

# CITY OF ALBUQUERQUE



March 10, 2015

Owen Keenan, PE  
Sterling Design Associates, LLC  
2009 W. Littleton Blvd., Ste 300,  
Littleton, CO 80120

**RE: Starbucks – San Mateo and Montgomery  
Grading Plan  
Engineer's Stamp Date 2-09-2015 (File: G17-D006C)**

Dear Mr. Keenan:

Based upon the information provided in your submittal received 3-03-15, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf via Email: Recipient, Monica Ortiz



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: [owen@sterlingdesignassociates.com](mailto:owen@sterlingdesignassociates.com)

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: [Shane.Anderson@callison.com](mailto:Shane.Anderson@callison.com)

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# STARBUCKS COFFEE COMPANY

TRACT A2, BLOCK A

VISTA GRANDE ADDITION UNIT ONE

CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

## SITE CONSTRUCTION PLAN

### GENERAL NOTES

- REFER TO SHEET C100 FOR ADDITIONAL PROJECT GENERAL NOTES.
- IF, DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY FOR RECOMMENDATIONS.
- ALL EARTHWORK, GRADING, OVERLOT GRADING, BACKFILLING, FILLING, EXCAVATION, COMPACTION, PAVEMENT, AND FLATWORK CONSTRUCTION WILL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
- ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES AND CONCRETE UTILITIES SHALL BE IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
- SPOT ELEVATIONS REPRESENT FLOWLINE (BOTTOM FACE OF CURB OR PAN CENTER) WHERE SHOWN AT CURB AND GUTTER & PAN LOCATIONS UNLESS OTHERWISE NOTED.
- CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- REFER TO SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
- GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE WITH THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL HAVE FORMS CHECKED BY A SURVEYOR FOR CURB AND GUTTER ADJACENT TO EXISTING ASPHALT OR CONCRETE. THE GROSS SLOPE SHALL NOT BE LESS THAN 2% OR GREATER THAN 4% FROM THE EXISTING SAWCUT LINE TO THE PROPOSED LIP OF GUTTER. DO NOT PLACE CONCRETE IN FORMS THAT HAVE BEEN CHECKED TO BE OR APPEAR IN ANY WAY INCORRECT. CONTACT THE ENGINEER IMMEDIATELY IF A PROBLEM SHOULD ARISE.
- THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREA.
- ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED, ACCORDING TO THE LANDSCAPE PLAN.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSEOUT.
- ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- NO PROPOSED SLOPE IN LANDSCAPED AREAS OR OPEN SPACE SHALL EXCEED THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT, OR AS OTHERWISE SPECIFIED BY LOCAL CRITERIA.
- THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE OWNER, AND IN ACCORDANCE WITH RECOMMENDATIONS OBTAINED FROM THE GEOTECHNICAL REPORT OR GEOTECHNICAL ENGINEER AND GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE; OR CONFIRM SUCH WORK HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

### GRADING NARRATIVE

EXISTING SITE TOPOGRAPHY GENERALLY SLOPES AT APPROXIMATELY 2.5% FROM THE EAST TO THE WEST ACROSS THE EXISTING PAVED PARKING LOT. EXISTING PERIMETER LANDSCAPE AREAS ARE LESS STEEP.

PROPOSED GRADING IMPROVEMENTS INCLUDE PROVIDING A RELATIVELY FLAT PAD FOR THE PROPOSED BUILDING, PEDESTRIAN, AND ASSOCIATED ADA ACCESS AREAS. PROPOSED PERIMETER DRIVE AND PARKING AREAS INCLUDING SLOPES OF 0.5% TO 6%. PERIMETER LANDSCAPED AREAS RANGE FROM 2% TO A MAXIMUM SLOPE OF 3H:1V. SLOPES THAT ARE 3H:1V INCLUDE THE FIRST FLUSH DETENTION AREAS AND PORTIONS OF GRADING ASSOCIATED WITH THE SOUTHERN PROPERTY LINE. LANDSCAPED AREAS NOT ASSOCIATED WITH THE SOUTHERN PROPERTY LINE AND FIRST FLUSH DETENTION AREAS RANGE FROM 2% TO 20%. A PROPOSED RETAINING WALL (MAXIMUM HEIGHT EQUALS APPROXIMATELY 0.6-FOOT) IS REQUIRED TO ACCOMMODATE THE PROPOSED GRADES ON THE WEST SIDE OF THE BUILDING ADJACENT TO THE PROPOSED PARKING. CUT AND FILL DEPTHS ARE BOTH PROPOSED TO BE APPROXIMATELY 3.5-FEET MAXIMUM.

THE SITE WILL GENERALLY CONVEY STORMWATER RUNOFF IN CONFORMANCE WITH THE HISTORICAL DRAINAGE SYSTEM. RUNOFF WILL BE CONVEYED AS SHEET FLOW ACROSS THE PAVED AREAS TO LOW POINTS LOCATED IN LANDSCAPED AREAS. THREE CURB OPENINGS WILL DIRECT RUNOFF TO FIRST FLUSH TREATMENT AREAS.

THE REQUIRED FIRST FLUSH VOLUME WILL BE PROVIDED IN TWO ON-SITE PONDS AND ONE DEPRESSED LANDSCAPED AREA. THE PONDING AREAS WILL BE LOCATED DOWNSTREAM OF CURB OPENINGS. ONCE EACH POND HAS REACHED THE FIRST FLUSH VOLUME, THE PONDS WILL RELEASE WATER AT INFLOW RATES.

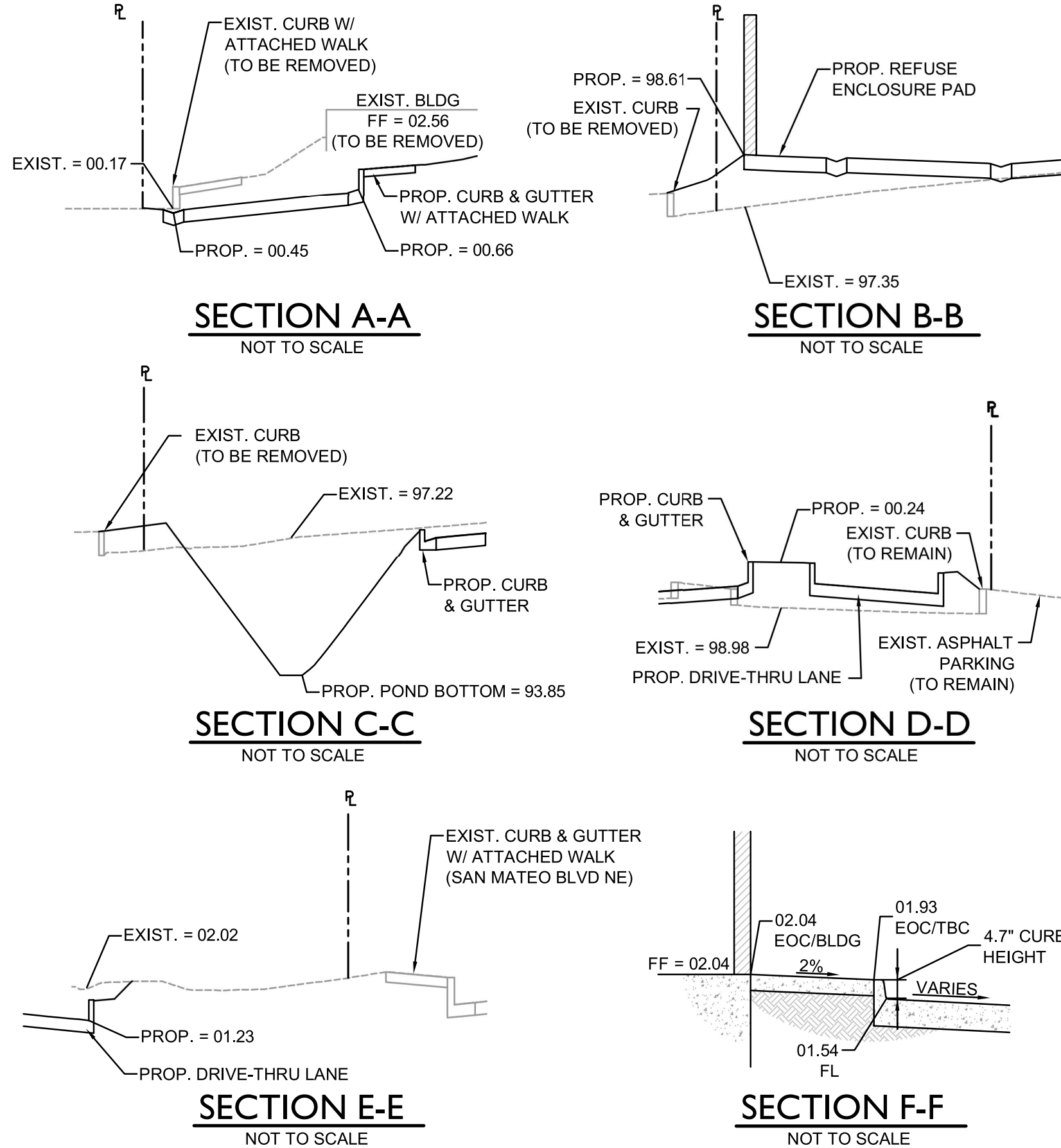
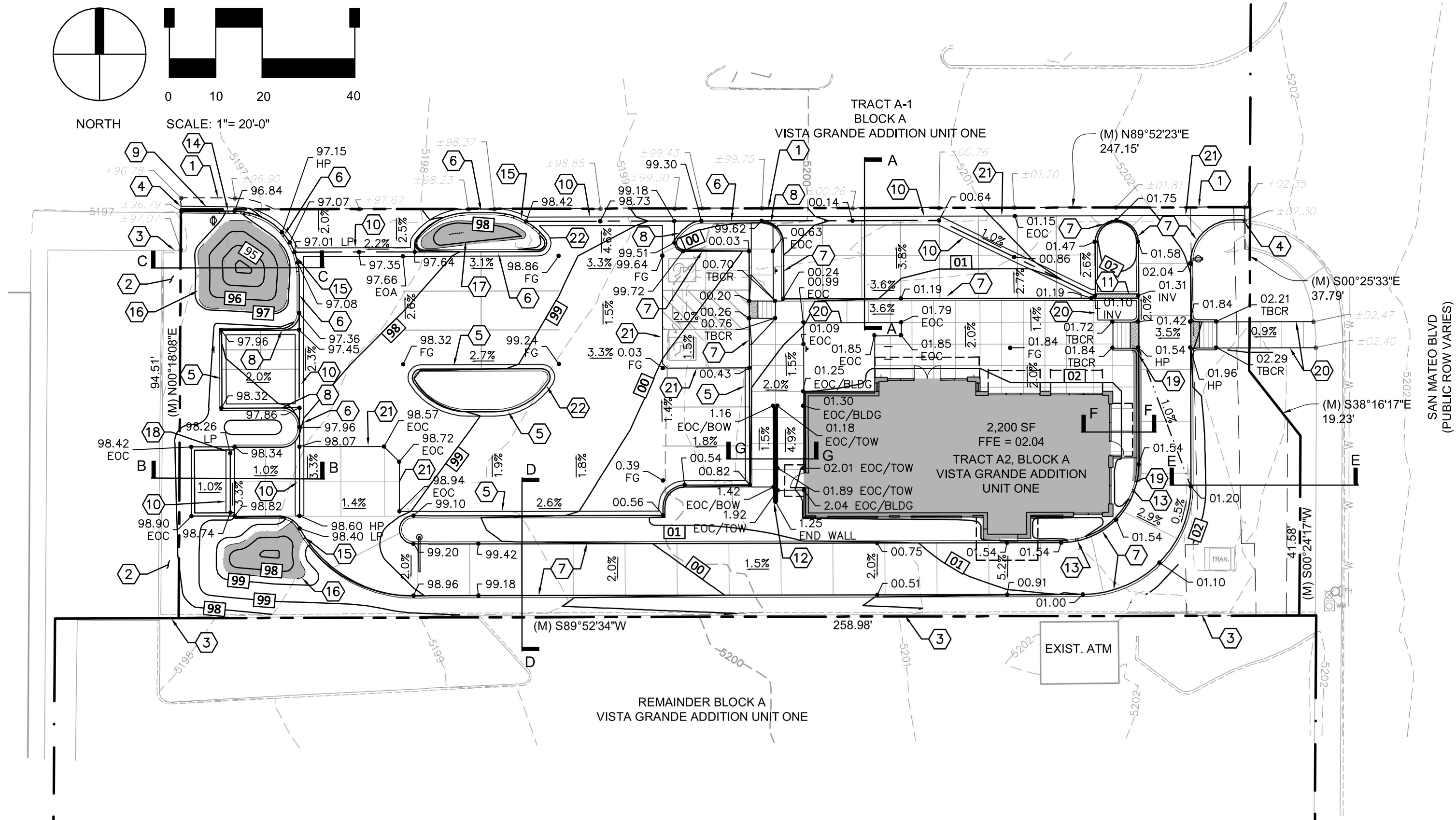
ULTIMATELY, SITE STORMWATER IS CONVEYED TO THE NORTHWEST PORTION OF THE SITE WHERE THE HISTORICAL STORMWATER HAS BEEN RELEASED. OFF-SITE STORMWATER FLOWS TO THE NORTHWEST ACROSS THE ABLERTSON'S PARKING LOT AND IS ULTIMATELY CONVEYED TO THE PUBLIC STREET STORM SEWER SYSTEM IN MONTGOMERY BLVD NE.

REFER TO THE DRAINAGE SUMMARY ON THIS SHEET, AND THE PEAK DISCHARGE AND OUTLET CALCULATIONS ON SHEET C390 FOR ADDITIONAL INFORMATION

### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER (1-800-245-4545) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



### LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	EXIST. CURB & GUTTER
---	PROP. CURB & GUTTER
---	EXIST. SIDEWALK
---	PROP. SIDEWALK
---	EXIST. LIGHT POLE
---	PROP. LIGHT POLE
---	EXIST. SIGN
---	PROP. SIGN
---	PROP. BOLLARD
---	LANDSCAPE AREA
---	PROP. HANDICAP PARKING SYMBOL
---	EXIST. OVERHEAD POWER
---	EXIST. WATER VALVE
---	EXIST. POWER POLE
---	EXIST. FIRE HYDRANT
---	EXIST. ELECTRIC METER
---	EXIST. TRAFFIC SIGNAL BOX
---	EXIST. ELECTRIC VAULT
---	EXIST. TRAFFIC SIGNAL POLE
---	EXIST. MANHOLE
---	EXIST. INLET
---	EXIST. TRANSFORMER
---	PROP. CONTOUR
---	EXIST. CONTOUR
---	PROP. SAWCUT LINE
---	PROP. SPOT ELEVATION
---	EXIST. SPOT ELEVATION

### ABBREVIATION KEY

INV.	INVERT
EOC	EDGE OF CONCRETE
TBCR	TOP BACK OF CURB RAMP
BLDG	GRADE AT BUILDING
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
TBC	TOP BACK OF CURB
BTM POND	BOTTOM POND
EOA	EDGE OF ASPHALT

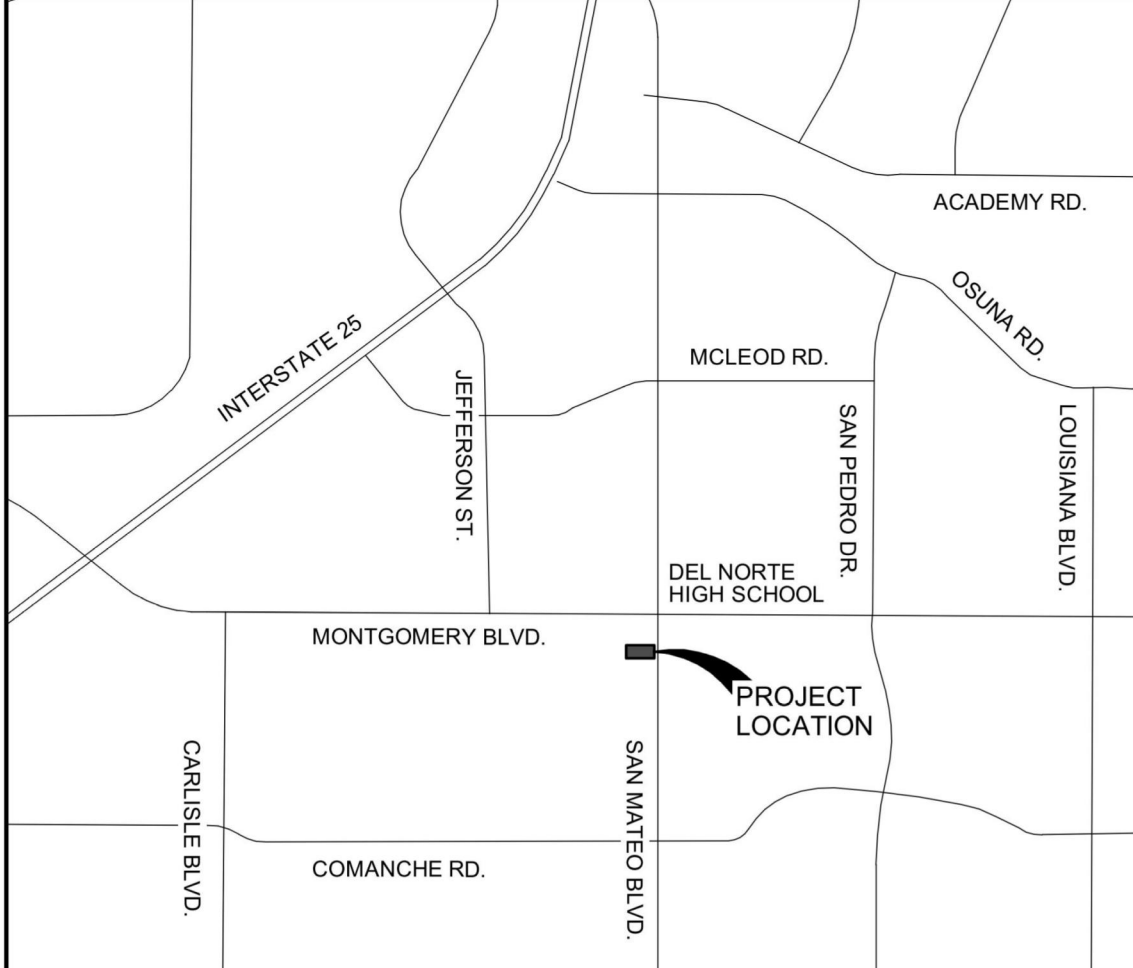
### CONSTRUCTION NOTES

- SAWCUT AND/OR REMOVE EXISTING PAVEMENT, CONCRETE, CURB RAMPS, AND/OR CURB & GUTTER TO NEAREST JOINT, OR TO LIMITS AS SHOWN.
- EXIST. CONCRETE CURB AND PAVEMENT TO BE REMOVED.
- EXIST. CONCRETE CURB TO BE PROTECTED AND REMAIN.
- CONSTRUCT IMPROVEMENTS TO MATCH LINE AND GRADE OF EXISTING PAVEMENT, WALK, AND/OR CURB & GUTTER.
- CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT SPILL PAN. RE: SHEET C390, DETAIL F.
- CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT CATCH PAN. RE: SHEET C390, DETAIL F.
- CONSTRUCT 6-INCH CONCRETE INTEGRAL CURB. RE: SHEET C390, DETAIL F.
- CONSTRUCT TRANSITION FROM CATCH TO SPILL PAN. FIELD VERIFY THAT RUNOFF WILL COMPLETELY EXIT PAN ONTO ADJACENT PAVEMENT.
- CONSTRUCT TRANSITION FROM CATCH TO MATCH EXIST. ASPHALT CROSS SLOPE.
- CONSTRUCT 2-FOOT WIDE CONCRETE PAN AS SHOWN. RE: SHEET C390, DETAIL A.
- CONSTRUCT 1-FOOT WIDE (SINGLE) SIDEWALK CULVERT WITH STEEL PLATE TOP AND WITHOUT V-SHAPED INVERT. DEPTH OF CULVERT OPENING SHALL BE CONSISTENT 6" FROM TOP OF TOP PLATE TO INVERT. FULL WIDTH OF CULVERT (1") SHALL SLOPE CONSISTENTLY WITH ADJACENT SIDEWALK CROSS SLOPE FROM BACK OF WALK TO FLOWLINE OF CURB & GUTTER. RE: CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 2236 AND SHEET C390, DETAIL B FOR ADDITIONAL DETAIL.
- CONSTRUCT RETAINING WALL. RE: SHEET C390, SECTION G-G AND DETAIL K.
- CONSTRUCT 6" CURB OPENING. RE: SHEET C390, DETAIL G.
- CONSTRUCT 3.0" CURB OPENING. RE: SHEET C390, DETAIL H.
- CONSTRUCT 5.0" CURB OPENING. RE: SHEET C390, DETAIL C.
- CONSTRUCT WATER QUALITY POND. RE: SHEET C390, DETAIL J.
- CONSTRUCT DEPRESSED LANDSCAPED ISLAND. RE: SHEET C390, DETAIL I.
- CONSTRUCT REFUSE ENCLOSURE DRAIN AT LOW POINT. RE: SHEET C501.
- ADJUST CURB HEIGHT TO 4.7" AS INDICATED IN SECTION F-F. 29.5 LF OF CURB SHOWN ON PLAN AS INDICATED AS THE AREA OF SOLID HATCH.
- CONSTRUCT PRIVATE SIDEWALK EDGE. RE: SHEET C390, DETAIL D.
- CONSTRUCT CONCRETE EDGE. RE: SHEET C390, DETAIL E.
- CONSTRUCT LANDSCAPED ISLANDS. RE: SHEET C390, DETAIL I FOR FLOWLINE AND ADDITIONAL SPOT ELEVATIONS.

### DRAINAGE SUMMARY (RE: SHEET C390 FOR ADDTL INFO.)

LOT AREA	= 0.55 ACRE				
LOT IMPERVIOUS AREA	= 17,248 SF (0.40 ACRE)				
FIRST FLUSH VOLUME REQ'D (0.34" X IMP. AREA)	= 489 CF				
FIRST FLUSH VOLUME PROVIDED	= 537.5 CF				
POND #1			POND #2		
ELEV (FT)	AREA (SF)	VOLUME (CF)	ELEV (FT)	AREA (SF)	VOLUME (CF)
93.85	3.3	0.8	96.80	0.0	0.5
94.0	7.7	35.7	97.0	6.8	41.8
95.0	73.3	170.0	98.0	92.2	92.4
96.0	206.6	411.1	98.40	164.4	
96.85	368.4				
DEP. LANDSCAPED ISLAND #1					
ELEV (FT)	AREA (SF)	VOLUME (CF)			
97.25	0.4	18.6			
98.0	68.6	34.0			
98.18	104.8				

### VICINITY MAP



**Sterling Design Associates, Inc**  
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300  
Littleton, CO 80120  
303.794.4727 ph  
www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF  
JAY M. NEWELL, P.E.  
NEW MEXICO REGISTRATION NO. 21372  
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC



STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS	
NO: 1	DATE: -
DESCRIPTION: -	
NO: 2	DATE: -
DESCRIPTION: -	
NO: 3	DATE: -
DESCRIPTION: -	
NO: 4	DATE: -
DESCRIPTION: -	
NO: 5	DATE: -
DESCRIPTION: -	
NO: 6	DATE: -
DESCRIPTION: -	

DATE: 02/09/15	SCALE: 1" = 20'-0"
PROJECT MANAGER: JLO	PROJECT NO: -
DRAWN BY: OKK	DRAWING FILE: -



**04518-042**  
**STARBUCKS DRIVE-THRU**  
**4301 SAN MATEO BLVD. NE**  
**ALBUQUERQUE, NM 87110**

DEVELOPER:  
STARBUCKS COFFEE COMPANY  
2401 UTAH AVENUE SOUTH  
SEATTLE, WA 98134  
(206) 318-1575

SHEET TITLE:  
**GRADING & DRAINAGE PLAN**

SHEET NUMBER:

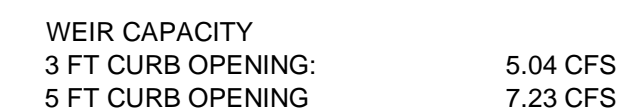
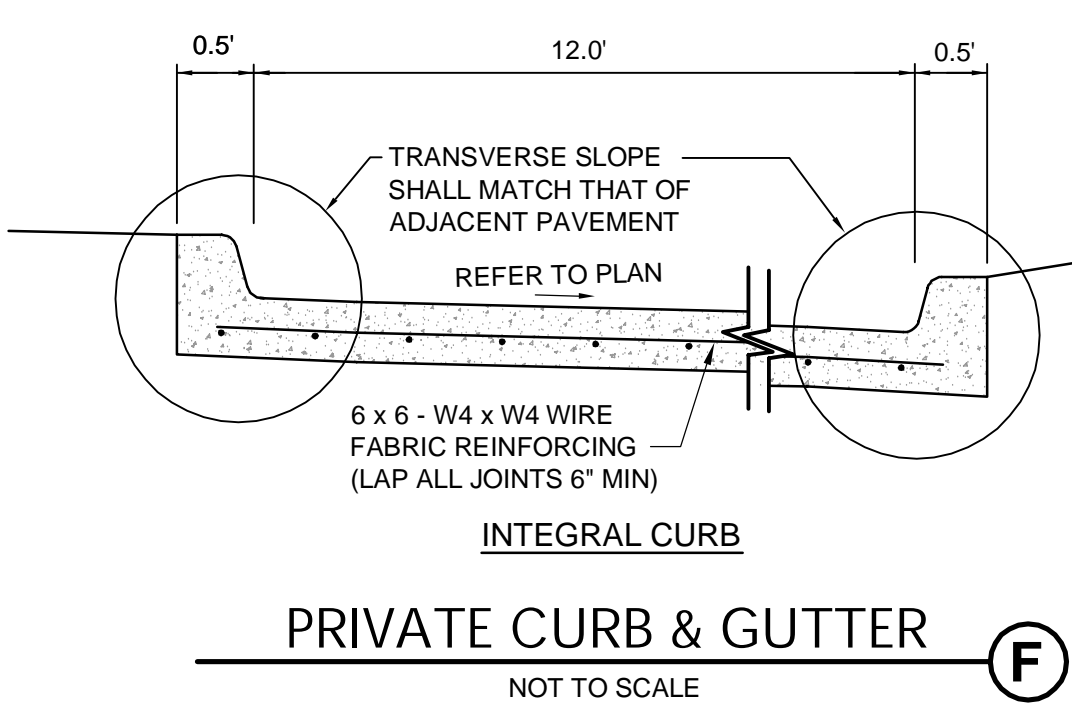
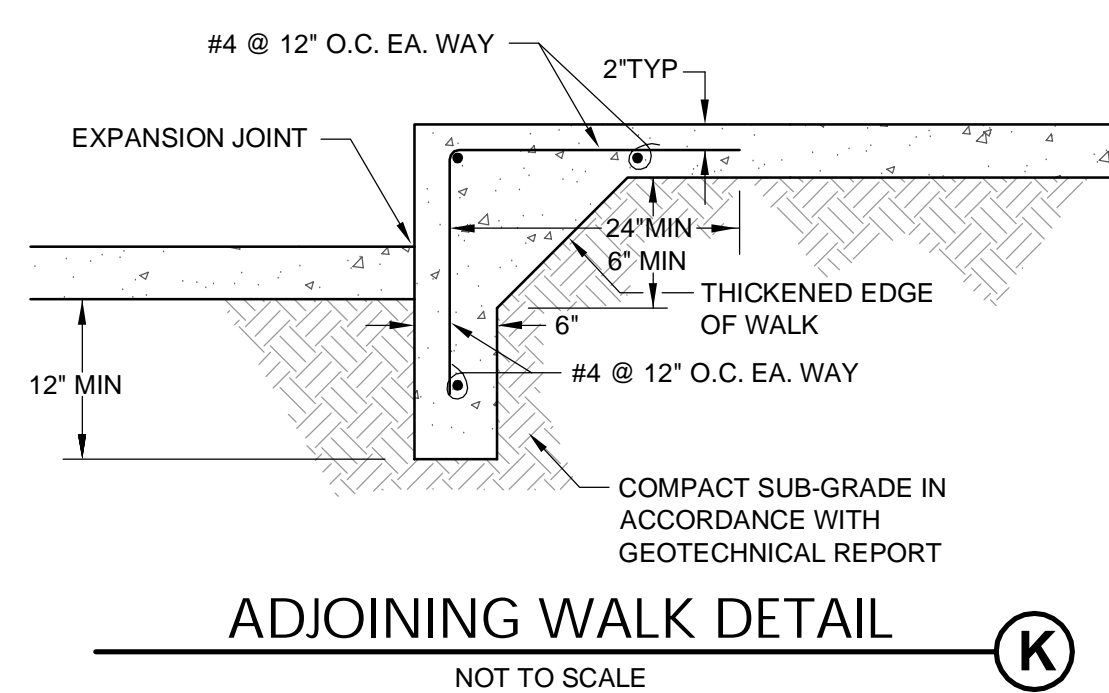
**C301**



CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.



# SITE CONSTRUCTION PLAN



SHEET NUMBER:

**C390**