

Princeton Cultivation

3701 Princeton Dr. NE
Albuquerque, NM 87107

For Permit / Bid

| REVISIONS | | |
|-----------|------------|---------------|
| NO. | DATE | DESCRIPTION |
| 1 | 03/06/2024 | CoA Revisions |

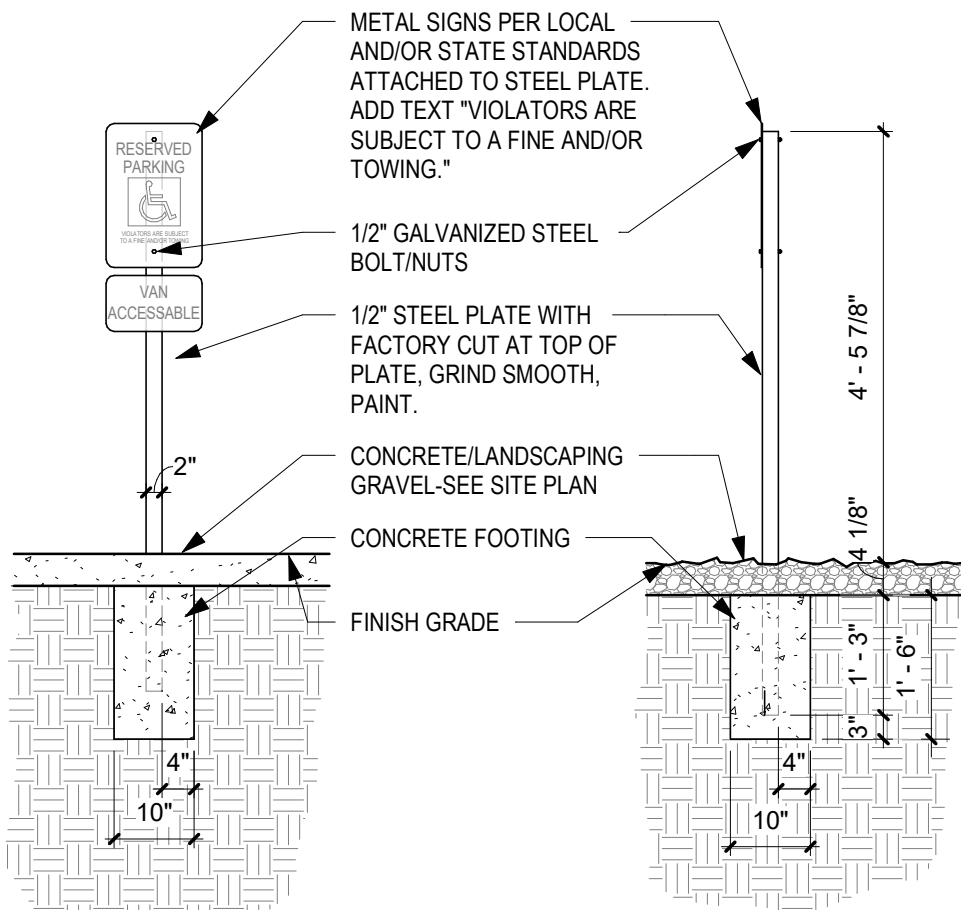
SITE DETAILS

SHEET NO.

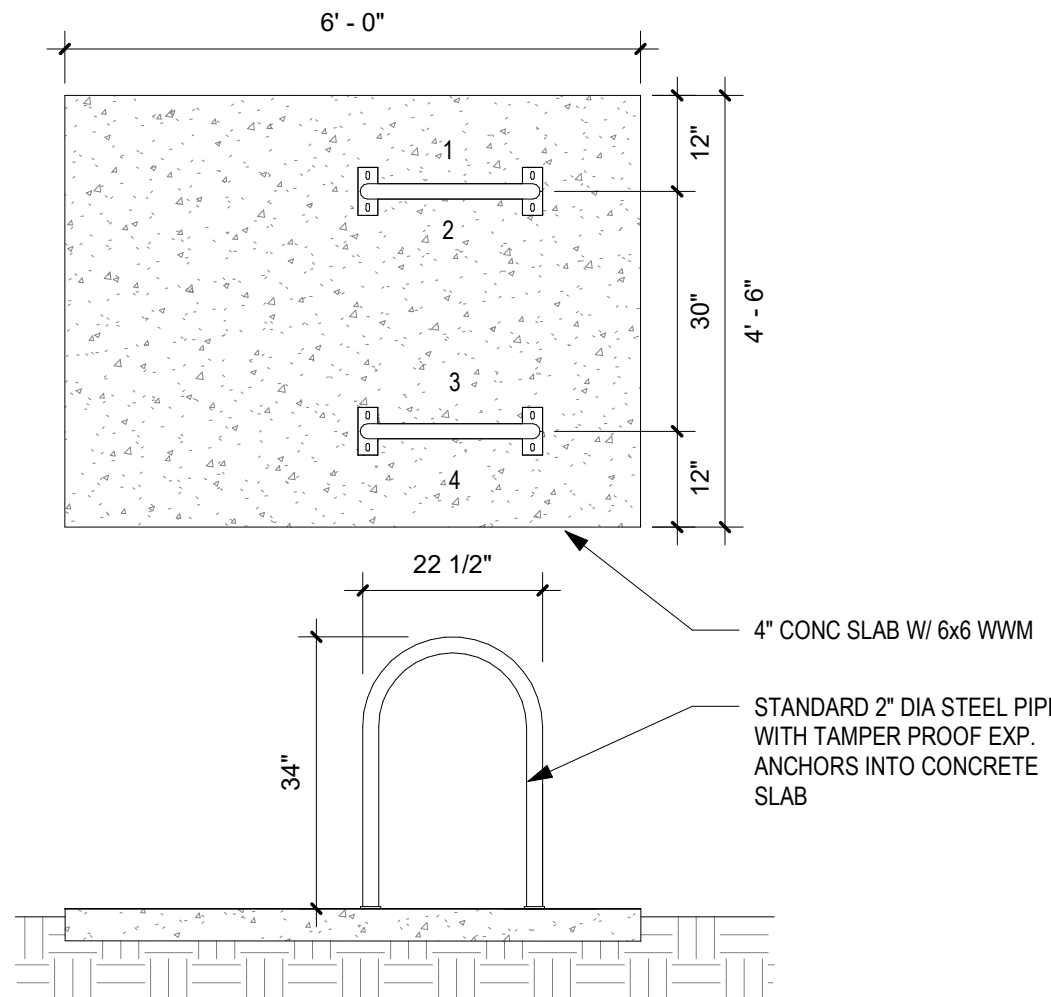
AS102

PROJECT NO: 22-11

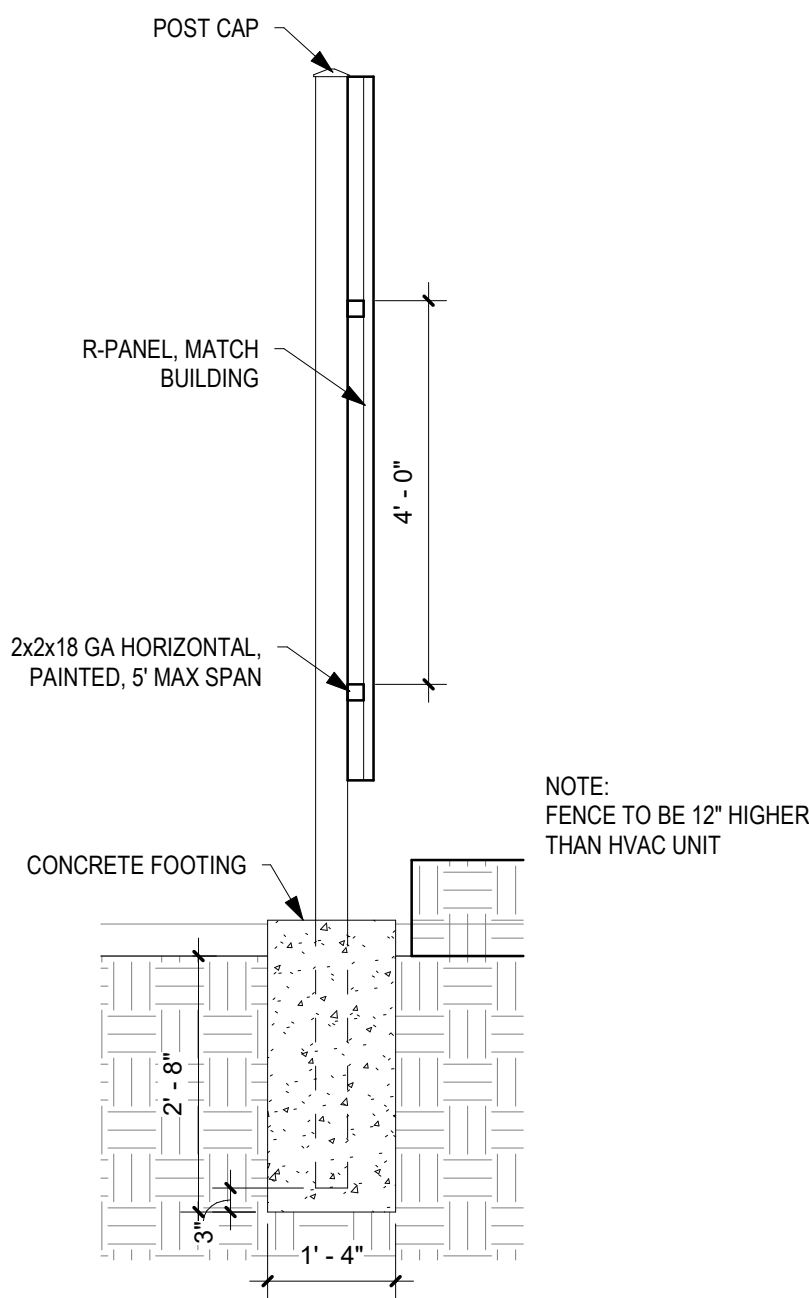
DATE March 15, 2024



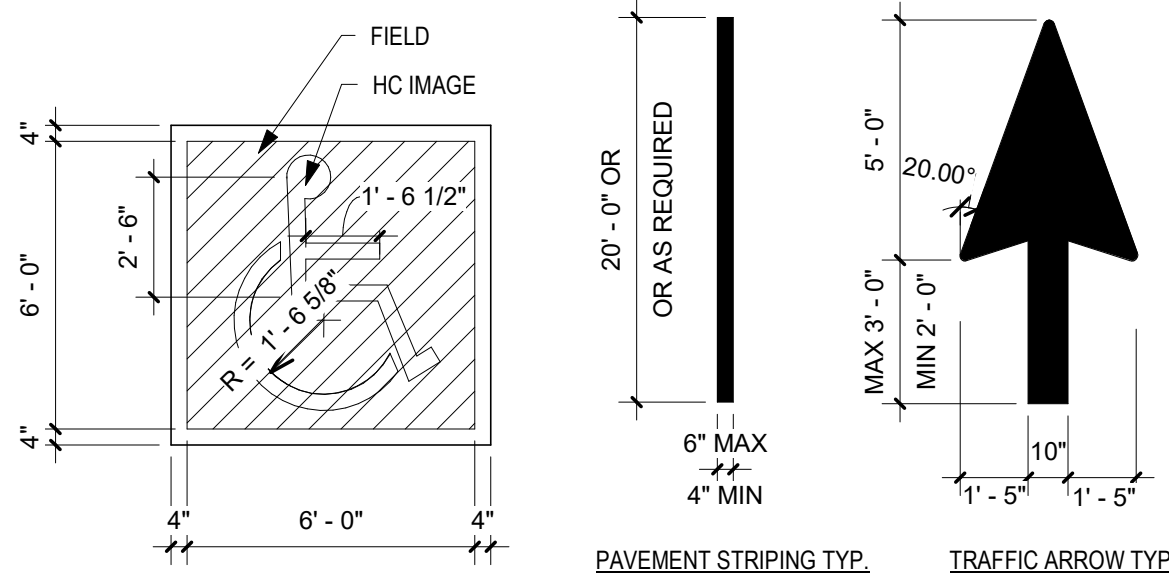
D4 ACCESSIBLE PARK, SIGN
1/2" = 1'-0"



D5 BICYCLE RACK DETAIL
1/2" = 1'-0"



B5 HVAC SCREEN DETAIL
1/2" = 1'-0"



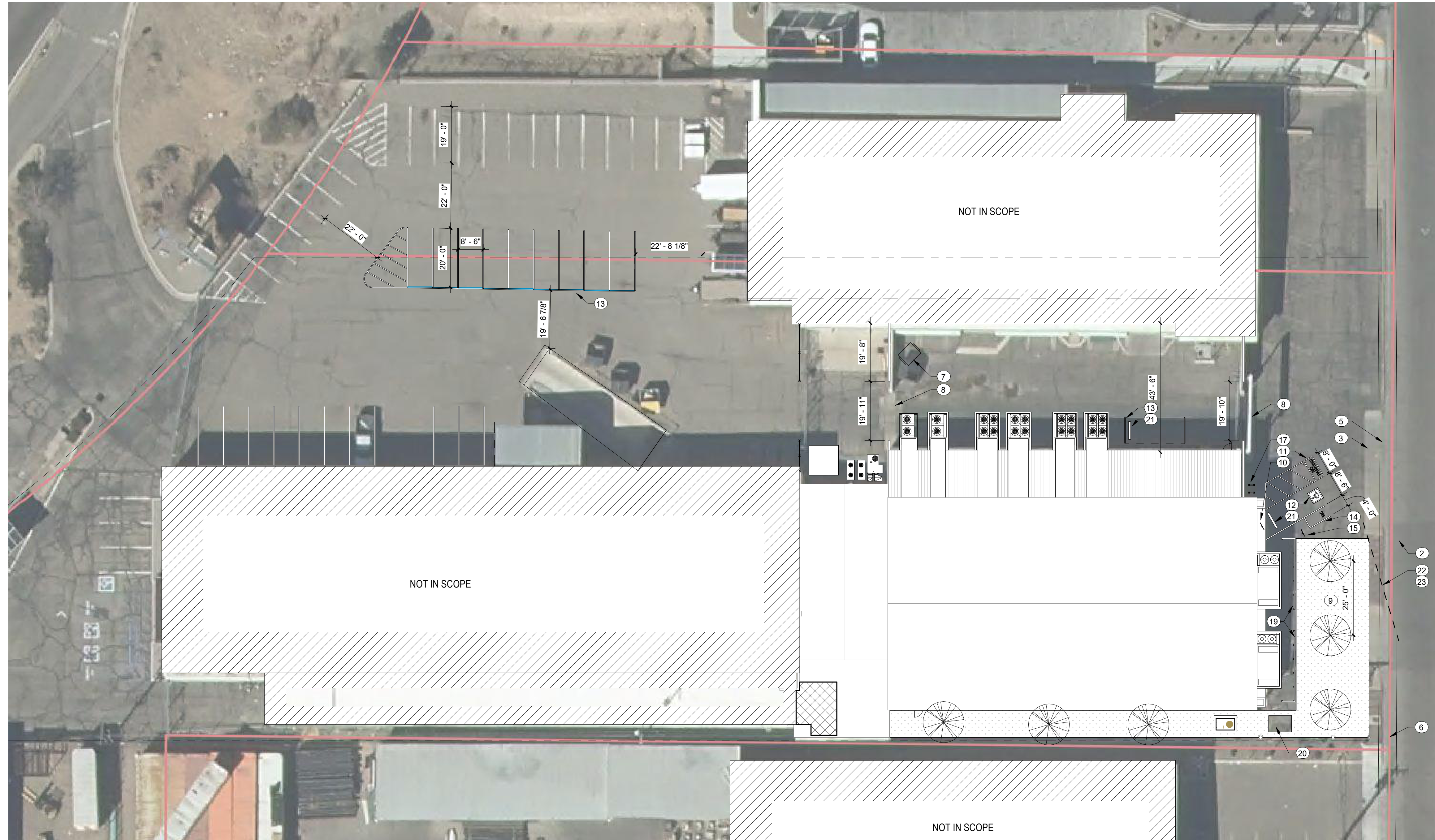
NOTE:
CENTER IMAGE IN SQUARE FIELD - PAINT HC
IMAGE AND BORDER WHITE, ON A FIELD OF
BLUE

NOTE: USE NON-REFLECTIVE WHITE PAINT, TYP
BUT USE YELLOW ON CONCRETE OR OTHER
SURFACES WHERE WHITE PAINT DOES NOT
PROVIDE SUFFICIENT CONTACT

ADA PAVEMENT STRIPING NOTE:
USE REFLECTIVE BLUE PAINT

A5 TRAFFIC STRIPING DETAIL
1/4" = 1'-0"

| SITE DATA | | | |
|--|---|--|--|
| LOCATION: | 3701 PRINCETON DR. NE ALBUQUERQUE, NM 87107 | NET LOT AREA: | 15,835 NET |
| LEGAL DESCRIPTION: | A TR IN NW1/4 SW1/4 SEC 3 T10N R3E & WLY 8FT VAC PRINCETON DRIVE CONT 1.78 | REQUIRED LANDSCAPE (15% GROSS ACREAGE): | .054 ACRES (2,375.25 SF) |
| | | PAVED AREA: | 6,610 S.F. |
| OWNER: | DYNAMIC VENTURES LLC 3701 PRINCETON DR. NE ALBUQUERQUE, NM 87107 | LANDSCAPE AREA: | 2,705 S.F. |
| | | | .45 (45%) of SITE AREA |
| ZONING: | NR-LM | REQUIRED PARKING: | 11 SPACES |
| ZONE ATLAS PAGE: | G-16-Z | CANIBUS CULTIVATION: | 1 SPACES / 1000 SF GFA |
| BUILDING CONSTRUCTION: | VB (NON-SPRINKLED) | | 11,116 S.F. / 1000 SF GFA = 11.1 = 11 SPACES |
| APPLICABLE CODE: | 2021 IBC | TOTAL PARKING PROVIDED: | 11 SPACES |
| OCCUPANCY CLASSIFICATION: | F1 (MODERATE-HAZARD FACTORY INDUSTRIAL) | REQUIRED H.C. PARKING REQUIRED / PROVIDED: | 1 SPACE / 1 VAN SPACE |
| TOTAL LOT AREA: (AREA of WORK ON SITE) | (.6187 AC) 26,951 S.F. | BICYCLE PARKING REQUIRED / PROVIDED: | 3 / 4 |
| BUILDING FOOTPRINT AREA: | 11,161 GSF | MOTORCYCLE PARKING REQUIRED / PROVIDED: | 1 / 1 |

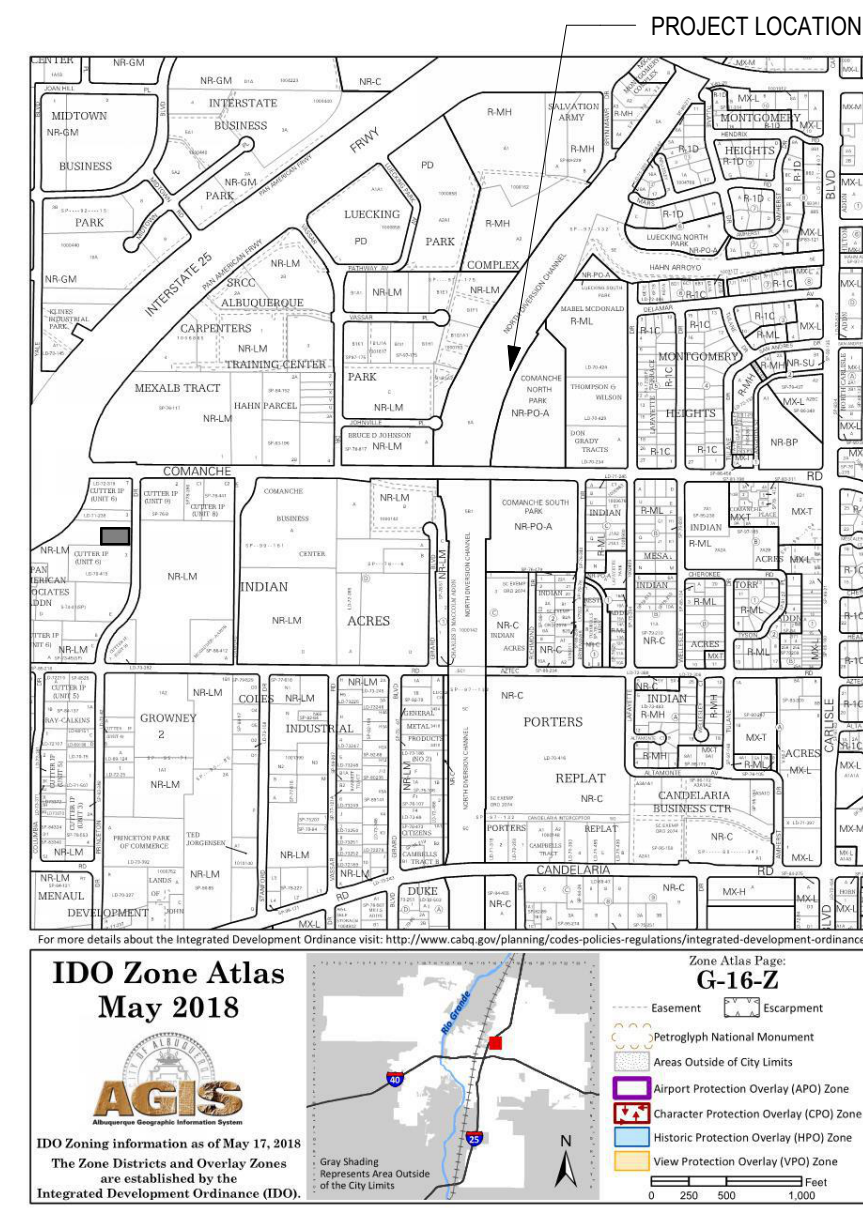


A1 OVERALL SITE PLAN
1" = 20'-0"

GENERAL NOTES

- PARKING and ACCESSIBLE PAVEMENT MARKING and STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE, SECTION 1110.3 #7.2
- EXISTING BROKEN or CRACKED SIDEWALK SHALL BE REPLACED WITH NEW SIDEWALK, CURB and GUTTER. REFER TO COA STD. DRAWING 2415A AND 2430.

VICINITY MAP



REFERENCE KEYNOTES

- NEW WORK:
- EXISTING CITY SIDEWALK
 - EXISTING CONCRETE CURB and GUTTER to REMAIN
 - EXISTING PROPERTY LINE
 - EXISTING PUBLIC UTILITY EASEMENT
 - EXISTING CURB CUT
 - EXISTING FIRE HYDRANT
 - EXISTING DUMPSTER
 - EXISTING ROLLING GATE
 - PROPOSED LANDSCAPING AREA
 - NEW ACCESSIBLE PARKING SIGN "VAN" WHERE NOTED. SIGN to BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" SEE DETAIL
 - NEW STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-14-1B NMSA 1978
 - NEW ADA PAVEMENT MARKING. SEE DETAIL D1AS-102
 - NEW PAINTED 2" WIDE PARKING STRIPING
 - NEW PAINTED MOTORCYCLE PARKING SPACE
 - NEW MOTORCYCLE PARKING SIGN. SEE DETAIL D4AS102. FOR POST/MOUNTING
 - NEW TRAFFIC STRIPING. SEE DETAIL AS102 - D1
 - NEW BICYCLE RACK. SEE DETAIL D3AS102
 - NEW BOLLARD. SEE DETAIL AS102 - A2
 - NEW MECHANICAL UNIT SCREEN
 - NEW TRANSFORMER and PAD (SEE ELEC)
 - RELOCATED EXISTING WHEEL STOP
 - INTERSECTION CLEAR SITE DISTANCE
 - CLEAR SIGHT TRIANGLE. LANDSCAPING and SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SURFACES of PARKING and ACCESS AISLES

- ANSI - 502.5 FLOOR SURFACES
- PARKING SPACES and ACCESS AISLES SHALL COMPLY SECTION 302 and SHALL HAVE SURFACES SLOPES NOT STEEPER THAN 1:48 (2% SLOPE)
 - ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE
 - PARKING SPACES SHALL BE STABLE, FIRM, and SLIP RESISTANT
 - PER 2010 ADA ADVISORY 502.4, BUILT-UP RAMPS ARE NOT PERMITTED TO PROJECT INTO ACCESS AISLES and PARKING SPACES BECAUSE THEY WOULD CREATE SLOPES GREATER THAN 1:48

CLEAR SIGHT TRIANGLE

LANDSCAPING and SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE



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REVISIONS

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SITE / PROPERTY PLAN

SHEET NO

AS103

PROJECT NO: 22-11

DATE: March 15, 2024

| LANDSCAPE DATA | |
|--------------------------------------|--|
| GROSS ACREAGE (SF): | 26,951 |
| BUILDING AREA (SF) | 11,116 |
| NET LOT (SF) | 15,835 |
| MIN. LANDSCAPE AREA (15% NET LOT): | REQ: 2,375 SF / PROVIDED: 2,705 SF (17%) |
| TOTAL COVERAGE (75% LANDSCAPE AREA): | REQ: 2,029 SF / PROVIDED: 2,278 SF (84%) |

GENERAL NOTES

1.

IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
2.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
3.

GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
4.

ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
5.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
6.

BERNALILLO COUNTY CODE OF ORDINANCE, ARTICLE V11. - WATER CONSERVATION REQUIREMENTS. SEC 30-249 (2) (B.) (1) WATER CONSERVATION PLAN CRITERIA. PLANS SHALL INCLUDE FOUR OF THE FOLLOWING SEVEN WATER CONSERVATION MEASURES.

(i)

AT LEAST 45% OF THE LANDSCAPE AREA SHALL BE PRECIPITATION SUPPORTED PLANT MATERIAL

(ii)

PASSIVE WATER HARVESTING SHALL OCCUR ON 45% OF THE LANDSCAPE AREA

(iii)

ONE HUNDRED PERCENT OF THE IRRIGATION WATER SHALL BE NONPOTABLE MUNICIPAL, PRIVATE OR WELL SOURCE

(iv)

A SMART IRRIGATION CONTROLLER

(v)

AN APPROVED SOIL AMENDMENT PLAN IS USED DURING INSTALLATION OF THE LANDSCAPE

(vi)

RAINWATER SHALL BE COLLECTED AND STORED IN A CISTERN AS PRIMARY WATER SOURCE

(vii)

A LANDSCAPE WATER MANAGEMENT PLAN SHALL BE DEVELOPED AND SUBMITTED TO THE COUNTY
7.

ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
8.

ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
9.

CLEAR SIGHT TRIANGLES NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

| BERNALILLO COUNTY WATER CONSERVATION MEASURES (4 OF 7 REQUIRED) | |
|---|--|
| X | (i) At least 45% of the landscape area shall be precipitation supported plant material. |
| | (ii) Passive water harvesting shall occur on at least 45% of the landscape area. |
| | (iii) 100% of the irrigation water supply shall be from nonpotable municipal/private/well. |
| X | (iv) A smart irrigation controller (smart controller) shall be designed and installed. |
| X | (v) An approved soil amendment plan is used during installation of the landscape. |
| | (vi) Rainwater shall be collected and stored in a cistern for use as the primary source. |
| X | (vii) A landscape water management plan shall be developed and submitted to county. |
| | The landscape water management plan is a two-year commitment to employ best management practices that significantly reduce water use, chemical, and water run-off as compared with standard practices. |

EXTERIOR MANAGEMENT PLAN

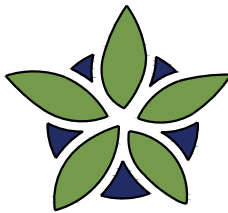
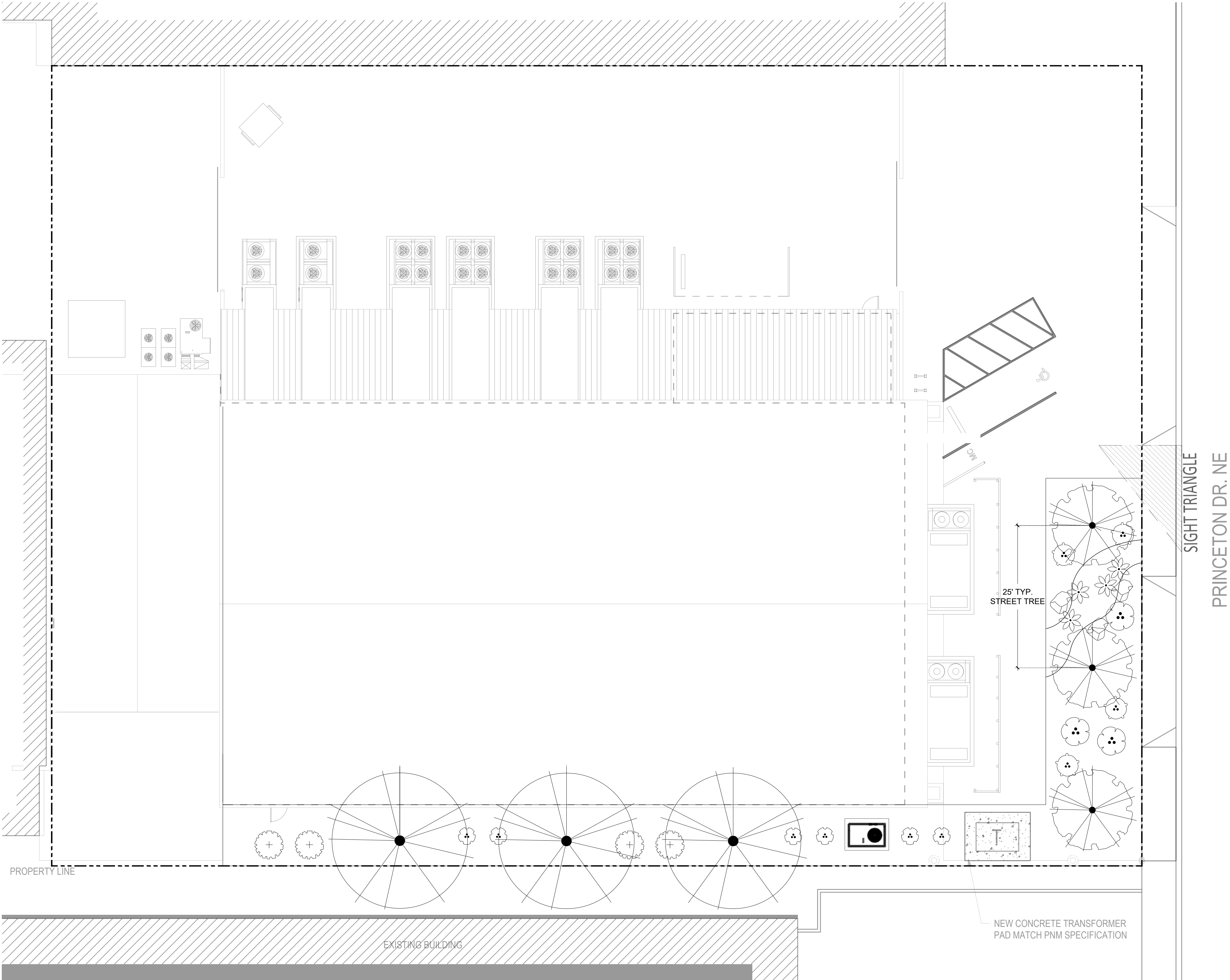
- THE FOLLOWING BEST MANAGEMENT STANDARD PRACTICES WILL BE IMPLEMENTED TO HELP SIGNIFICANTLY REDUCE WATER USE, CHEMICAL USE AND WATER RUNOFF:
- MONTHLY IRRIGATION CONTROLLER INSPECTION AND ADJUSTMENT FOR PROPER SEASONAL RUN TIMES.
 - USE OF A SMART IRRIGATION CONTROLLER AS A WATER CONSERVATION MEASURE.
 - MONTHLY IRRIGATION INSPECTIONS TO ENSURE PROPER OUTPUT FROM IRRIGATION EMITTERS AND IDENTIFICATION OF LEAKS OR MALFUNCTIONS.
 - TIMELY REPAIR OF DISCOVERED AND REPORTED MALFUNCTIONS AND LEAKS TO IRRIGATION SYSTEM.
 - TRAINING OF GROUNDS MAINTENANCE STAFF TO ENSURE PROPER PRUNING PRACTICES ARE EMPLOYED WHICH CAN CONTRIBUTE TO WATER SAVINGS THROUGH DECREASED EVAPOTRANSPIRATION AND GENERAL HEALTH AND LONG TERM VIABILITY OF PLANT MATERIAL.
 - UTILIZATION OF INTEGRATED PEST MANAGEMENT (IPM) PROGRAM WHEREBY PLANTS ARE MONITORED FOR PESTS AND TOLERANCE LEVELS DETERMINED AND WEIGHED BEFORE THE APPLICATION OF PESTICIDES. A PROGRAM IN WHICH PLANTS ARE NOT SIMPLY SPRAYED WITH PESTICIDE AT THE FIRST SIGN OF BUGS BUT INSTEAD MEASURED FOR TOLERANCE LEVELS AND THE EXISTENCE OF NATURALLY OCCURRING CONTROL SUCH AS BENEFICIAL INSECTS THAT CAN NATURALLY CONTROL POPULATIONS OF UNDESIRABLE PESTS.
 - INSPECTION, MAINTENANCE AND TIMELY REPAIR OF DRAINAGE SWALES, BERMS AND BASINS SO THAT WATER FLOWS AS INTENDED THROUGH DESIGN EFFORTS. THIS WILL BE MONITORED THROUGH MONTHLY SERVICE VISITS TO THE PROPERTY.
 - DISCONTINUATION OF IRRIGATION TO PRECIPITATION SUPPORTED PLANTS AFTER ESTABLISHMENT PERIOD.

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL / COMMON NAME | SIZE | WATER | H X W | COVERAGE |
|---|-----|---|--------|-------|-----------|----------------------|
| DECIDUOUS TREE | | | | | | |
|  | 3 | CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN | 2" B&B | L-M | 20' X 15' | 177 |
|  | 3 | KOELREUTERIA PANICULATA / GOLDEN RAIN TREE | 2" B&B | L-M | 25' X 25' | 491 |
| | | | | | | Tree Subtotal: 2,004 |
| DESERT ACCENT | | | | | | |
|  | 4 | AGAVE OVATIFOLIA / WHALE'S TONGUE AGAVE | 5 GAL | RW | 3' X 4' | 13 |
|  | 3 | DASYLIRION TEXANUM / TEXAS SOTOL | 5 GAL | RW | 5' X 5' | 20 |
|  | 6 | HESPERALOE PARVIFLORA / RED YUCCA | 5 GAL | RW | 3' X 3' | 7 |
|  | 4 | OPUNTIA CACANAPA 'ELLISIANA' / SPINELESS PRICKLY PEAR | 5 GAL | RW | 3' X 5' | 13 |

EVERGREEN SHRUBS

| | | | | | | |
|---|---|-------------------------------|-------|----|---------|-----------------------|
|  | 4 | ERICAMERIA NAUSEOSA / CHAMISA | 5 GAL | RW | 5' X 5' | 20 |
| | | | | | | Shrub Subtotal: 286 |
| | | | | | | Plant Coverage: 2,290 |



YELLOWSTONE
LANDSCAPE

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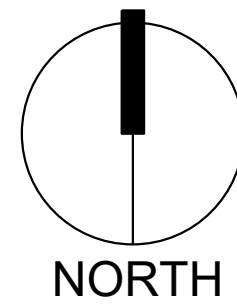


Date: 03/27/2024

- Revisions:
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Drawn by: E.G.
Reviewed by: CM

3601 Princeton Dr
Albuquerque, New Mexico



Scale: 1" = 10'



Sheet Title:

Planting
Plan

Sheet Number:

LP-01