CITY OF ALBUQUERQUE



March 10, 2015

Owen Keenan, PE Sterling Design Associates, LLC 2009 W. Littleton Blvd., Ste 300, Littleton, CO 80120

RE: Starbucks - San Mateo and Montgomery

Grading Plan

Engineer's Stamp Date 2-09-2015 (File: G17-D006C)

Dear Mr. Keenan:

Based upon the information provided in your submittal received 3-03-15, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293 plan in

Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3924.

New Mexico 87103

www.cabq.gov

Sincerely,

Jeanne Wolfenbarger, P.E. Senior Engineer, Planning Dept.

Development Review Services

Orig: Drainage file

c.pdf via Email: Recipient, Monica Ortiz



Project Title:

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Building Permit #: City Drainage #:

Legal Description:	DRB#: EPC#:	Work Order#:		
Engineering Firm:	Legal Description:			
Address: Phone#: Fax#: E-mail: owen@sterlingdesignassociates.com Contact: Address: Phone#: Fax#: E-mail: Architect: Contact: Address: Phone#: Fax#: E-mail: Shane.Anderson@callison.com Surveyor: Contact: Address: Phone#: Fax#: E-mail: Shane.Anderson@callison.com Surveyor: Contact: Address: Phone#: Fax#: E-mail: Contractor: Contact: Address: Phone#: Fax#: E-mail: Contractor: Contact: Address: Phone#: Fax#: E-mail: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: DRAINAGE PLAN IS SUBMITTAL SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN IS SUBMITTAL PRELIMINARY PLAT APPROVAL CONCEPTUAL G & D PLAN S. DEV. PLAN FOR SUB'D APPROVAL GRADING PLAN ESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL GRADING PLAN ESCIMENT ONTROL PLAN (ESC) ENGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) CLOMRLOMR CERTIFICATE OF OCCUPANCY (PERM) CLOMRLOMR CERTIFICATE OF OCCUPANCY (TCL. TEMP) TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERT (CESC) PAVING PERMIT APPROVAL ENGINEER'S CERT (GESC) PAVING PERMIT APPROVAL ENGINEER'S CERT (ACCEPTANCE OTHER (SPECIFY) WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided	City Address:			
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DATE SUBMITTED: By:	WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Copy Provided		
	DATE SUBMITTED:	By:		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

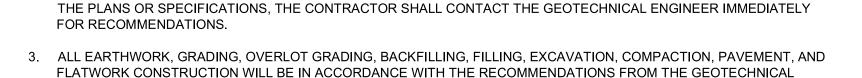
STARBUCKS COFFEE COMPANY

TRACT A2, BLOCK A VISTA GRANDE ADDITION UNIT ONE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

TRACT A-1 BLOCK A

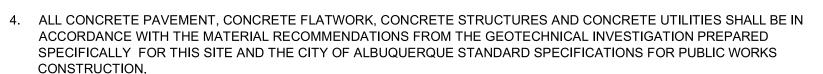
VISTA GRANDE ADDITION UNIT ONE

SITE CONSTRUCTION PLAN



SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN

2. IF, DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS



- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
- 6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND **GUTTER AND UTILITIES**
- 7. SPOT ELEVATIONS REPRESENT FLOWLINE (BOTTOM FACE OF CURB OR PAN CENTER) WHERE SHOWN AT CURB AND GUTTER & PAN LOCATIONS UNLESS OTHERWISE NOTED.
- 8. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND, ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- 10. REFER TO SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS

GENERAL NOTES

1. REFER TO SHEET C100 FOR ADDITIONAL PROJECT GENERAL NOTES

INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE

- 11. GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE WITH THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 12. THE CONTRACTOR SHALL HAVE FORMS CHECKED BY A SURVEYOR FOR CURB AND GUTTER ADJACENT TO EXISTING ASPHALT OR CONCRETE. THE CROSS SLOPE SHALL NOT BE LESS THAN 2% OR GREATER THAN 4% FROM THE EXISTING SAWCUT LINE TO THE PROPOSED LIP OF GUTTER. DO NOT PLACE CONCRETE IN FORMS THAT HAVE BEEN CHECKED TO BE OR APPEAR IN ANY WAY INCORRECT. CONTACT THE ENGINEER IMMEDIATELY IF A PROBLEM SHOULD
- 13. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 14. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED
- 15. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED, ACCORDING TO THE LANDSCAPE PLAN.
- 16. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- 17. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSEOUT.
- 18. ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- 19. NO PROPOSED SLOPE IN LANDSCAPED AREAS OR OPEN SPACE SHALL EXCEED THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT, OR AS OTHERWISE SPECIFIED BY LOCAL CRITERIA.
- 20. THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE
- 21. THE CONTRACTOR SHALL FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE OWNER, AND IN ACCORDANCE WITH RECOMMENDATIONS OBTAINED FROM THE GEOTECHNICAL REPORT OR GEOTECHNICAL ENGINEER AND GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE; OR CONFIRM SUCH WORK HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

GRADING NARRATIVE

EXISTING SITE TOPOGRAPHY GENERALLY SLOPES AT APPROXIMATELY 2.5% FROM THE EAST TO THE WEST ACROSS THE EXISTING PAVED PARKING LOT. EXISTING PERIMETER LANDSCAPE AREAS ARE LESS STEEP.

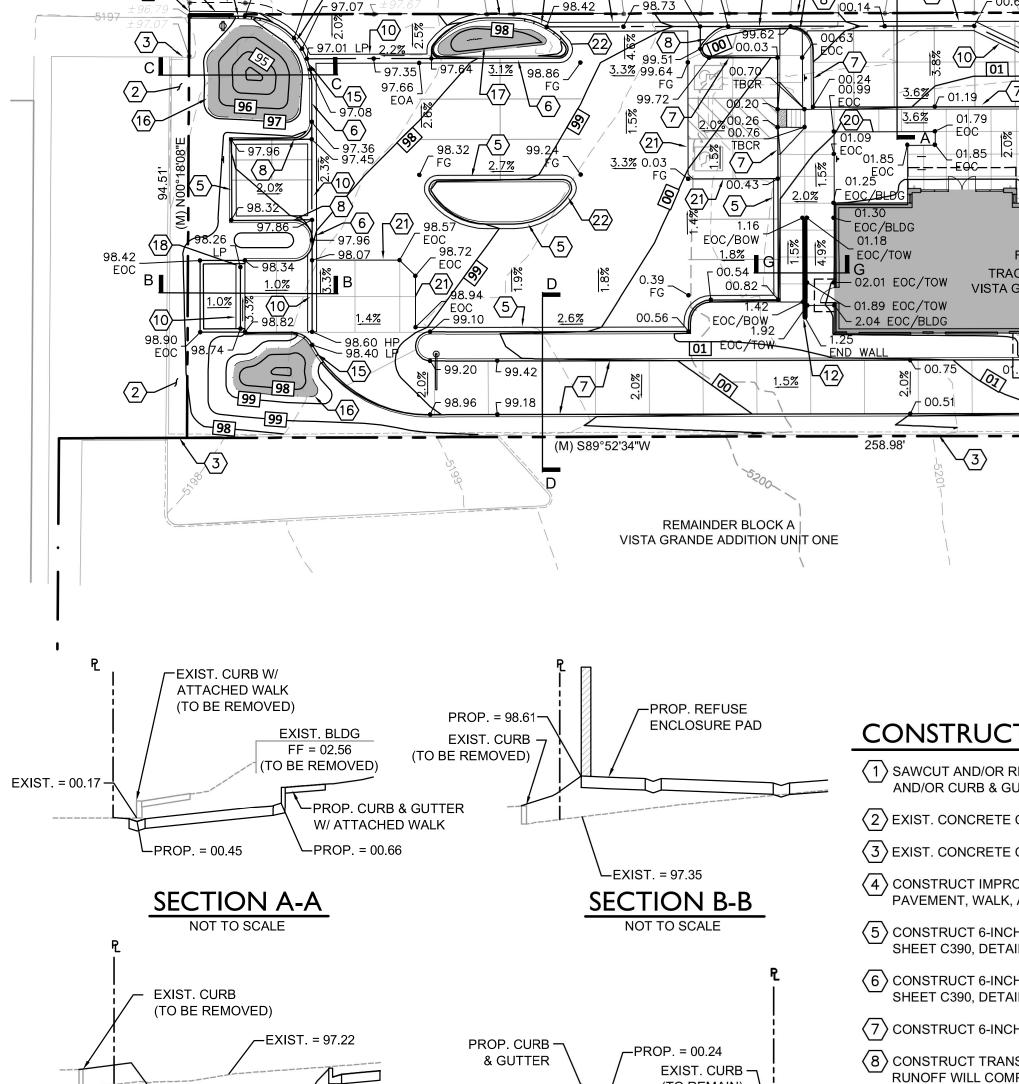
PROPOSED GRADING IMPROVEMENTS INCLUDE PROVIDING A RELATIVELY FLAT PAD FOR THE PROPOSED BUILDING, PEDESTRIAN, AND ASSOCIATED ADA ACCESS AREAS. PROPOSED PERIMETER DRIVE AND PARKING AREAS INCLUDE SLOPES OF 0.5% TO 6%. PERIMETER LANDSCAPED AREAS RANGE FROM 2% TO A MAXIMUM SLOPE OF 3H:1V. SLOPES THAT ARE 3H:1V INCLUDE THE FIRST FLUSH DETENTION AREAS AND PORTIONS OF GRADING ASSOCIATED WITH THE SOUTHERN PROPERTY LINE. LANDSCAPED AREAS NOT ASSOCIATED WITH THE SOUTHERN PROPERTY LINE AND FIRST FLUSH DETENTION AREAS RNAGE FROM 2% TO 20%. A PROPOSED RETAINING WALL (MAXIMUM HEIGHT EQUALS APPROXIMATELY 0.6-FOOT) IS REQUIRED TO ACCOMMODATE THE PROPOSED GRADES ON THE WEST SIDE OF THE BUILDING ADJACENT TO THE PROPOSED PARKING. CUT AND FILL DEPTHS ARE BOTH PROPOSED TO BE APPROXIMATELY 3.5-FEET MAXIMUM.

THE SITE WILL GENERALLY CONVEY STORMWATER RUNOFF IN CONFORMANCE WITH THE HISTORICAL DRAINAGE SYSTEM. RUNOFF WILL BY CONVEYED AS SHEET FLOW ACROSS THE PAVED AREAS TO LOW POINTS LOCATED IN LANDSCAPED AREAS. THREE CURB OPENINGS WILL DIRECT RUNOFF TO FIRST FLUSH TREATMENT AREAS.

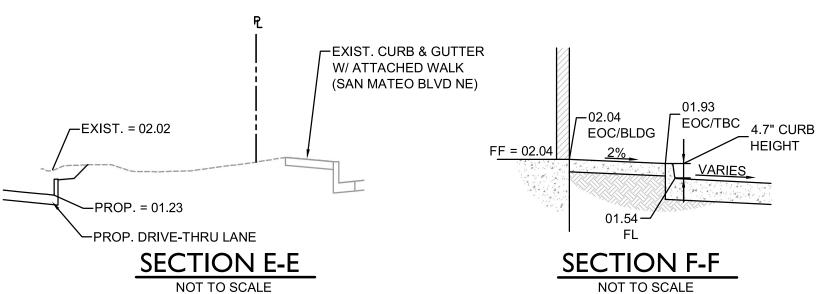
THE REQUIRED FIRST FLUSH VOLUME WILL BE PROVIDED IN TWO ON-SITE PONDS AND ONE DEPRESSED LANDSCAPED AREA. THE PONDING AREAS WILL BE LOCATED DOWNSTREAM OF CURB OPENINGS. ONCE EACH POND HAS REACHED THE FIRST FLUSH VOLUME, THE PONDS WILL RELEASE WATER AT INFLOW RATES.

ULTIMATELY, SITE STORMWATER IS CONVEYED TO THE NORTHWEST PORTION OF THE SITE WHERE THE HISTORICAL STORMWATER HAS BEEN RELEASED. OFF-SITE STORMWATER FLOWS TO THE NORTHWEST ACROSS THE ABLERTSON'S PARKING LOT AND IS ULTIMATELY CONVEYED TO THE PUBLIC STREET STORM SEWER SYSTEM IN MONTGOMERY BLVD NE.

REFER TO THE DRAINAGE SUMMARY ON THIS SHEET, AND THE PEAK DISCHARGE AND OUTLET CALCULATIONS ON SHEET C390 FOR ADDITIONAL INFORMATION



(TO REMAIN) -PROP. CURB & GUTTER EXIST. ASPHALT -EXIST. = 98.98 -PROP. DRIVE-THRU LANE -(TO REMAIN) \ldot PROP. POND BOTTOM = 93.85 **SECTION C-C** SECTION D-D NOT TO SCALE EXIST. CURB & GUTTER W/ ATTACHED WALK (SAN MATEO BLVD NE)



CONSTRUCTION NOTES

2,200 SF

FFE = 02.04 TRACT A2, BLOCK A

VISTA GRANDE ADDITION

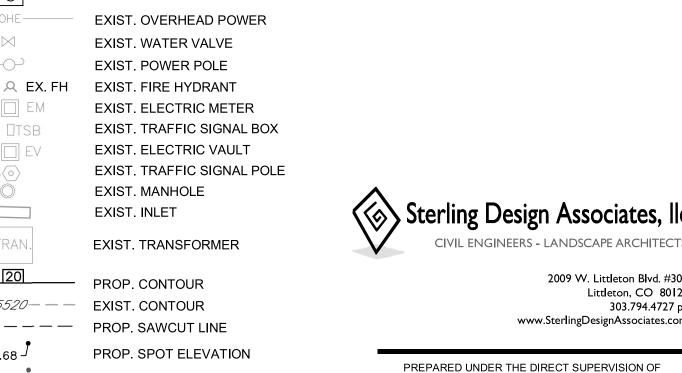
 $\langle 1 \rangle$ SAWCUT AND/OR REMOVE EXISTING PAVEMENT, CONCRETE, CURB RAMPS, AND/OR CURB & GUTTER TO NEAREST JOINT, OR TO LIMITS AS SHOWN.

EXIST. ATM

- (M) N89°52'23"E

(M) \$38°16'17"E

- $\langle 2 \rangle$ EXIST. CONCRETE CURB AND PAVEMENT TO BE REMOVED.
- $\overline{3}$ EXIST. CONCRETE CURB TO BE PROTECTED AND REMAIN.
- (4) CONSTRUCT IMPROVEMENTS TO MATCH LINE AND GRADE OF EXISTING PAVEMENT, WALK, AND/OR CURB & GUTTER.
- (5) CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT SPILL PAN. RE: SHEET C390, DETAIL F.
- (6) CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT CATCH PAN. RE: SHEET C390, DETAIL F.
- (7) CONSTRUCT 6-INCH CONCRETE INTEGRAL CURB. RE: SHEET C390, DETAIL F.
- (8) CONSTRUCT TRANSITION FROM CATCH TO SPILL PAN. FIELD VERIFY THAT RUNOFF WILL COMPLETELY EXIT PAN ONTO ADJACENT PAVEMENT.
- (9) CONSTRUCT TRANSITION FROM CATCH TO MATCH EXIST. ASPHALT CROSS
- (10) CONSTRUCT 2-FOOT WIDE CONCRETE PAN AS SHOWN. RE: SHEET C390, DETAIL
- (11) CONSTRUCT 1-FOOT WIDE (SINGLE) SIDEWALK CULVERT WITH STEEL PLATE TOP AND WITHOUT V-SHAPED INVERT. DEPTH OF CULVERT OPENING SHALL BE CONSISTENT 6" FROM TOP OF TOP PLATE TO INVERT. FULL WIDTH OF CULVERT (1') SHALL SLOPE CONSISTENTLY WITH ADJACENT SIDEWALK CROSS SLOPE FROM BACK OF WALK TO FLOWLINE OF CURB & GUTTER. RE: CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 2236 AND SHEET C390, DETAIL B FOR ADDITIONAL
- (12) CONSTRUCT RETAINING WALL. RE: SHEET C390, SECTION G-G AND DETAIL K.
- (13) CONSTRUCT 6" CURB OPENING. RE: SHEET C390, DETAIL G.
- (14) CONSTRUCT 3.0' CURB OPENING. RE: SHEET C390, DETAIL H.
- (15) CONSTRUCT 5.0' CURB OPENING. RE: SHEET C390, DETAIL C.
- (16) CONSTRUCT WATER QUALITY POND. RE: SHEET C390, DETAIL J.
- (17) CONSTRUCT DEPRESSED LANDSCAPED ISLAND. RE: SHEET C390, DETAIL I.
- (18) CONSTRUCT REFUSE ENCLOSURE DRAIN AT LOW POINT. RE: SHEET C501.
- (19) ADJUST CURB HEIGHT TO 4.7" AS INDICATED IN SECTION F-F. 29.5 LF OF CURB SHOWN ON PLAN AS INDICATED AS THE AREA OF SOLID HATCH ..
- (20) CONSTRUCT PRIVATE SIDEWALK EDGE. RE: SHEET C390, DETAIL D.
- (21) CONSTRUCT CONCRETE EDGE. RE: SHEET C390, DETAIL E.
- (22) CONSTRUCT LANDSCAPED ISLANDS. RE: SHEET C390, DETAIL I FOR FLOWLINE AND ADDITIONAL SPOT ELEVATIONS.



ABBREVIATION KEY

---- 5520--- EXIST. CONTOUR

————— PROP. SAWCUT LINE

LEGEND

—— — PROPERTY LINE

EASEMENT LINE

EXIST. CURB & GUTTER

PROP. CURB & GUTTER

EXIST. SIDEWALK

PROP. SIDEWALK

EXIST. LIGHT POLE

PROP. LIGHT POLE

EXIST. SIGN

PROP. SIGN PROP. BOLLARD

LANSCAPE AREA

EXIST. POWER POLE

EXIST. MANHOLE

EXIST. SPOT ELEVATION

EXIST, INLET

PROP. HANDICAP PARKING SYMBOL

INV.	INVERT			
EOC	EDGE OF CONCRETE			
TBCR	TOP BACK OF CURB RAMP			
BLDG	GRADE AT BUILDING			
TOW	TOP OF WALL			
BOW	BOTTOM OF WALL			
FG	FINISHED GRADE			
HP	HIGH POINT			
LP	LOW POINT			
TBC	TOP BACK OF CURB			
TM POND	BOTTOM POND			
EOA	EDGE OF ASPHALT			

DRAINAGE SUMMARY (RE: SHEET C390 FOR ADDTL INFO.)

•					
LOT AREA			= 0.55 ACRE		
LOT IMPERVIOUS AREA			= 17,248 SF (0.40 ACRE)		
FIRST FLUSH VOLUME REQ'D (0.34" X IMP. AREA)			= 489 CF		
FIRST FLUSH VOLUME PROVIDED		PROVIDED	= 537.5 CF		
POND #1			POND #2		
ELEV (FT)	AREA (SF)	VOLUME (CF)	ELEV (FT)	AREA (SF)	VOLUME (CF)
93.85 94.0 95.0 96.0	3.3 7.7 73.3 206.6 368 4	0.8 35.7 170.0 411.1	96.80 97.0 98.0 98.40	0.0 6.8 92.2 164.4	0.5 41.8 92.4

DEP. LAN	DEP. LANDSCAPED ISLAND #1				
ELEV (FT)	AREA (SF)	VOLUME (CF)			
97.25	0.4	18.6			

104.8

1" = 20'-0" 02/09/15 PROJECT MANAGER: PROJECT NO .: JLO DRAWN BY DRAWING FILE OKK

2009 W. Littleton Blvd. #300

www.SterlingDesignAssociates.com

JAY M. NEWELL. P.E.

NEW MEXICO REGISTRATION NO. 21372 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

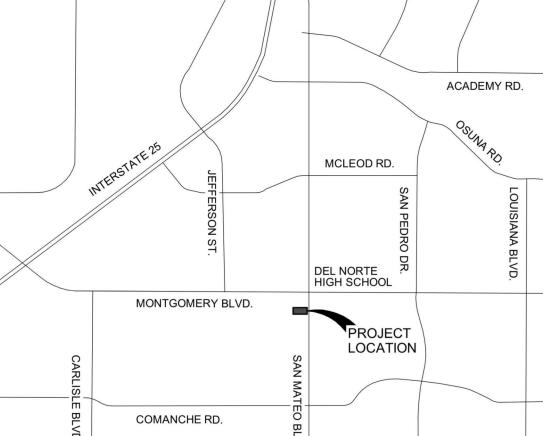
21372

STERLING DESIGN ASSOCIATES, LLC

Littleton, CO 80120

303.794.4727 ph

VICINITY MAP





DESCRIPTION:

DESCRIPTION:

DESCRIPTION:

DESCRIPTION

DESCRIPTION

NO.: 4 DATE:

04518-042

STARBUCKS DRIVE-THRU 4301 SAN MATEO BLVD. NE **ALBUQUERQUE, NM 87110**

STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH SEATTLE. WA 98134 (206) 318-1575

GRADING & DRAINAGE PLAN

SHEET NUMBER:



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER (1-800-245-4545) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND

UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

STARBUCKS COFFEE COMPANY TRACT A2, BLOCK A VISTA GRANDE ADDITION UNIT ONE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO 6" VERTICAL CURB W/ -1-FOOT CATCH PAN ✓5'W CURB OPENING RE: SHEET C390, DETAIL C SITE CONSTRUCTION PLAN TBC 98.42 97.25 BTM POND **EXPANSION** - EXPANSION JOINT - INTEGRAL CURB JOINT 98.18 97.25 TBC SPILLWAY BTM POND **CURB LIP** 2'-0" (WHERE APPLICABLE) CONCRETE-- ASPHALT Qmax = 7.23 CFS TRANSITION PAN TO MATCH CURB Q100 = 2.58 CFSLIP AT PAN INTERSECTION AREAS (WHERE APPLICABLE) 2' TAPER (TYP 2' TAPER (TYP) 97.64 **-**97.68 -6" VERTICAL CURB W/ 1-FOOT CATCH PAN 6 x 6 - W4 x W4 WIRE - CONCRETE IN ACCORDANCE FABRIC REINFORCING WITH THE CITY OF ALBUQUERQUE -DEPRESSED LANDSCAPED ISLAND (LAP ALL JOINTS 6" MIN) STANDARD SPECIFICATIONS FOR FF WSE = 98.18 PUBLIC WORKS CONSTRUCTION; VOLUME = 34.0 CF COMPACT SUB-GRADE IN WITH CONTRACTION JOINTS AT 10' O.C. AND EXPANSION JOINTS ACCORDANCE WITH WHEREVER ABUTTING FIXED **RECOMMENDATIONS OF THE** COMPACT SUBGRADE IN ACCORDANCE WITH THE COMPACT SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT STRUCTURES. RECOMMENDATIONS OF THE GEOTECHNICAL REPORT RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PRIVATE VALLEY PAN 6" VERTICAL CURB W/ -6" WIDE CURB OPENING (G) 5' WIDE CURB OPENING (C) 1-FOOT SPILL PAN NOT TO SCALE NOT TO SCALE **-** 98.83 99.22-**-**98.51 - 6" VERTICAL CURB W/ 1 FOOT PAN TRANSITIONING TO EXIST. PAVEMENT CROSS SLOPE CIVIL ENGINEERS - LANDSCAPE ARCHITECTS Qmax = 5.0 CFSQ100 = 2.58 CFS 2009 W. Littleton Blvd. #300 Littleton, CO 80120 2' TAPER (TYP) 303.794.4727 ph www.SterlingDesignAssociates.com 6" INTEGRAL 2'W CONC. PAN CURB PREPARED UNDER THE DIRECT SUPERVISION OF LANDSCAPE JAY M. NEWELL, P.E. 6" INTEGRAL 6" VERTICAL CURB W/ (RE: C301) NEW MEXICO REGISTRATION NO. 21372 SIDEWALK CULVERT - RE: CITY OF 1-FOOT SPILL PAN FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC -SIDEWALK ALBUQUERQUE STD. DETAIL DWG. 2236 (RE: C301 AND 6" INTEGRAL DETAIL A, C202) CONC. COMPACT SUBGRADE IN ACCORDANCE WITH THE WALK LANDSCAPED ISLAND DETAILS RECOMMENDATIONS OF THE GEOTECHNICAL REPORT 21372 PRIVATE SIDEWALK EDGE (D) 3' WIDE CURB OPENING (H) THICKENED NOT TO SCALE -3'W CURB OPENING OUTLET OUTLET INV OUTLET INV STERLING DESIGN ASSOCIATES, LLC RE: SHEET C390, DETAIL H 5'W CURB OPENING INLET/OUTLET -RE: SHEET C390, DETAIL C ISSUES & REVISIONS 97.33 _ TBC RE: SHEET C201 FOR ADDITIONAL INFORMATION ASPHALT PAVEMENT -DESCRIPTION: 2' TAPER-∕-2' TAPER 98.72 ¬ 96.83 / CURB OPENING COMPACT SUBGRADE IN ACCORDANCE WITH THE DESCRIPTION: -5'W CURB OPENING INLET RECOMMENDATIONS OF THE GEOTECHNICAL REPORT RE: SHEET C390, DETAIL C NO.: 3 DATE: CURB OPENING PAVEMENT SECTION SIDEWALK CULVERT DESCRIPTION: 98.40 / NO.: 4 DATE: NOT TO SCALE DESCRIPTION: CURB OPENING 98.40 NO.: 5 DATE: CURB OPENING 97.08 DESCRIPTION: PEAK DISCHARGE CALCULATIONS - CONCRETE PAVEMENT 3' MIN NO.: 6 DATE 2' TAPER DESCRIPTION: `~93.85⁻ TABLE A-9 METHOD 97.13 BTM POND BTM POND **CONCRETE EDGE** 97.63 PRECIPITATION ZONE: (ADPM, FIG. A-1) LAND TREATMENT: (ADPM, TABLE A-4) NOT TO SCALE SCALE: WATERSHED AREA: 0.55 AC. 02/09/15 12 MIN. (ADPM, SECT. A.6) 1'-6" PROJECT MANAGER PROJECT NO .: 1'-6" PEAK DISCHARGE RATE: 100-YR = 4.70 CFS/AC (ADPM, TABLE A-9) JLO FIRST FLUSH WSE = 98.40 -10-YR = 3.14 CFS/AC (ADPM, TABLE A-9) VOLUME = 92.4 CF TOP = 99.00 2-YR = 1.86 CFS/AC (ADPM, TABLE A-9) DRAWN BY: DRAWING FILE: 4 1/2" 4 1/2" OKK |--- 1'-1/2" PEAK DISCHARGE: 100-YR = 2.59 CFS FIRST FLUSH WSE = 96.84 10-YR = 1.73 CFS **VOLUME = 411.1 CF** = 1.02 CFS 2-YR 1"/FOOT 1"/FOOT RATIONAL METHOD RATIONAL COEFFICIENT: 100-YR = 0.93(ADPM, TABLE A-11) 10-YR = 0.92(ADPM, TABLE A-11) 2-YR = 0.92(ADPM, TABLE A-11) 04518-042 1-1/2" R — 1-1/2" R — WATER QUALITY POND DETAILS (J (ADPM, TABLE A-10) RAINFALL INTENSITY: 100-YR = 5.05 IN/HR STARBUCKS DRIVE-THRU SPILL CURB **CATCH CURB** 10-YR (ADPM, TABLE A-10) = 3.41 IN/HR 4301 SAN MATEO BLVD. NE (ADPM, TABLE A-10) 2-YR = 2.04 IN/HR **ALBUQUERQUE, NM 87110** 12.0' PEAK DISCHARGE: 100-YR = 2.58 CFS 10-YR = 1.73 CFS #4 @ 12" O.C. EA. WAY -= 1.03 CFS 2-YR DEVELOPER: - TRANSVERSE SLOPE -SHALL MATCH THAT OF STARBUCKS COFFEE COMPANY (ADPM = ALBUQUERQUE DEVELOPMENT PROCESS MANUAL) **EXPANSION JOINT** ADJACENT PAVEMENT **EXPANSION JOINT** 2401 UTAH AVENUE SOUTH 6" VERTICAL CURB W/ **OUTLET CALCULATIONS** SEATTLE, WA 98134 BLDG SPOT ELEV. REFER TO PLAN -24"M/N - 1 FOOT SPILL PAN (206) 318-1575 TOW SPOT ELEV. FF = 02.04 <u>WEIR</u> ── THICKENED EDGE EXPOSED FOUNDATION OF WALK PEAK DISCHARGE: 6 x 6 - W4 x W4 WIRE 2.58 CFS (SEE PLAN VIEW FOR BLDG ELEVATIONS) #4 @ 12" O.C. EA. WAY FABRIC REINFORCING C (WEIR COEFFICIENT): SHEET TITLE: (LAP ALL JOINTS 6" MIN) LENGTH: 3 FT BOTTOM TRAPEZOIDAL W/ 4:1 SIDE SLOPES (CURB OPENING) - EXPANSION JOINT VARYING HEIGHT LEDGE 5 FT BOTTOM TRAPEZOIDAL W/ 4:1 SIDE SLOPES (CURB OPENING) **GRADING DETAILS** 6" MAXIMUM TAPERS TO ZERO INTEGRAL CURB SEE DETAIL K FOR STRUCTURAL (RE: GRADING PLAN SHEET C301) - COMPACT SUB-GRADE IN INFORMATION ON ADJOINING WALKS H (HEIGHT OF WEIR): 0.5 FT. ACCORDANCE WITH EXPANSION JOINT -PRIVATE CURB & GUTTER GEOTECHNICAL REPORT ~BOW SPOT ELEV. SHEET NUMBER: WEIR CAPACITY 3 FT CURB OPENING: 5.04 CFS ADJOINING WALK DETAIL NOT TO SCALE C390 5 FT CURB OPENING 7.23 CFS SECTION G-G NOT TO SCALE