

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 25, 2025

Stephen Leos, RA
Stephen Leos Architect, LLC
PO Box 4924
Albuquerque, NM 87196

STEPHEN@SLEOSARCH.COM

**Re: Princeton Cultivation
3601 Princeton NE
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's Stamp dated 2-10-24 (G16D159) TRANS-2025-00163
Certification dated 6-25-2025

Dear Mr. Leos,

PO Box 1293
Albuquerque
NM 87103

Based upon the information provided in your submittal received 6-18-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3909 or at skanbar@cabq.gov

Sincerely,

Sertil A. Kanbar

www.cabq.gov

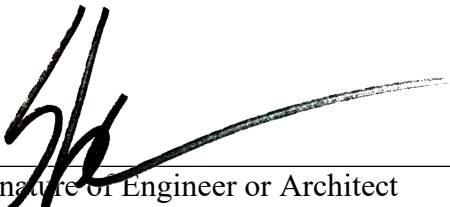
Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, Stephen Leos, NMRA NUMBER 05107, OF THE FIRM Stephen Leos Architect, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED June 10, 2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Stephen Leos OF THE FIRM Stephen Leos Architect, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON June 04, 2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



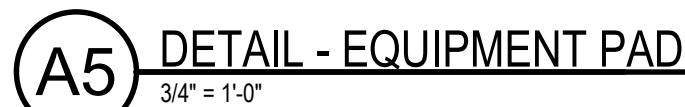
Signature of Engineer or Architect

ARCHITECT'S STAMP



June 18, 2025
Date

June 18, 2025



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 6/10/2024

Signed _____ Date _____

1. PARKING and ACCESSIBLE PAVEMENT MARKING and STRIPING SHALL CONFORM to THE NEW MEXICO COMMERCIAL BUILDING CODE, SECTION 1110.3 #7.2.
2. EXISTING BROKEN or CRACKED SIDEWALK SHALL BE REPLACED WITH NEW SIDEWALK, CURB and GUTTER. REFER to COA STD. DRAWING 2415A AND 2430.

PROJECT LOCATION

For more details about the Integrated Development Ordinance visit: <http://www.ci.chicgo.il.us/planning/city-guides/regulating-development-and-overseeing-the-city>.

IDO Zone Atlas May 2018

(IDO Name Information as of May 17, 2018)
The Area Jurisdiction and Overlay Zones
as established by the
Integrated Development Ordinance (IDO).

G-16-Z

- Eastment
- Occipement
- Parakeg National Movement
- Area Outside of City Limits
- Forest Protection Overlay (APO) Zone
- Overwater Protection Overlay (OPO) Zone
- Inland Protection Overlay (IPO) Zone
- View Protection Overlay (VPO) Zone

Scale: 0 1 Mile

N ↑

Drawing Reference Map Update:
City of Chicago

1. EXISTING CITY SIDEWALK
2. EXISTING CONCRETE CURB AND GUTTER
3. EXISTING PROPERTY LINE
4. EXISTING PUBLIC UTILITY EASEMENT
5. EXISTING CURB CUT
6. EXISTING FIRE HYDRANT
7. EXISTING DUMPSTER
8. EXISTING ROLLING GATE
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10. NEW ACCESSIBLE PARKING SIGN "VAN" WHERE NOTED, SIGN TO BE NOTED PER 66-7-352-CA NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND AN ORDER" SEE DETAIL
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13. NEW PAINTED 4' WIDE PARKING STRIPING
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16. NEW TRAFFIC STRIPING, SEE DETAIL AS102 - D1
17. NEW BICYCLE RACK, SEE DETAIL D3AS102
18. NEW BOLLARD, SEE DETAIL AS102 - A2
19. NEW MECHANICAL UNIT SCREEN
20. NEW TRANSFORMER AND PAD (SEE ELEC)
21. RELOCATED EXISTING WHEEL STOP
22. INTERSECTION CLEAR SIGHT DISTANCE
23. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
24. NEW CONCRETE CURB AND SIDEWALK PER CoA STANDARD DETAIL 2430
25. ADA SIDEWALK RAMP, SEE DETAIL A2AS-102
26. EXISTING WATER METER
27. NEW DRIVEPAD W/ SIDEWALK AT BACK OF CURB, PER CoA STANDARD DETAIL 2425A
28. NEW SIDEWALK PER CoA STANDARD DETAIL 2430
29. NEW CONCRETE RAMP MAX SLOPE = 1:10, MAX RISE = 3"
30. CONCRETE LANDSCAPE, MATCH ADJACENT CURB
31. EXISTING CONCRETE SIDEWALK

STATE OF NEW MEXICO
STEPHEN G. LEOS
No. 005107
REGISTERED ARCHITECT
February 10, 2018

Princeton Cultivation

For Permit / Bid

REVISIONS		
NO.	DATE	DESCRIPTION
1	03/06/2024	CoA Revisions

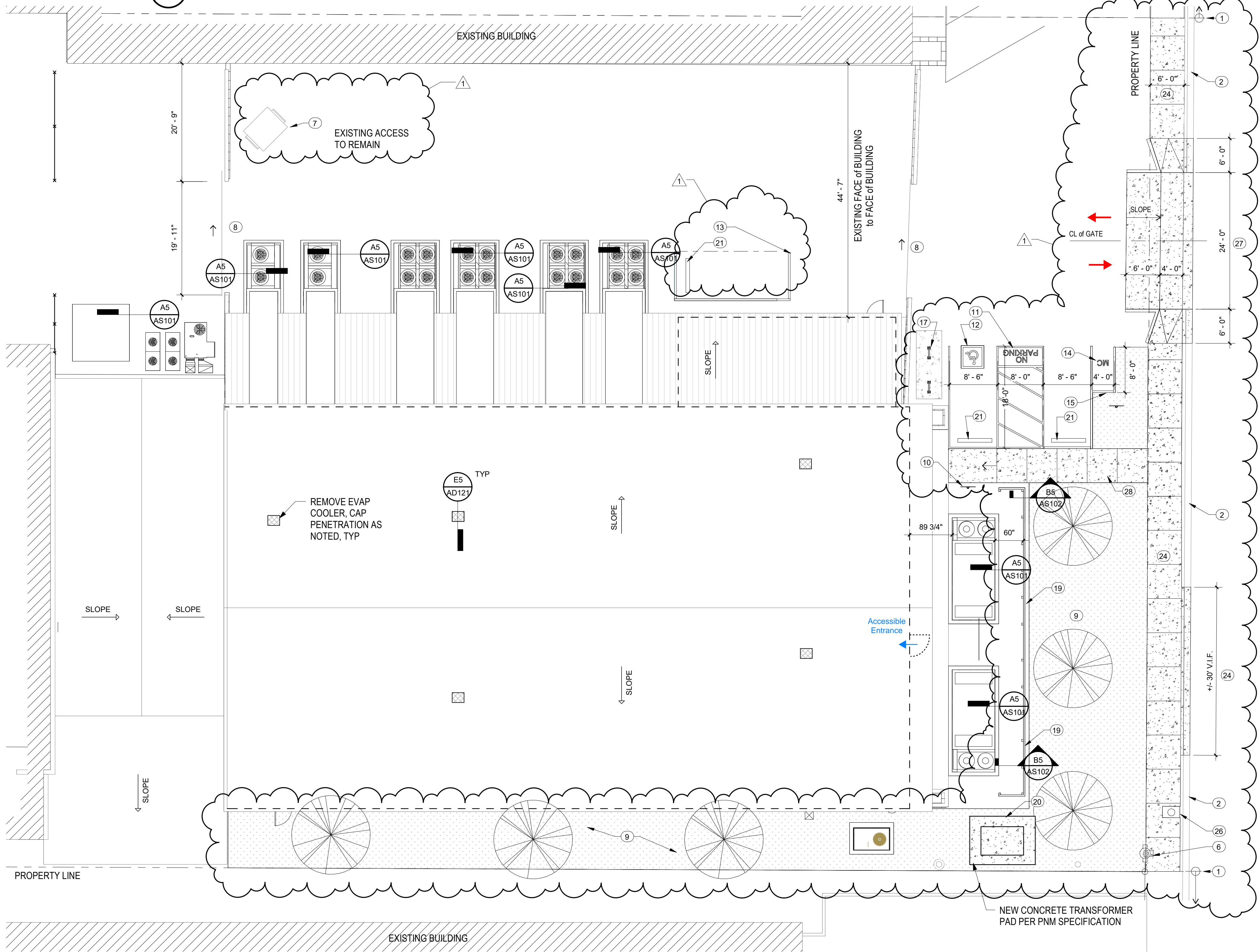
ANSI - 502.5 FLOOR SURFACES

- PARKING SPACES AND ACCESS AISLES SHALL COMPLY SECTION 302 and SHALL HAVE SURFACES SLOPES NOT STEEPER THAN 1:48 (2% SLOPE)
- ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE
- PARKING SPACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT
- PER 2010 ADA ADVISORY 502.4, BUILT-UP RAMPS ARE NOT PERMITTED TO PROJECT INTO ACCESS AISLES AND PARKING SPACES BECAUSE THEY WOULD CREATE SLOPES GREATER THAN 1:48

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE

PROJECT NO: 22-11

DATE March 15, 2024



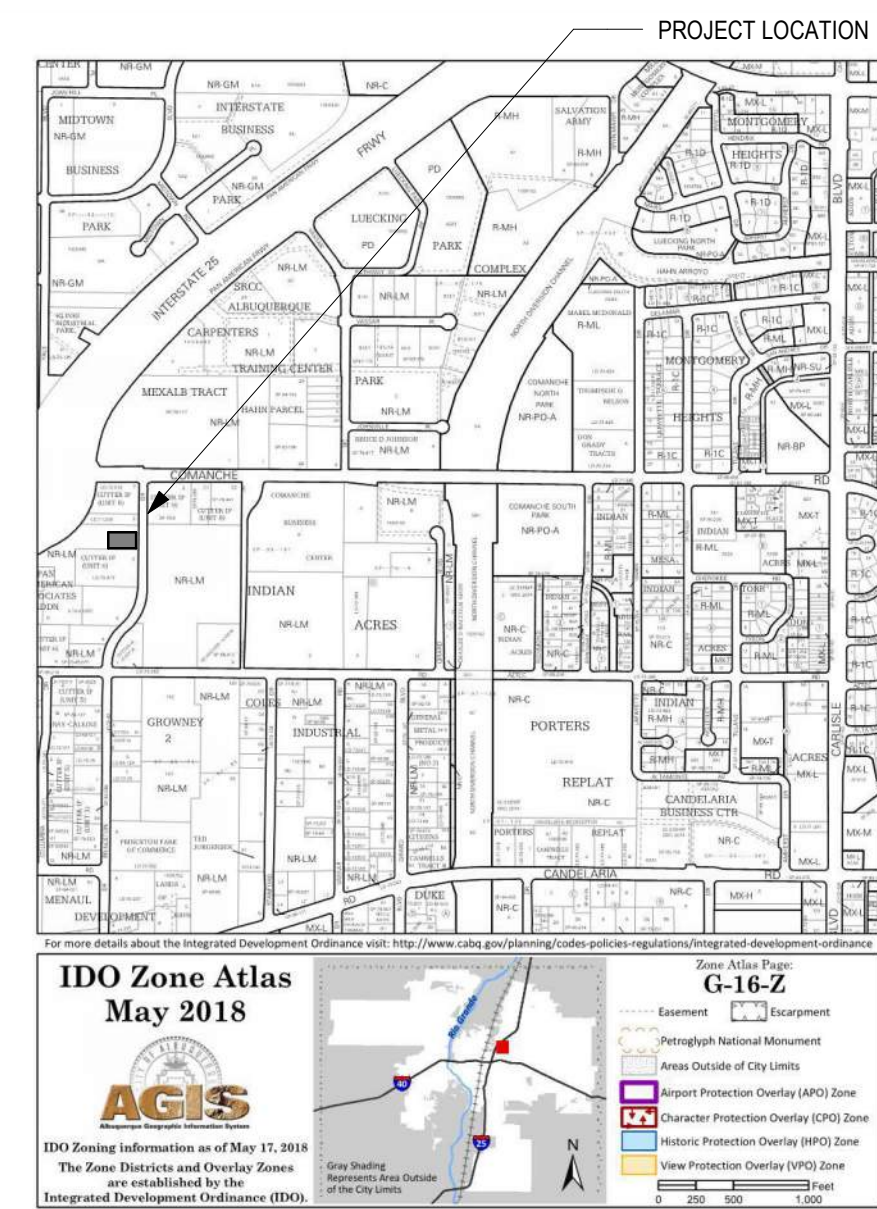
A1 SITE PLAN
1" = 10'-0"

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GENERAL NOTES

1. PARKING and ACCESSIBLE PAVEMENT MARKING and STRIPING SHALL CONFORM to THE NEW MEXICO COMMERCIAL BUILDING CODE, SECTION 1110.3 #7.2.
2. EXISTING BROKEN or CRACKED SIDEWALK SHALL BE REPLACED WITH NEW SIDEWALK, CURB and GUTTER. REFER to COA STD. DRAWING 2415A AND 2430.

VICINITY MAP



REFERENCE KEYNOTES

DEMO

- A. REMOVE - EXISTING ASPHALT PAVING COMPLETE
- B. REMOVE EXISTING CURB CUT & GUTTER, CUT/ REMOVE FROM JOINT to JOINT, PROPERLY DISPOSE TO WASTE
- C. REMOVE PORTION OF CONCRETE or ASPHALT as REQ. FOR NEW HVAC PAD
- D. EXISTING WATER METER
- E. EXISTING FIRE HYDRANT
- F. EXISTING BIKE LANE IN RIGHT OF WAY
- G. EXISTING TO REMAIN - CURB AND GUTTER
- H. REMOVE EXISTING CHAIN LINK FENCE and GATES
- I. EXISTING TO REMAIN

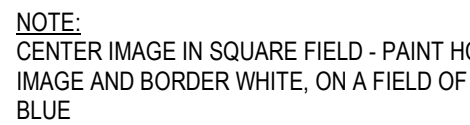
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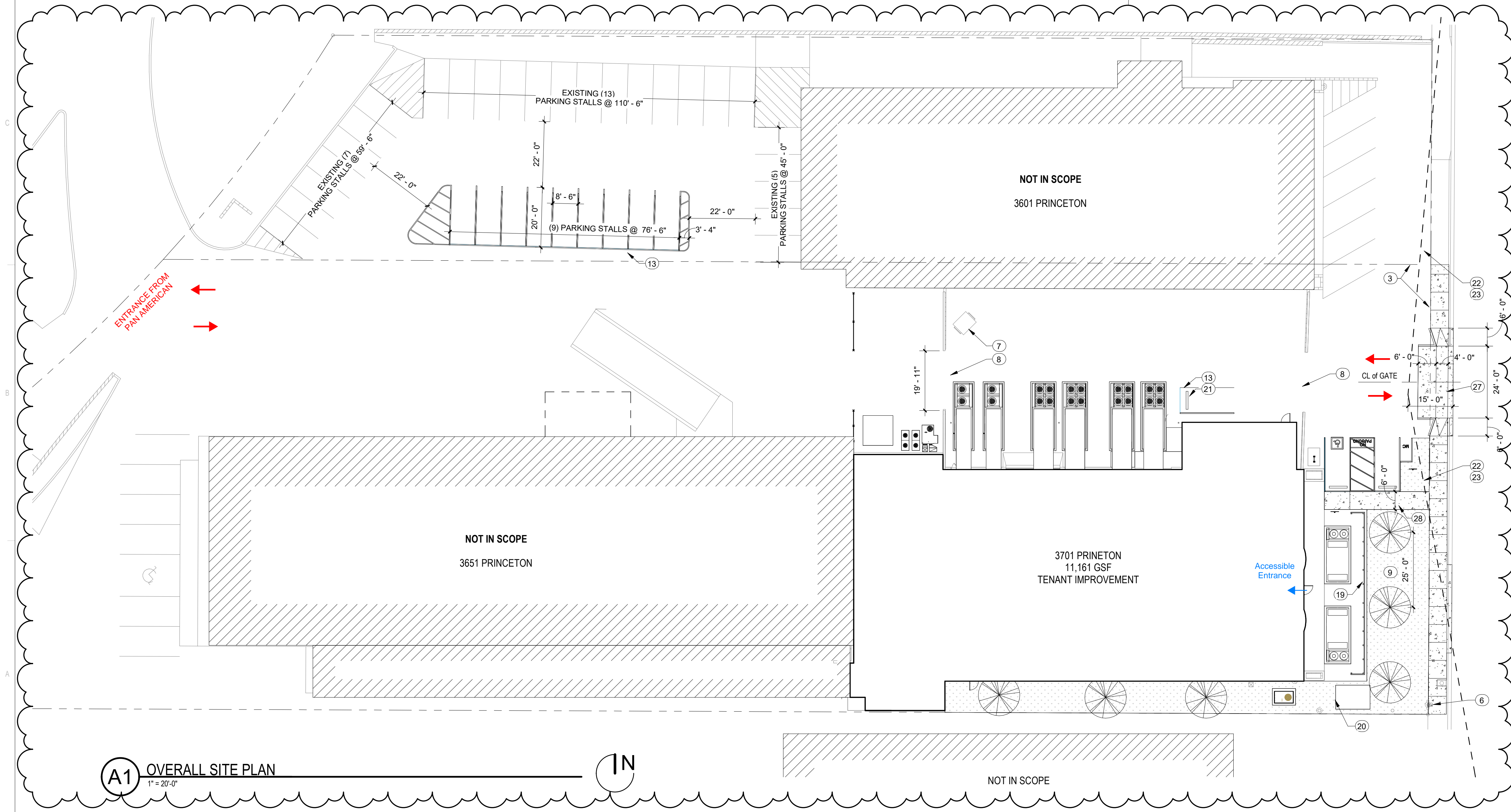


ADA PAVEMENT STRIPING NOTE:

NOTE: USE NON-REFLECTIVE WHITE PAINT, TYPE
BUT USE YELLOW ON CONCRETE OR OTHER
SURFACES WHERE WHITE PAINT DOES NOT
PROVIDE SUFFICIENT CONTACT



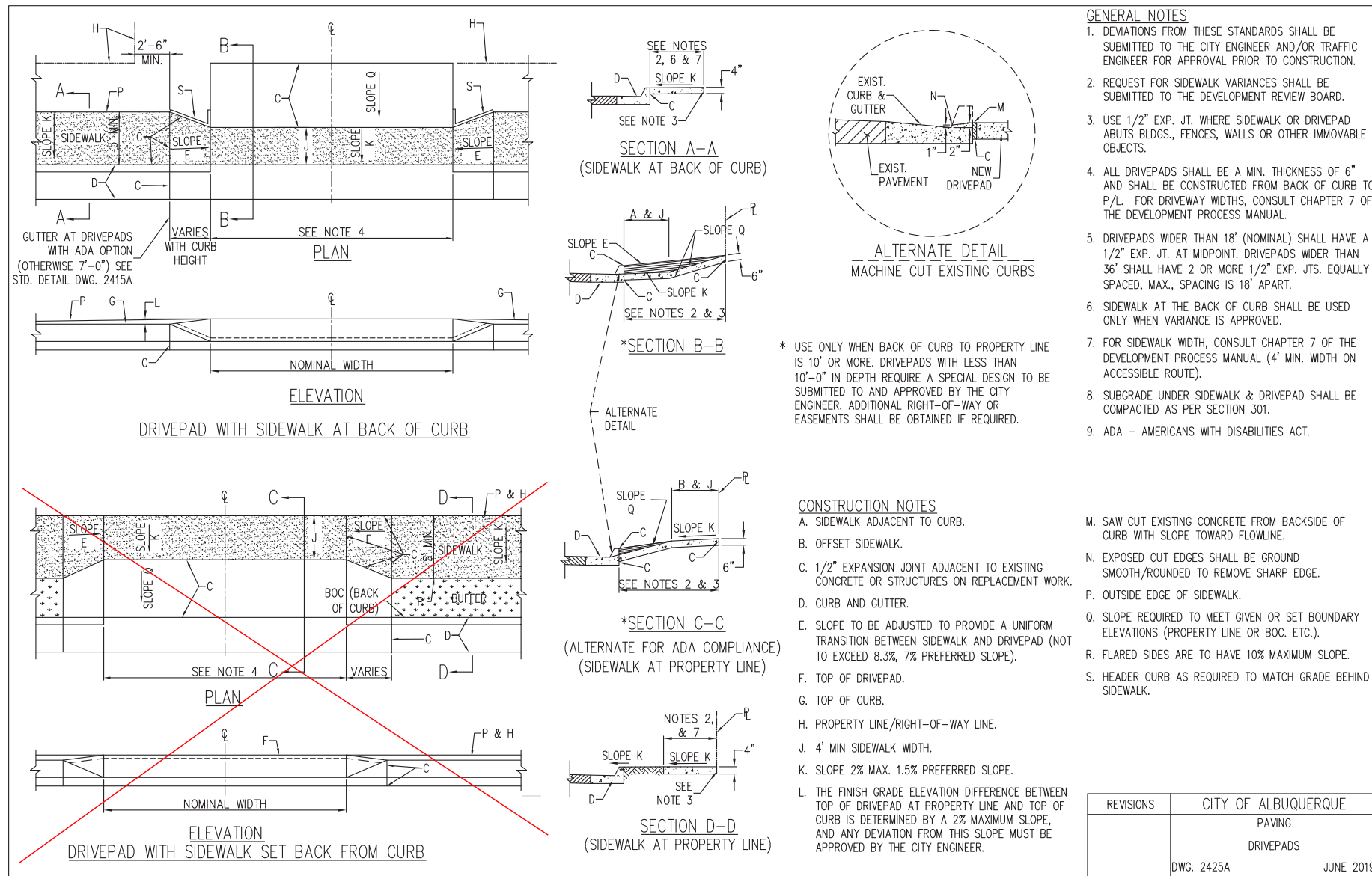
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A1 OVERALL SITE PLAN
1" = 20'-0"

1N

D1 CoA STD DETAIL - DRIVE PAD ENTRY
1/2" = 1'-0"



GENERAL NOTES

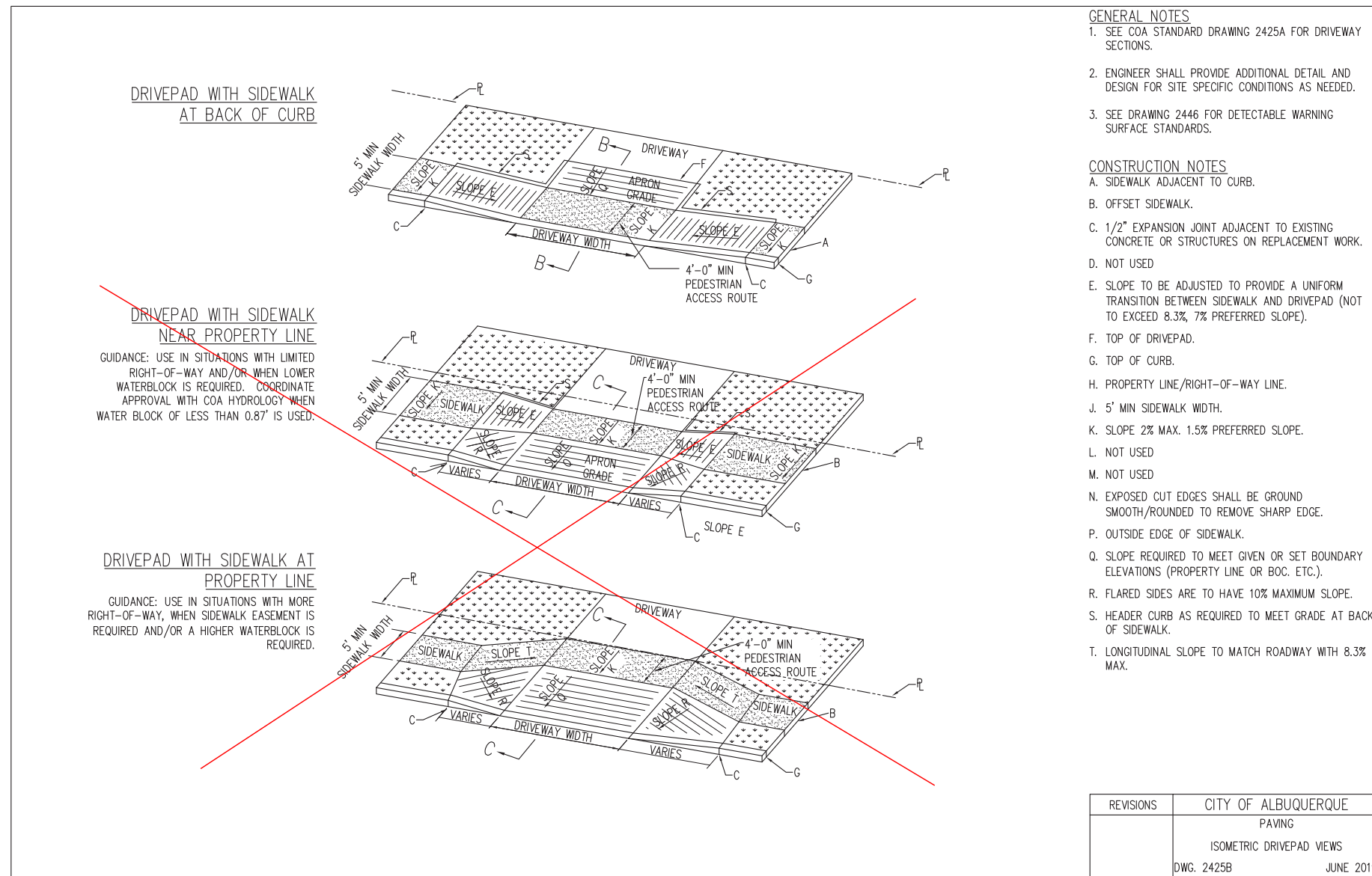
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. REQUEST FOR SIDEWALK VARIANTS SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILOS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 4" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P.L. FOR DRIVEWAY MOTHS, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
5. DRIVEPADS WIDER THAN 18" (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36" SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED. MAX. SPACING IS 18' APART.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
7. FOR SIDEWALK WIDTH, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL (4' MIN. WIDTH ON ACCESSIBLE ROUTES).
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
9. ADA - AMERICAN WITH DISABILITIES ACT.

CONSTRUCTION NOTES

- A. SIDEWALK ADJACENT TO CURB.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- D. CURB AND GUTTER.
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE/RIGHT-OF-WAY LINE.
- I. 4' MIN SIDEWALK WIDTH.
- J. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- K. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB IS DETERMINED BY A 2% MAXIMUM SLOPE, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.

REVISIONS

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DRIVEPADS
	DWG. 2425A
	JUNE 2019



GENERAL NOTES

1. SEE COA STANDARD DRAWING 2425A FOR DRIVEWAY SECTIONS.
2. ENGINEER SHALL PROVIDE ADDITIONAL DETAIL AND DESIGN FOR SITE SPECIFIC CONDITIONS AS NEEDED.
3. SEE DRAWING 2446 FOR DETECTABLE WARNING SURFACE STANDARDS.
4. NOT USED.
5. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
6. TOP OF DRIVEPAD.
7. TOP OF CURB.
8. PROPERTY LINE/RIGHT-OF-WAY LINE.
9. 4' MIN SIDEWALK WIDTH.
10. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
11. NOT USED.
12. EXPOSED OUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.
13. OUTSIDE EDGE OF SIDEWALK.
14. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).
15. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.
16. HEADER CURBS AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK.
17. LONGITUDINAL SLOPE TO MATCH ROADWAY WITH 8.3% MAX.

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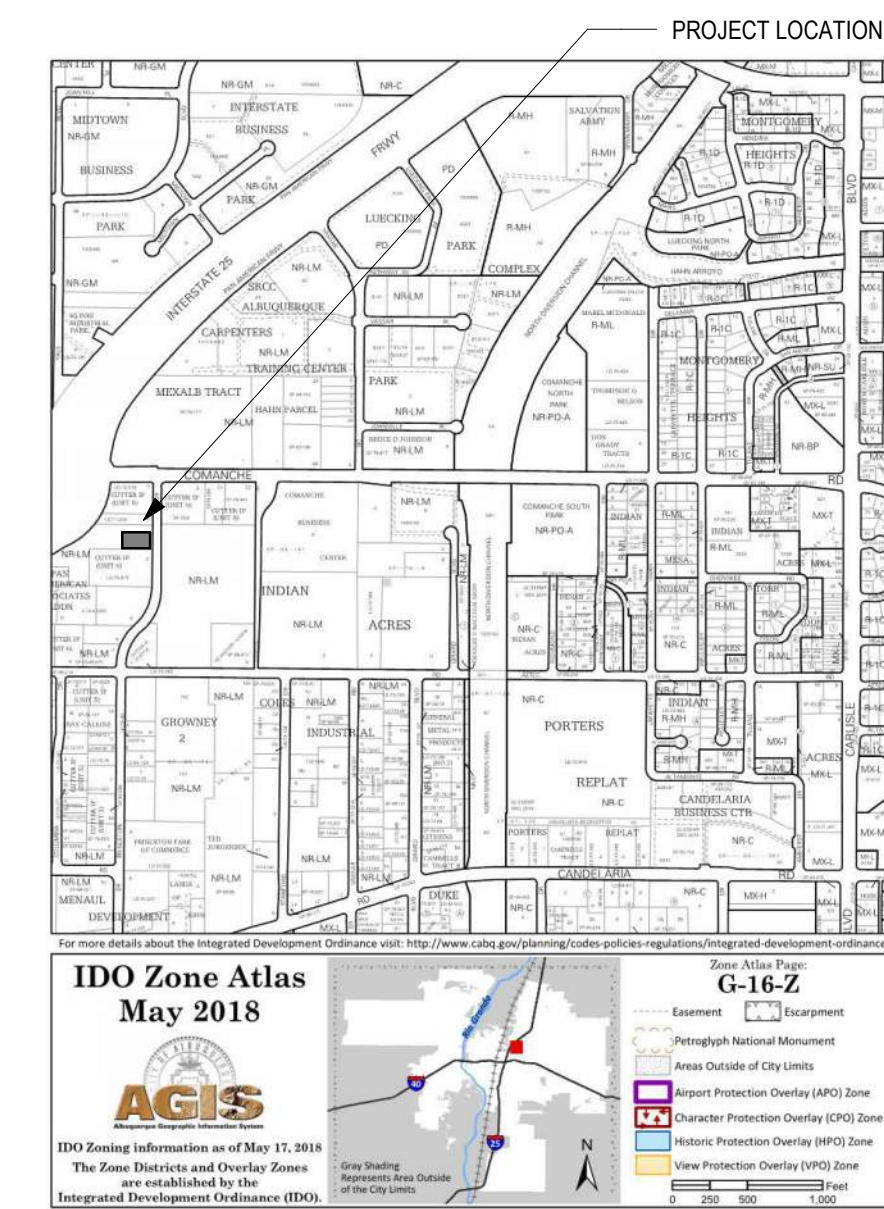
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	ISOMETRIC DRIVEPAD VIEWS
	DWG. 2425B
	JUNE 2019

SITE DATA	
LOCATION:	3701 PRINCETON DR. NE ALBUQUERQUE, NM 87107
LEGAL DESCRIPTION:	A TR IN NW1/4 SW1/4 SEC 3 T10N R3E & WLY 8FT VAC PRINCETON DRIVE CONT 1.78
OWNER:	DYNAMIC VENTURES LLC 3701 PRINCETON DR. NE ALBUQUERQUE, NM 87107
ZONING:	NR-LM
ZONE ATLAS PAGE:	G-16-Z
BUILDING CONSTRUCTION:	VB (NON-SPRINKLED)
APPLICABLE CODE:	2021 IBC
OCCUPANCY CLASSIFICATION:	F1 (MODERATE-HAZARD FACTORY INDUSTRIAL)
TOTAL LOT AREA: (AREA OF WORK ON SITE)	(.6187 AC) 26,951 S.F.
BUILDING FOOTPRINT AREA:	11,161 GSF
NET LOT AREA:	15,835 NET
REQUIRED LANDSCAPE (15% GROSS ACREAGE):	.054 ACRES (2,375.25 SF)
PAVED AREA:	6,610 S.F.
LANDSCAPE AREA:	2,705 S.F. .45 (45%) OF SITE AREA
REQUIRED PARKING:	11 SPACES
CANIBUS CULTIVATION:	1 SPACES / 1000 SF GFA 11,116 S.F. / 1000 SF GFA = 11.1 = 11 SPACES
TOTAL PARKING PROVIDED:	11 SPACES 11 ON-SITE SPACES
REQUIRED H.C. PARKING REQUIRED / PROVIDED:	1 SPACE / 1 VAN SPACE
BICYCLE PARKING REQUIRED / PROVIDED:	1/2
MOTORCYCLE PARKING REQUIRED / PROVIDED:	

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REFERENCE KEYNOTES

- NEW WORK:**
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 4. EXISTING PUBLIC UTILITY EASEMENT
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Stephen Leos Architect LLC
413 2nd st. sw | 2nd floor
albuquerque, new mexico 87102
505.681.2329 | www.SLeosArch.com

Princeton Cultivation

3701 Princeton Dr. NE
Albuquerque, NM 87107

For Permit / Bid

REVISIONS		
NO.	DATE	DESCRIPTION
1	03/06/2024	CoA Revisions

SITE / PROPERTY PLAN

SHEET NO

AS103

PROJECT NO: 22-11
DATE: March 15, 2024