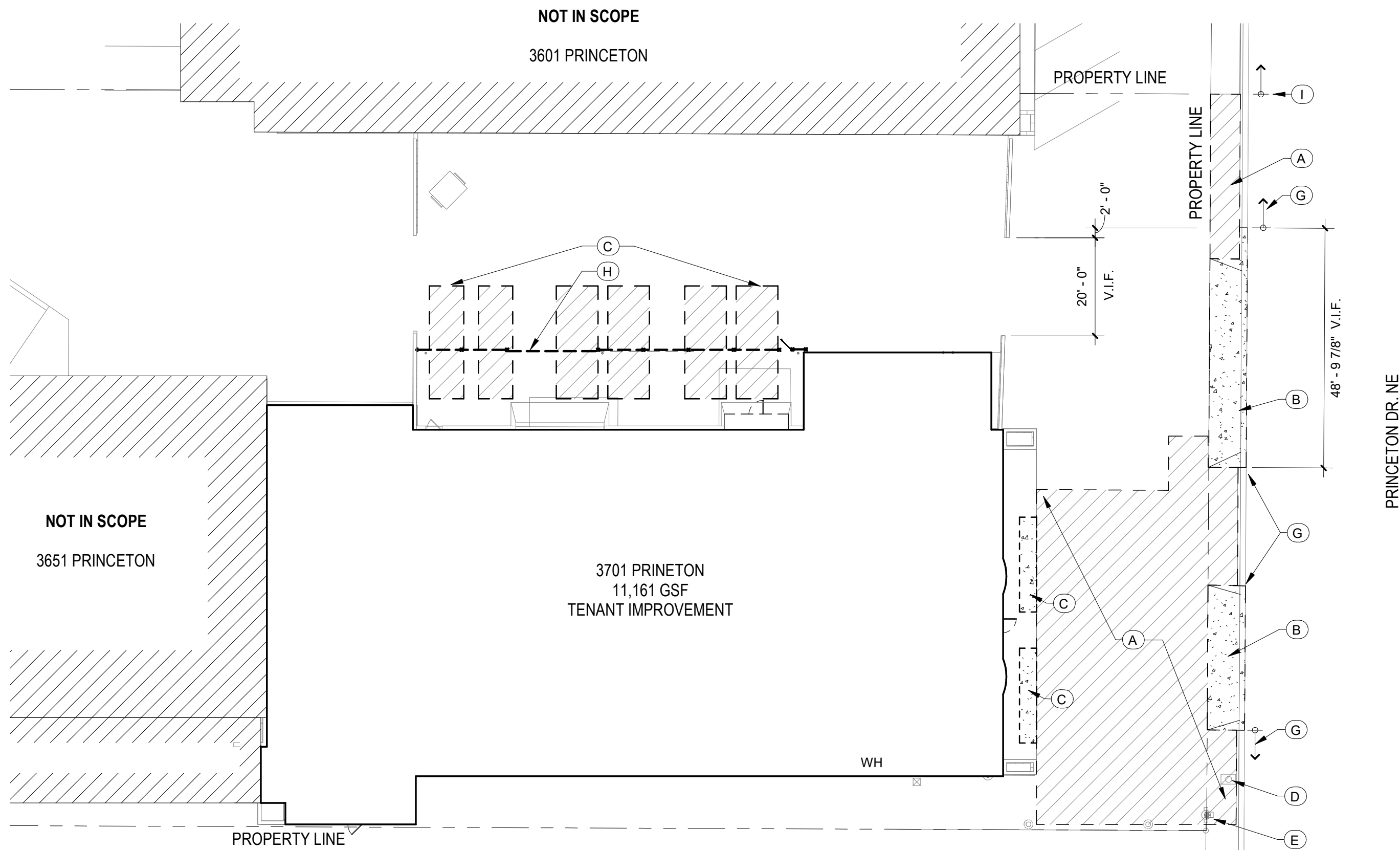
SITE PLAN

Permit / Bid

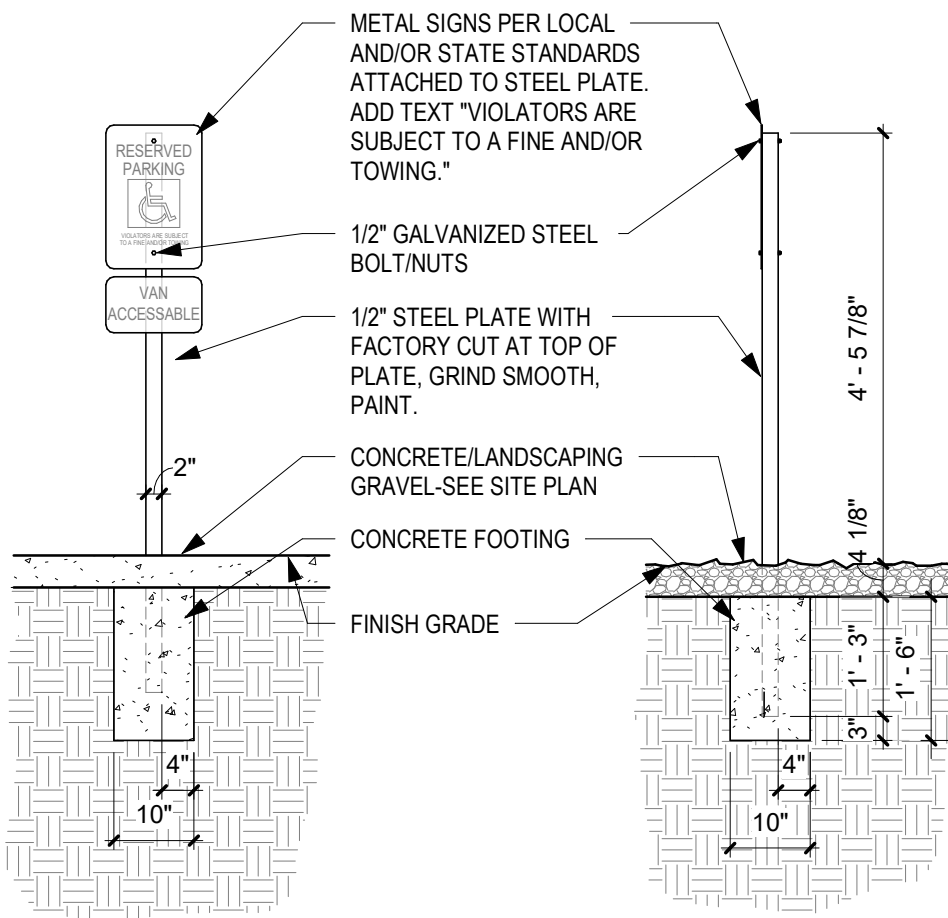
REVISIONS

NO.	DATE	DESCRIPTION
1	03/06/2024	CoA Revisions

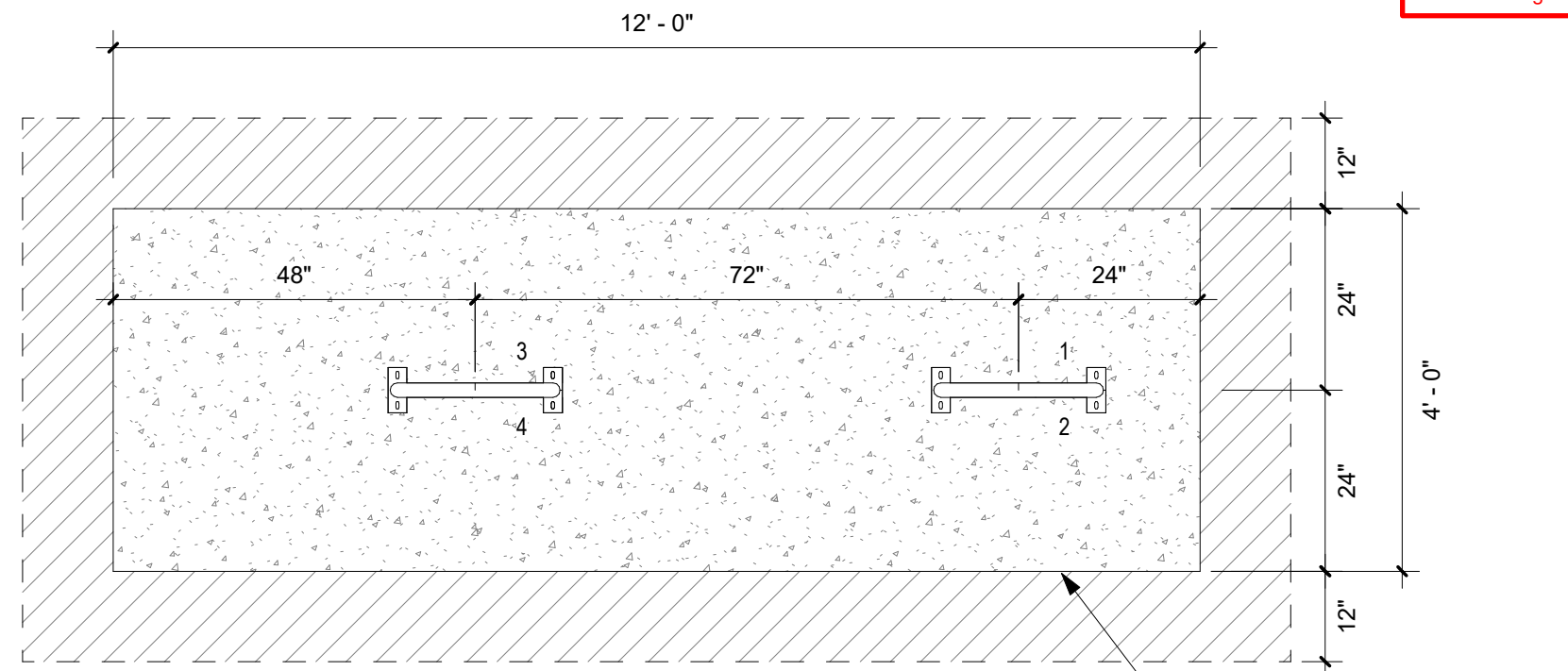
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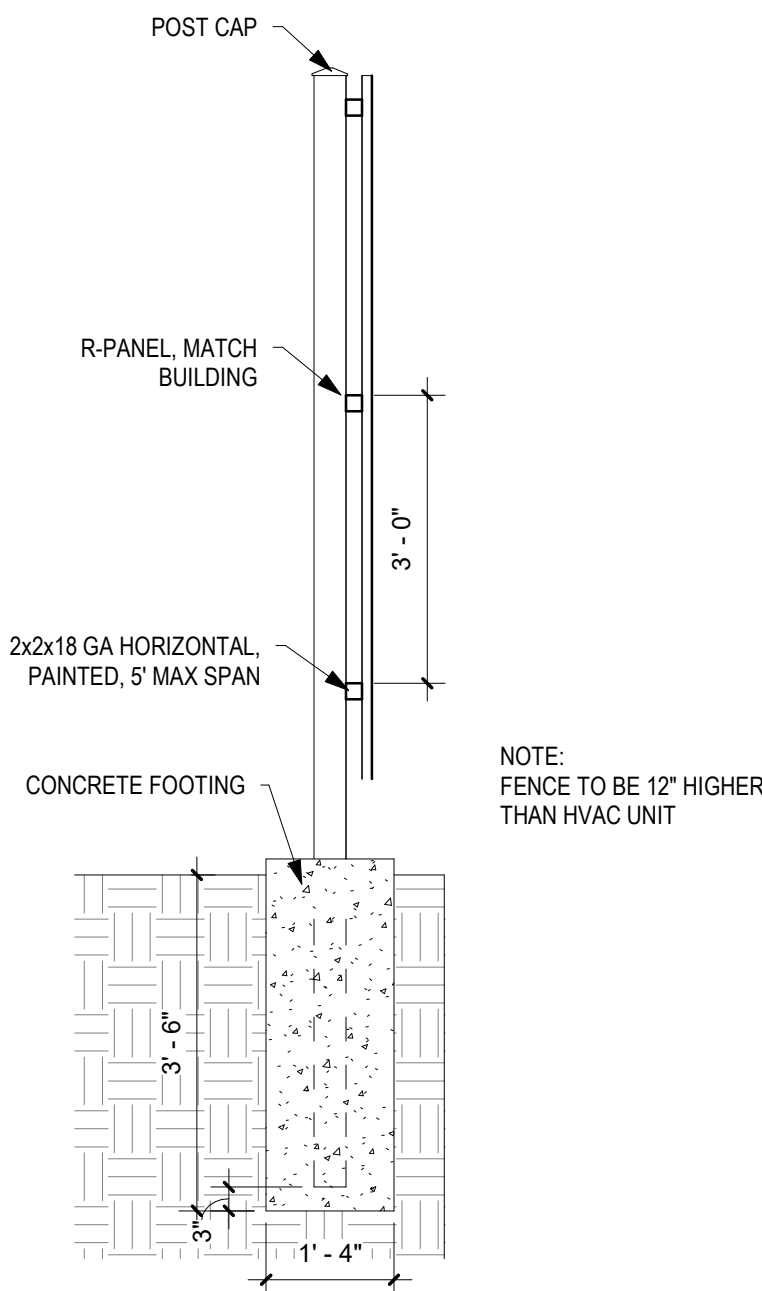
A1 SITE - DEMO
1" = 20'-0"



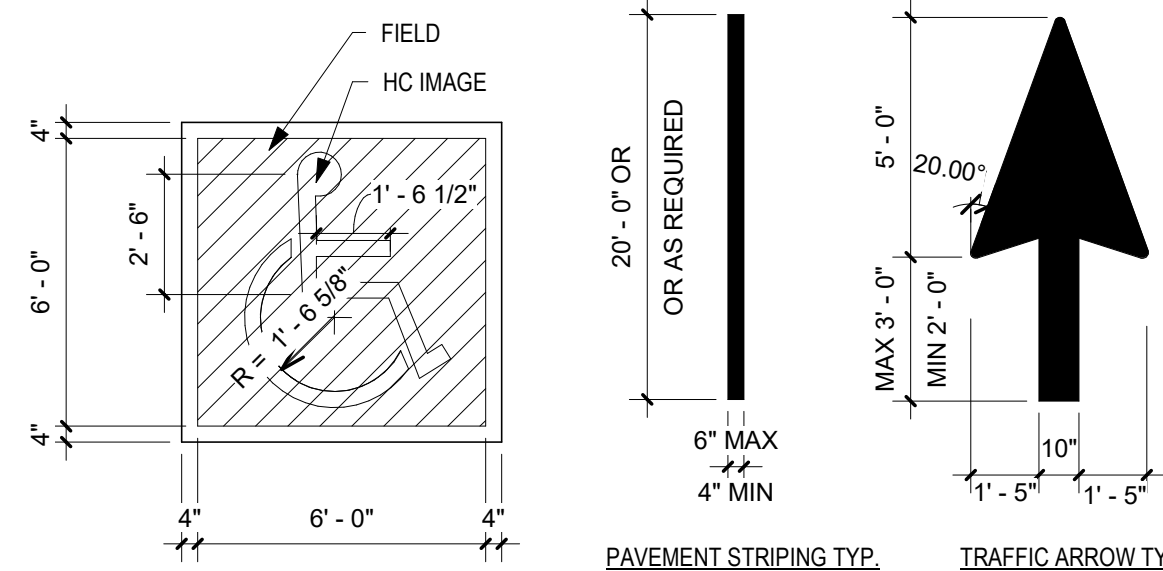
D4 ACCESSIBLE PARK. SIGN
1/2" = 1'-0"



D5 BICYCLE RACK DETAIL
1/2" = 1'-0"



B5 HVAC SCREEN DETAIL
1/2" = 1'-0"



NOTE: CENTER IMAGE IN SQUARE FIELD - PAINT HC IMAGE AND BORDER WHITE. ON A FIELD OF BLUE

ADA PAVEMENT STRIPING NOTE: USE REFLECTIVE BLUE PAINT

NOTE: USE NON-REFLECTIVE WHITE PAINT, TYP. BUT USE YELLOW ON CONCRETE OR OTHER SURFACES WHERE WHITE PAINT DOES NOT PROVIDE SUFFICIENT CONTACT

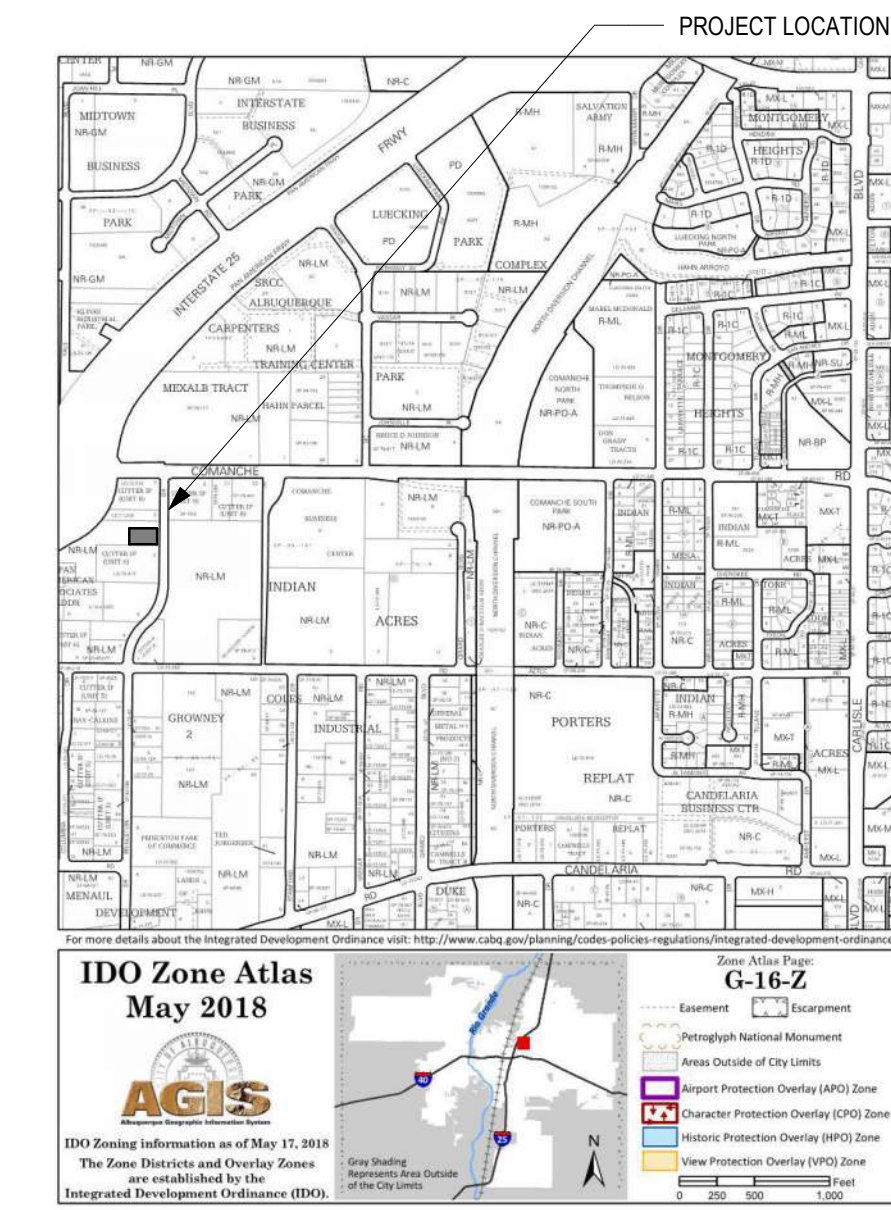
A5 TRAFFIC STRIPING DETAIL
1/4" = 1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 6/10/2024
Signed Date

GENERAL NOTES

- PARKING and ACCESSIBLE PAVEMENT MARKING and STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE, SECTION 1110.3 #7.2
- EXISTING BROKEN or CRACKED SIDEWALK SHALL BE REPLACED WITH NEW SIDEWALK, CURB and GUTTER, REFER TO COA STD. DRAWING 2415A AND 2430.

VICINITY MAP



REFERENCE KEYNOTES

- DEMO:
- REMOVE - EXISTING ASPHALT PAVING COMPLETE
 - REMOVE EXISTING CURB CUT & GUTTER, CUT/REMOVE FROM JOINT TO JOINT, PROPERLY DISPOSE TO WASTE
 - REMOVE PORTION OF CONCRETE or ASPHALT as REQ. FOR NEW HVAC PAD
 - EXISTING WATER METER
 - EXISTING FIRE HYDRANT
 - EXISTING BIKE LANE IN RIGHT OF WAY
 - EXISTING TO REMAIN - CURB and GUTTER
 - REMOVE EXISTING CHAIN LINK FENCE and GATES
 - EXISTING TO REMAIN

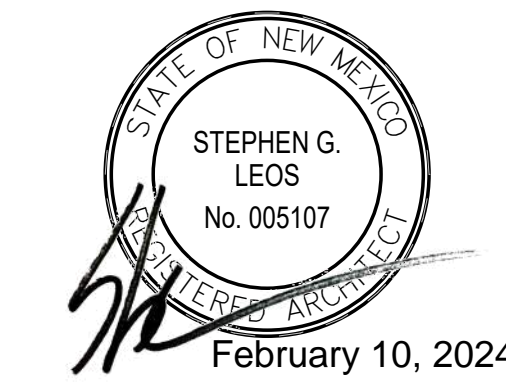
SURFACES of PARKING and ACCESS AISLES

- ANSI - 502.5 FLOOR SURFACES
- PARKING SPACES and ACCESS AISLES SHALL COMPLY SECTION 302 and SHALL HAVE SURFACES SLOPES NOT STEEPER THAN 1:48 (2% SLOPE)
 - ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE
 - PARKING SPACES SHALL BE STABLE, FIRM, and SLIP RESISTANT
 - PER 2010 ADA ADVISORY 502.4, BUILT-UP RAMPS ARE NOT PERMITTED TO PROJECT INTO ACCESS AISLES and PARKING SPACES BECAUSE THEY WOULD CREATE SLOPES GREATER THAN 1:48

CLEAR SIGHT TRIANGLE

LANDSCAPING and SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE

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Princeton Cultivation

3701 Princeton Dr. NE
Albuquerque, NM 87107

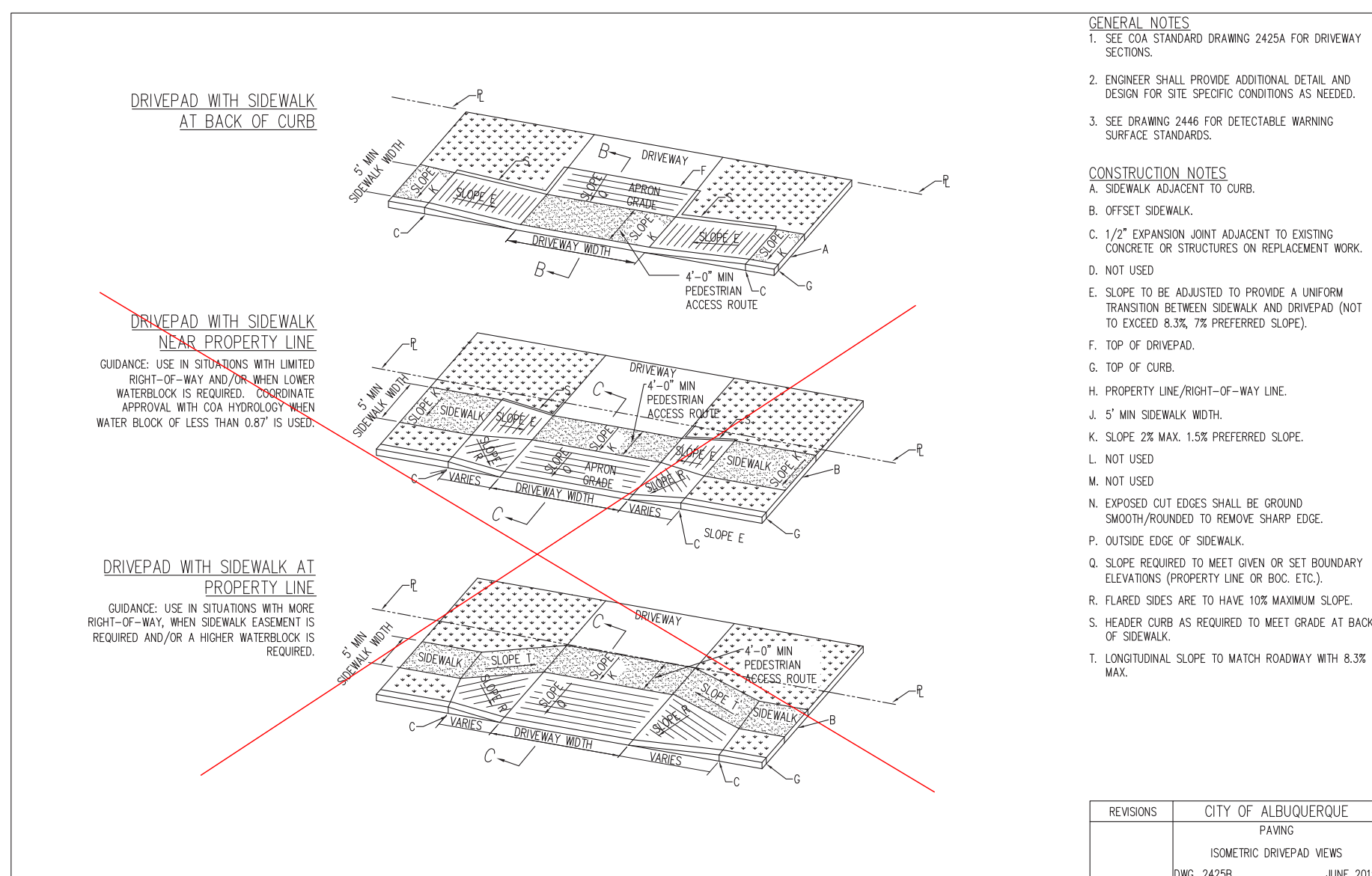
For Permit / Bid

REVISIONS		
NO.	DATE	DESCRIPTION
1	03/06/2024	CoA Revisions

SITE DETAILS

SHEET NO
AS102

PROJECT NO: 22-11
DATE: March 15, 2024



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 6/10/2024

Signed _____
Date _____

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[illegible]

1. NEW WORK:
1. EXISTING CITY SIDEWALK
2. EXISTING CONCRETE CURB AND GUTTER
3. EXISTING PROPERTY LINE
4. EXISTING PUBLIC UTILITY EASEMENT
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REVISIONS	
	DESCRIPTION
2024	CoA Revisions

SHEET NO
AS103

DATE March 15, 2024

