

CITY OF ALBUQUERQUE



November 4, 2015

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd. Suite 300
Littleton, CO 80120

**RE: Starbucks
4301 San Mateo Blvd. NE
Request Permanent C.O. – Accepted
Engineers Stamp Date 2/9/15 (G17D006C)
Certification Dated 10/23/15**

Dear Mr. Newell,

Based on the Certification received 10/26/2015 and the letter received 11-4-15, the above referenced site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, please contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

NM 87103

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

TE/RH
C: File

CITY OF ALBUQUERQUE



October 29, 2015

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd. Suite 300
Littleton, CO 80120

**RE: Starbucks
4301 San Mateo Blvd. NE
Request Permanent C.O. – Not Accepted
Engineers Stamp Date 2/9/15 (G17D006C)
Certification Dated 10/23/15**

Dear Mr. Newell,

Based upon the information provided in your submittal received 10/26/15, this plan cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed.

- The concrete sidewalk culvert does not have the steel plate top.
- The 2' wide concrete pan from the concrete sidewalk culvert following thru behind the north parking area is missing.
- The 6" curb opening on the west end of the building is missing.
- Justify this course of action or follow the plan which was approved.

If you have any questions, please contact me at 924-3695 or Totten Elliott at 924-3982.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

TE/RH
C: File



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

November 3, 2015

Ms. Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Starbucks
4301 San Mateo Blvd. NE
Request Permanent C.O. – Not Accepted
Engineer's Stamp Date 2/9/15 (G17D006C)
Certification Dated 10/23/15

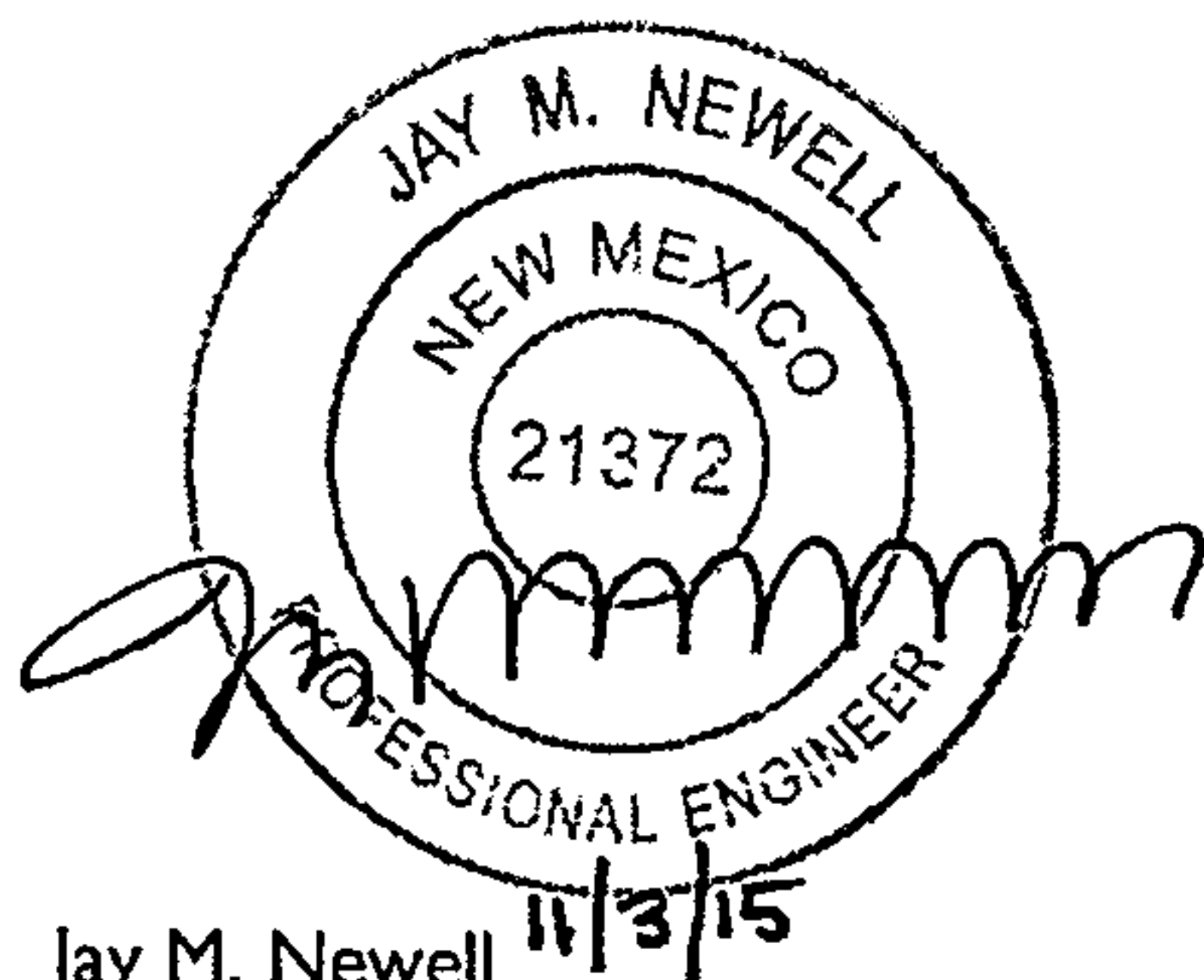
Ms. Harmon:

I have reviewed your letter dated October 29, 2015, outlining several items concerning the improvements constructed on the subject site and have included a review of their impact on project.

- The concrete sidewalk culvert is not within a paved pedestrian access, but is rather within a landscape area. Therefore pedestrian access across the top of the culvert by use of a steel plate is unnecessary.
- Based on the as-built field shots it appears there is adequate fall from the outlet of the sidewalk culvert across the adjacent downstream parking area. Therefore the 2' wide pan is unnecessary.
- As clarified in separate correspondence, the city's concern is in regard to the 6" curb opening on the "east" end of the building. Inclusion of a 6" curb opening may have provided additional drainage benefits to the adjacent landscape area; however, the lack of such an opening serving a relatively small tributary area should not significantly alter the overall design intent of the grading and drainage aspects of the project as described on the approved plan(s).

As the compliance language on the As-Built Sheet C301, stamped 10/23/15 indicates; these deviations from the grading and drainage design described on the approved plan(s) represent discrepancies which are minor in nature and/or should impact maintenance of the property rather than the overall drainage design intent.

Respectfully submitted,
Sterling Design Associates, LLC



Jay M. Newell
On behalf of Sterling Design Associates, LLC

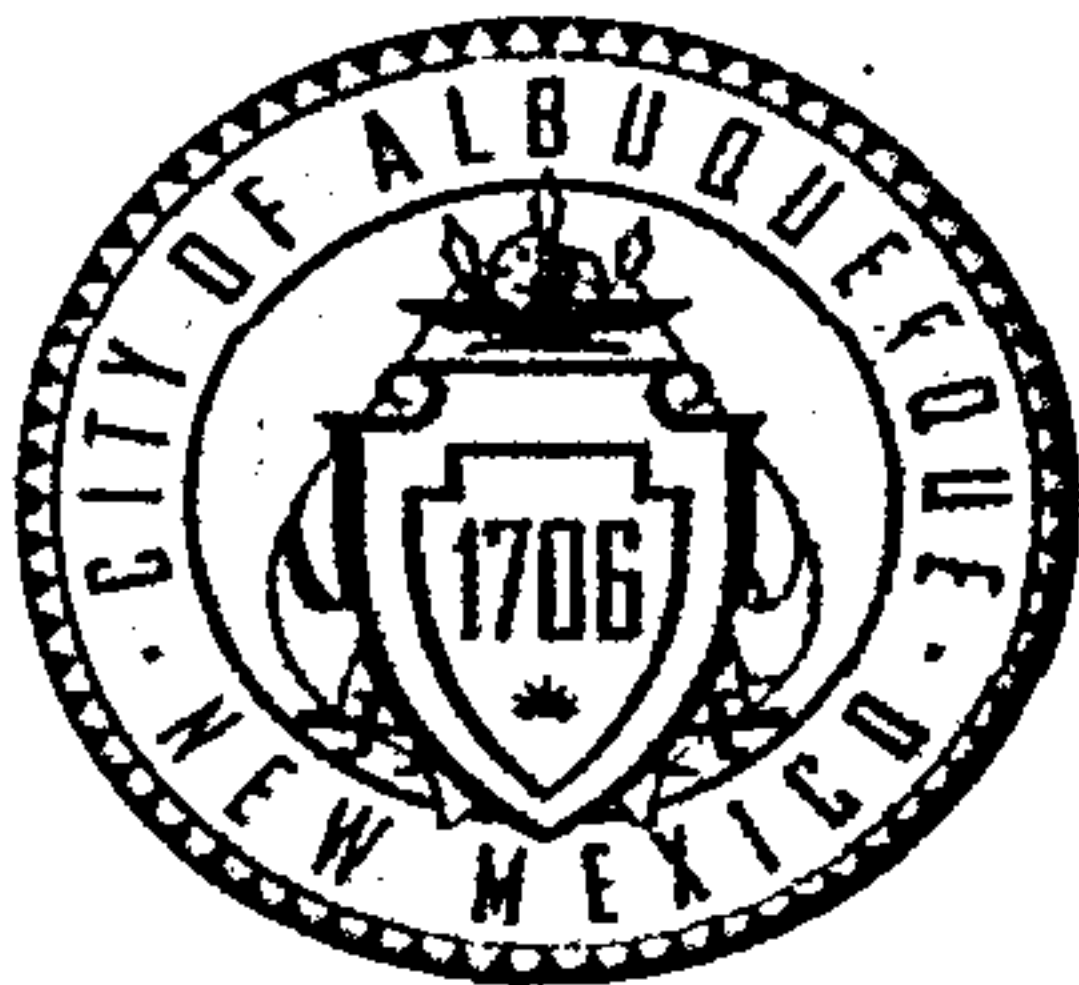


RECEIVED
11-4-15

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks Cafe & Drive Thru Building Permit #: _____ City Drainage #: G17-D006C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Track A-2, Block A, Vista Grande Addition Unit 1

City Address: 4301 San Mateo Blvd., Albuquerque, NM 87110

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell

Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120

Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: Western States Retail & Investment Contact: Alfredo Barrenech

Address: _____

Phone#: 505-401-0135 Fax#: _____ E-mail: alfredo@go-absolute.net

Architect: Callison Contact: Shane Anderson

Address: 1453 Third St. Promenade, #400, Santa Monica, CA 90401

Phone#: 310-394-8460 Fax#: _____ E-mail: shane.anderson@callisontkl.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



RECEIVED
10-26-15

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 13, 2015 By: Jay M. Newell

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



October 8, 2015

Tom Spader
Freiheit & Ho Architects, Inc., P. S.
5209 Lake Washington Blvd. NE
Suite 200
Kirtland, WA 98033

**Re: Starbuck's
4301 San Mateo Blvd.NE
Request Temporary C.O. - Accepted
Engineer's Stamp dated: 2-9-15 (G17D006C)
Certification dated: 10-7-15**

Dear Mr. Spader,

Based on the Certification received 10/7/2015, the site is acceptable for temporary release
of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

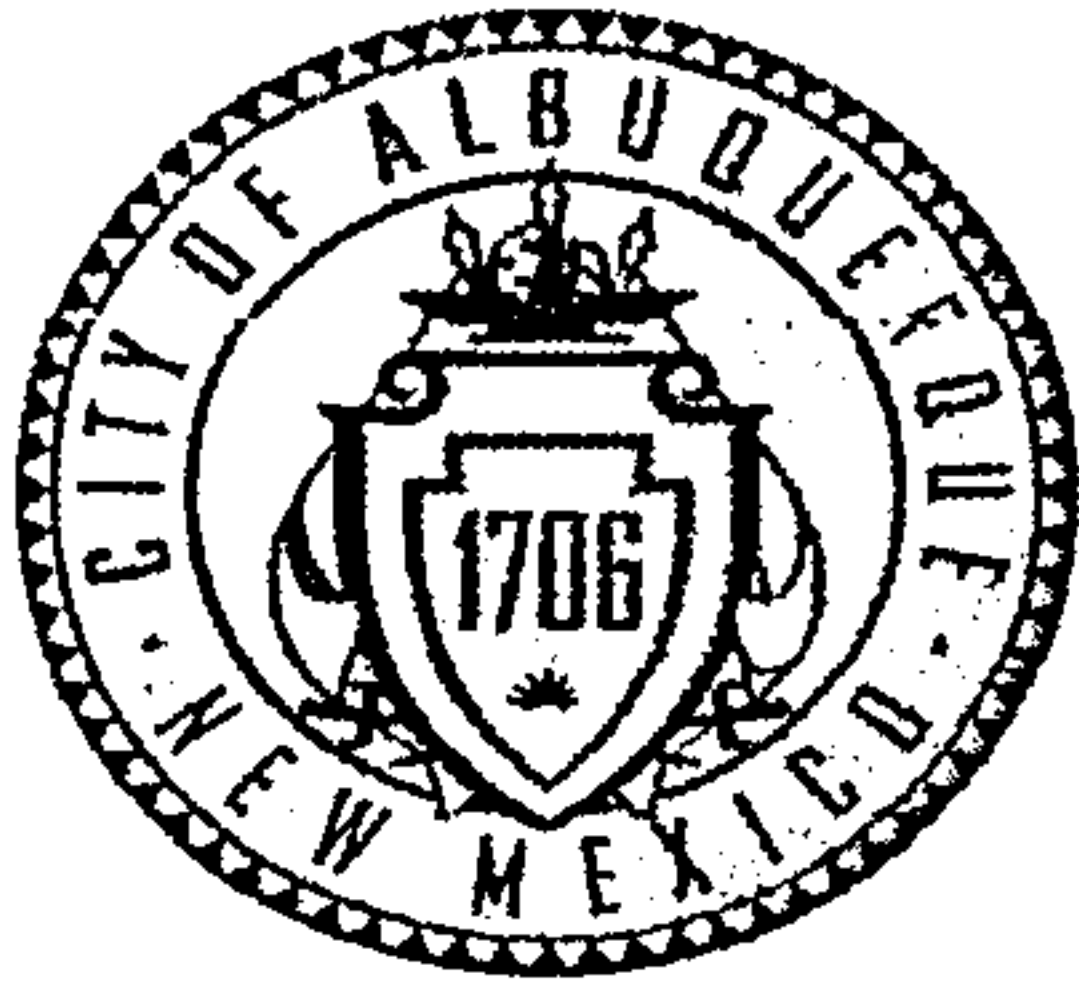
New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

C: TE/RH
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks Cafe & Drive Thru Building Permit #: _____ City Drainage #: G17-D006C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Track A-2, Block A, Vista Grande Addition Unit 1
City Address: 4301 San Mateo Blvd., Albuquerque, NM 87110
Engineering Firm: Sterling Design Associates, LLC ALEX 720 215 245 68256 Contact: Jay Newell
Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120
Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com
Owner: Western States Retail & Investment Contact: Alfredo Barrenech
Address: _____
Phone#: 505-401-0135 Fax#: _____ E-mail: alfredo@go-absolute.net
Architect: Callison Contact: Shane Anderson
Address: 1453 Third St. Promenade, #400, Santa Monica, CA 90401
Phone#: 310-394-8460 Fax#: _____ E-mail: shane.anderson@callisontkl.com
Other Contact: Wayjohn Surveying Contact: Thomas Johnston
Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108
Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 7, 2015 By: Jay M. Newell

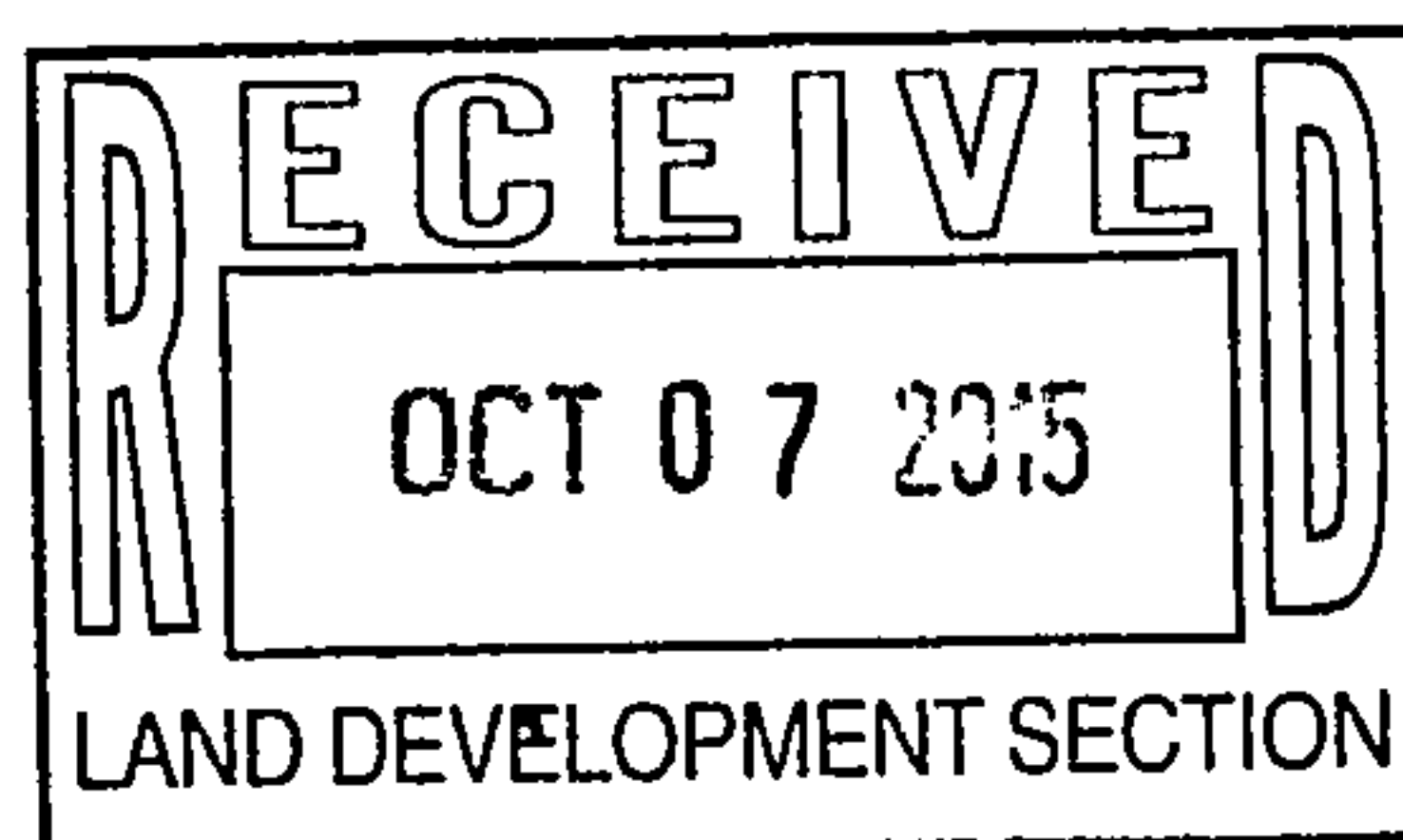
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



March 10, 2015

Owen Keenan, PE
Sterling Design Associates, LLC
2009 W. Littleton Blvd., Ste 300,
Littleton, CO 80120

RE: **Starbucks – San Mateo and Montgomery
Grading Plan
Engineer's Stamp Date 2-09-2015 (File: G17-D006C)**

Dear Mr. Keenan:

Based upon the information provided in your submittal received 3-03-15, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

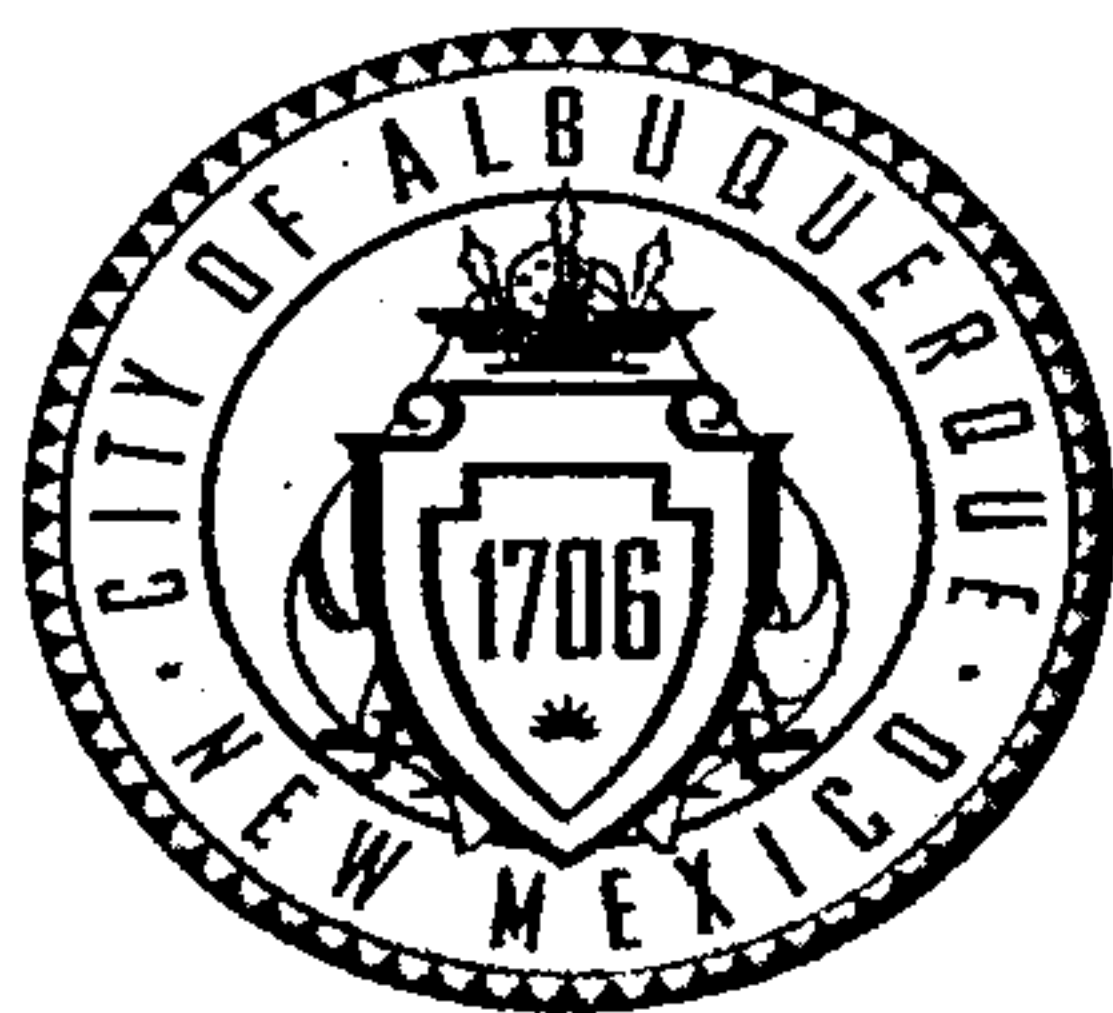
Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via Email: Recipient, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Starbucks - San Mateo & Montgomery Building Permit #: _____ City Drainage #: 617 D006C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 4301 San Mateo Blvd. NE, Albuquerque, NM 87110
Engineering Firm: Sterling Design Associates, LLC Contact: Owen Keenan
Address: 2009 W. Littleton Blvd, Ste 300, Littleton, CO 80120
Phone#: 303-794-4727 ext. 206 Fax#: _____ E-mail: owen@sterlingdesignassociates.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: Callison Contact: Shane Anderson
Address: 1453 Third Street Promenade #400, Santa Monica, CA 90401
Phone#: 310-394-8460 Fax#: 310-394-4970 E-mail: Shane.Anderson@callison.com
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 03/03/2015 By: Owen Keenan

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



March 10, 2015

Owen Keenan, PE
Sterling Design Associates, LLC
2009 W. Littleton Blvd., Ste 300,
Littleton, CO 80120

RE: **Starbucks – San Mateo and Montgomery
Grading Plan
Engineer's Stamp Date 2-17-2015 (File: G17-D006C)**

Dear Mr. Keenan:

Based upon the information provided in your submittal received 2-20-15, the above referenced plan is approved for action by the DRB on the Site Plan for Building Permit.

PO Box 1293

If you have any questions, you can contact me at 924-3924.

Albuquerque

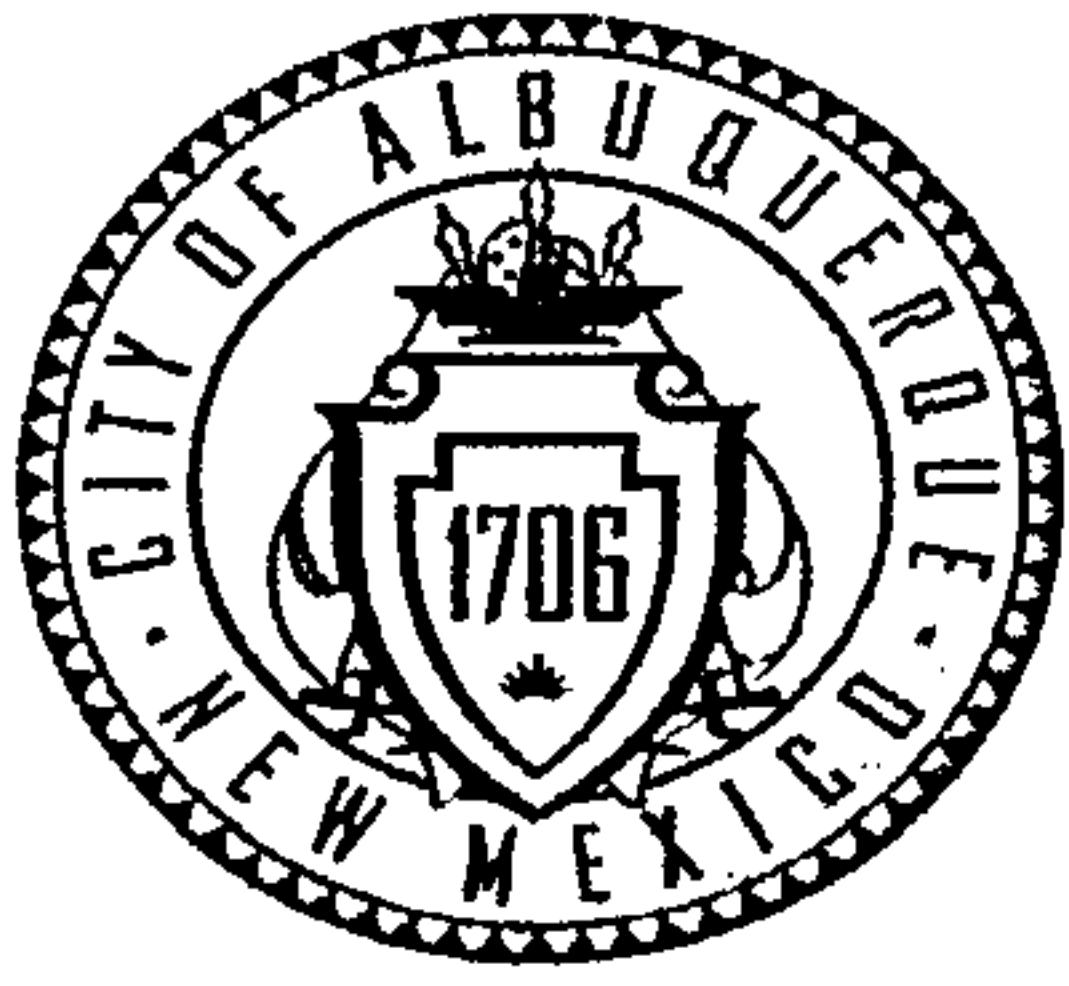
Sincerely,

New Mexico 87103

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf via Email: Recipient, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: STARBUCKS CAFE & DRIVE THRU Building Permit #: _____ City Drainage #: 6170006C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACK A-2, BLOCK A, VISTA GRANDE ADDITION UNIT 1

City Address: 4301 SAN MATEO BLVD., ALBUQUERQUE, NM 87110

Engineering Firm: STERLING DESIGN ASSOCIATES Contact: JENNIFER OLSON

Address: 2009 W. LITTLETON BLVD., #300, LITTLETON, CO 80120

Phone#: 303-794-4727 EX. 207 Fax#: _____ E-mail: JENNIFER@STERLINGD

Owner: WESTERN STATES RETAIL & INVESTMENT Contact: ALFREDO BARRENECH

Address: _____

Phone#: _____ Fax#: _____ E-mail: ALFREDO@GO-ABSOLU

Architect: CALLISON Contact: SHANE ANDERSON

Address: 1453 THIRD ST. PROMENADE, #400, SANTA MONICA, CA 90401

Phone#: 310-394-8460 Fax#: _____ E-mail: SHANE.ANDERSON@CA

Surveyor: WAYJOHN SURVEYING Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA BLVD NE, ALBUQUERQUE, NM 87108

Phone#: 505-255-2052 Fax#: _____ E-mail: _____

Contractor: TBD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

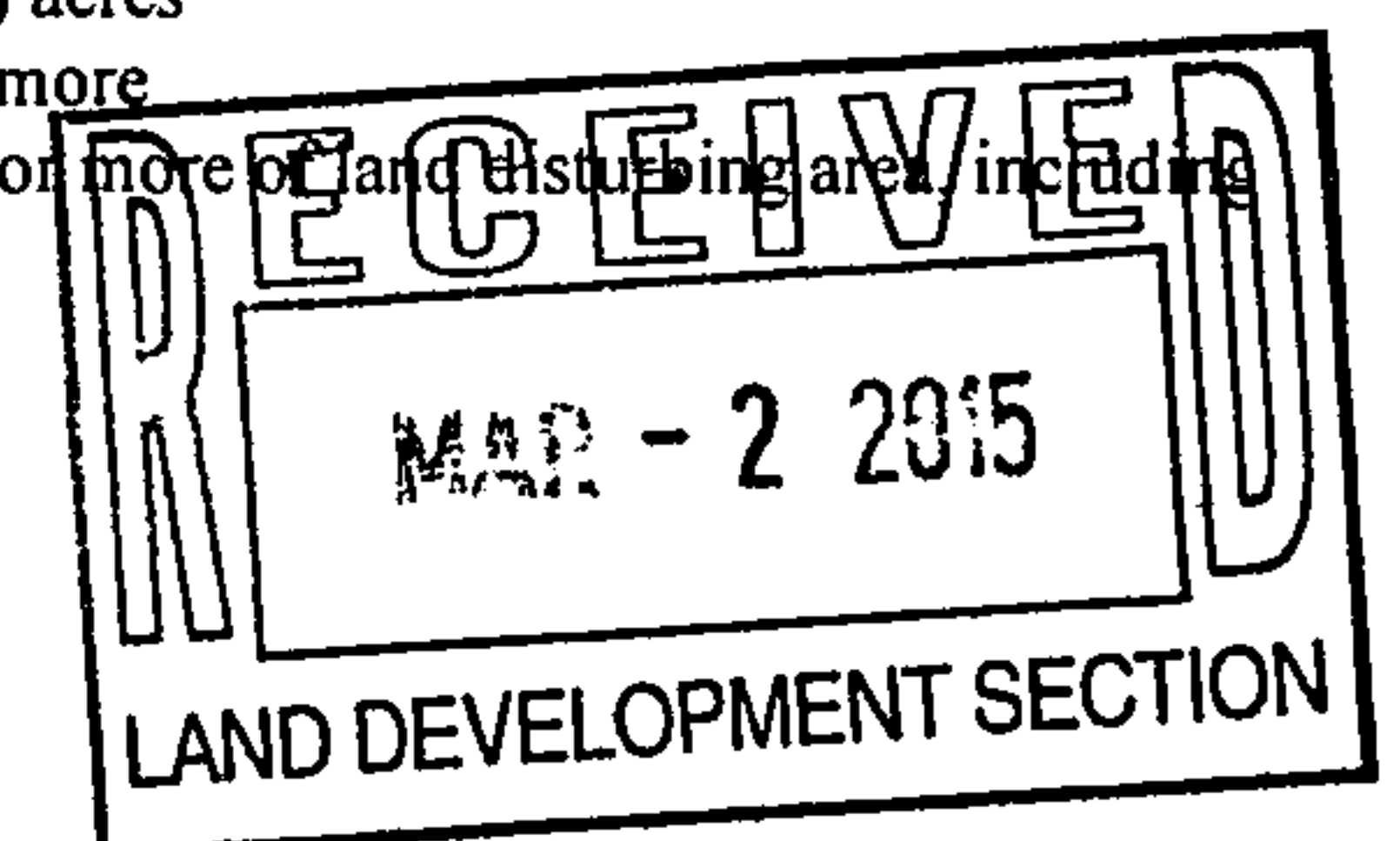
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 02/20/2015 By: JENNIFER OLSON, STERLING DESIGN ASSOCIATES

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



Cherne, Curtis

From: Jennifer Olson <Jennifer@Sterlingdesignassociates.com>
Sent: Monday, February 23, 2015 7:22 AM
To: Cherne, Curtis
Subject: RE: Starbucks -- San Mateo & Montgomery -- Signed/Stamped AA Set
Attachments: Starbucks - San Mateo & Montgomery - Grading Plan (signed).pdf

Hi Curtis,

I sent the attached PDF file on 02/17/2015. Please let me know if you require anything further.

Thanks!

Jennifer Olson, LEED AP BD+C
Sterling Design Associates
Civil Engineers – Landscape Architects
2009 W. Littleton Blvd. #300
Littleton, CO 80120

o: 303.794.4727 ex. 207
c: 720.315.5428
jennifer@sterlingdesignassociates.com

From: Cherne, Curtis [<mailto:CCherne@cabq.gov>]
Sent: Friday, February 20, 2015 4:47 PM
To: 'Jennifer Olson'
Subject: RE: Starbucks -- San Mateo & Montgomery -- Signed/Stamped AA Set

Jennifer,
A pdf of the submittal is required. E-mail is fine.
Have a good weekend.

Curtis

From: Jennifer Olson [<mailto:Jennifer@Sterlingdesignassociates.com>]
Sent: Friday, February 20, 2015 12:31 PM
To: Cherne, Curtis
Subject: RE: Starbucks -- San Mateo & Montgomery -- Signed/Stamped AA Set

Hi Curtis,

My apologies! Please find the application sheet attached. Let me know if you require anything further.

Thank you and have a great weekend!

Jennifer Olson, LEED AP BD+C
Sterling Design Associates
Civil Engineers – Landscape Architects
2009 W. Littleton Blvd. #300
Littleton, CO 80120

o: 303.794.4727 ex. 207
c: 720.315.5428
jennifer@sterlingdesignassociates.com

From: Cherne, Curtis [<mailto:CCherne@cabq.gov>]
Sent: Friday, February 20, 2015 11:19 AM
To: 'Jennifer Olson'
Subject: RE: Starbucks -- San Mateo & Montgomery -- Signed/Stamped AA Set

Jennifer,
I opened the package and did not see the application sheet (DTIS) that should accompany each submittal.
I have attached one that you can complete and e-mail back.

Curtis

From: Jennifer Olson [<mailto:Jennifer@Sterlingdesignassociates.com>]
Sent: Tuesday, February 17, 2015 10:06 AM
To: Cherne, Curtis
Cc: Falkner, Randall S.; 'Owen Keenan'; 'Wayne Sterling'; 'Jay Newell'; lisa@scmsllc.com; Dicome, Kym
Subject: Starbucks -- San Mateo & Montgomery -- Signed/Stamped AA Set

Hi Curtis,

I am overnighting you a copy of the signed/stamped Grading and Drainage Plan. I am also attaching a PDF version to this email. Please let me know ASAP if you require anything further.

Thank you!

Jennifer Olson, LEED AP BD+C
Sterling Design Associates
Civil Engineers – Landscape Architects
2009 W. Littleton Blvd. #300
Littleton, CO 80120

o: 303.794.4727 ex. 207
c: 720.315.5428
jennifer@sterlingdesignassociates.com

From: Cherne, Curtis [<mailto:CCherne@cabq.gov>]
Sent: Monday, February 09, 2015 12:49 PM
To: 'jennifer@sterlingdesignassociates.com'
Cc: Falkner, Randall S.
Subject: Starvucks AA

Jennifer,
COA Hydrology is approving the Administrative Amendment.
The plans were reviewed at a conceptual level only.
Submit a stamped and sealed grading and drainage plan to Hydrology.
An approved g & d plan is required for Building Permit approval.

Curtis

Owen Keenan

From: Owen Keenan <Owen@Sterlingdesignassociates.com>
Sent: Monday, March 02, 2015 4:57 PM
To: 'Ortiz, Monica'
Cc: 'Wayne Sterling'; 'Jennifer Olson'
Subject: Starbucks - 4301 San Mateo Blvd NE - Hydrology Digital Submittal
Attachments: 2015-03-02 - San Mateo & Montgomery - Grading and Drainage Plan.pdf; 2015-03-02 - DTIS.pdf

Hi Monica,

Per your comment on the Building Permit Review, I've attached the Drainage and Grading Plan as well as the Drainage and Transportation Information Sheet as the digital submittal. Hardcopies to your attention are soon to follow.

Please let me know if there's anything else.

Thanks,

Owen Keenan, PE
Sterling Design Associates, LLC
Civil Engineers – Landscape Architects
2009 W. Littleton Blvd. #300
Littleton, CO 80120

303-794-4727 ext 206

www.sterlingdesignassociates.com

Transmittal

Date: 02/17/2015 Project: Starbucks – 4301 San Mateo Blvd.

To: City of Albuquerque
Hydrology Department
600 2nd Street NW, Albuquerque, NM 87102
Attn: Mr. Curtis Cherne

Cc: _____

Via:	
Overnight	<input checked="" type="checkbox"/>
Delivery	<input type="checkbox"/>
Mail	<input type="checkbox"/>

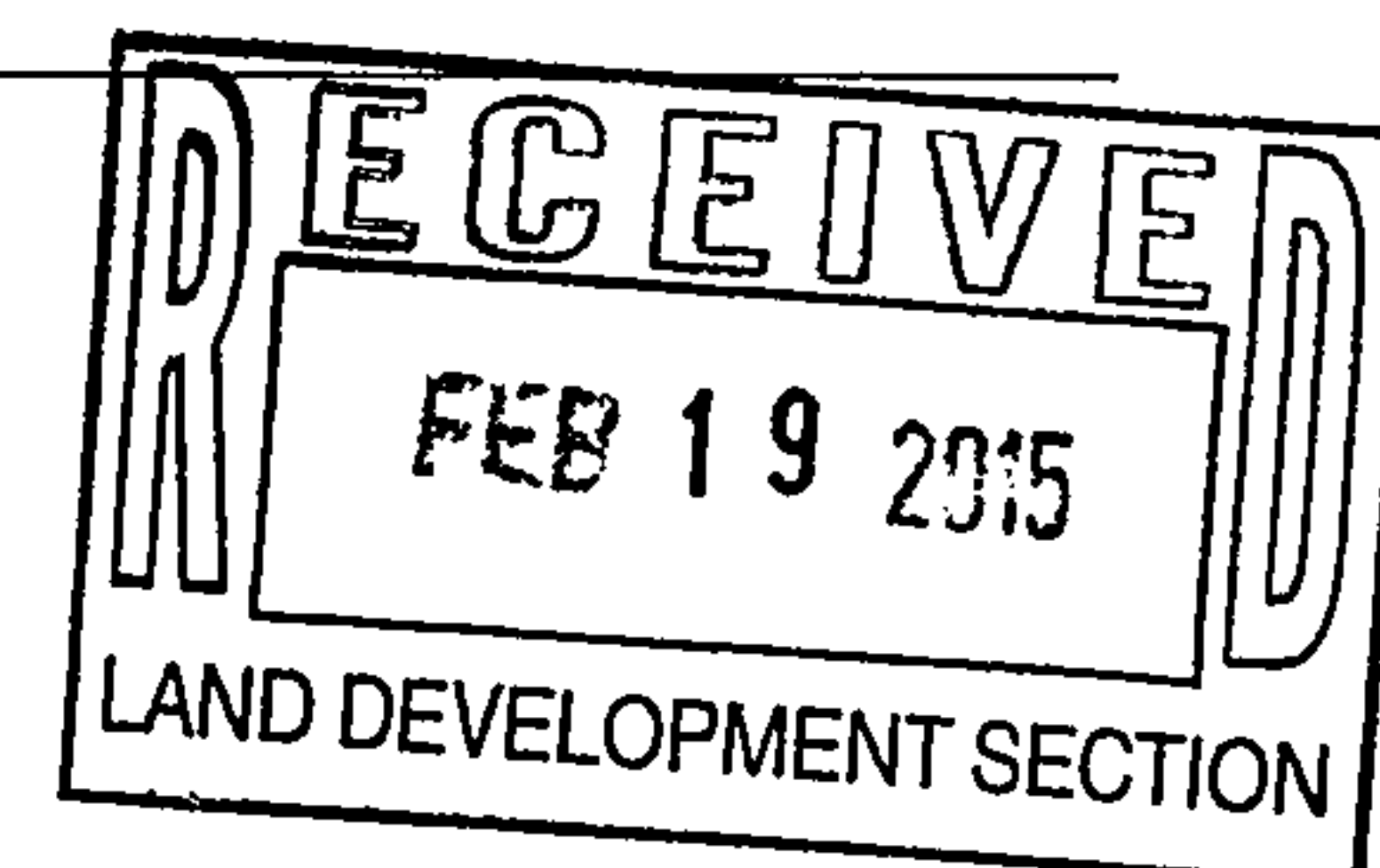
For:	
Your Use	<input checked="" type="checkbox"/>
Comment	<input type="checkbox"/>
Approval	<input checked="" type="checkbox"/>

Copies:	Description:
1	SDP for Building Permit AA (24"X36", folded, stamped/signed)

Comments:

Please notify me ASAP if you require anything further. Thank you!

By: Jennifer Olson

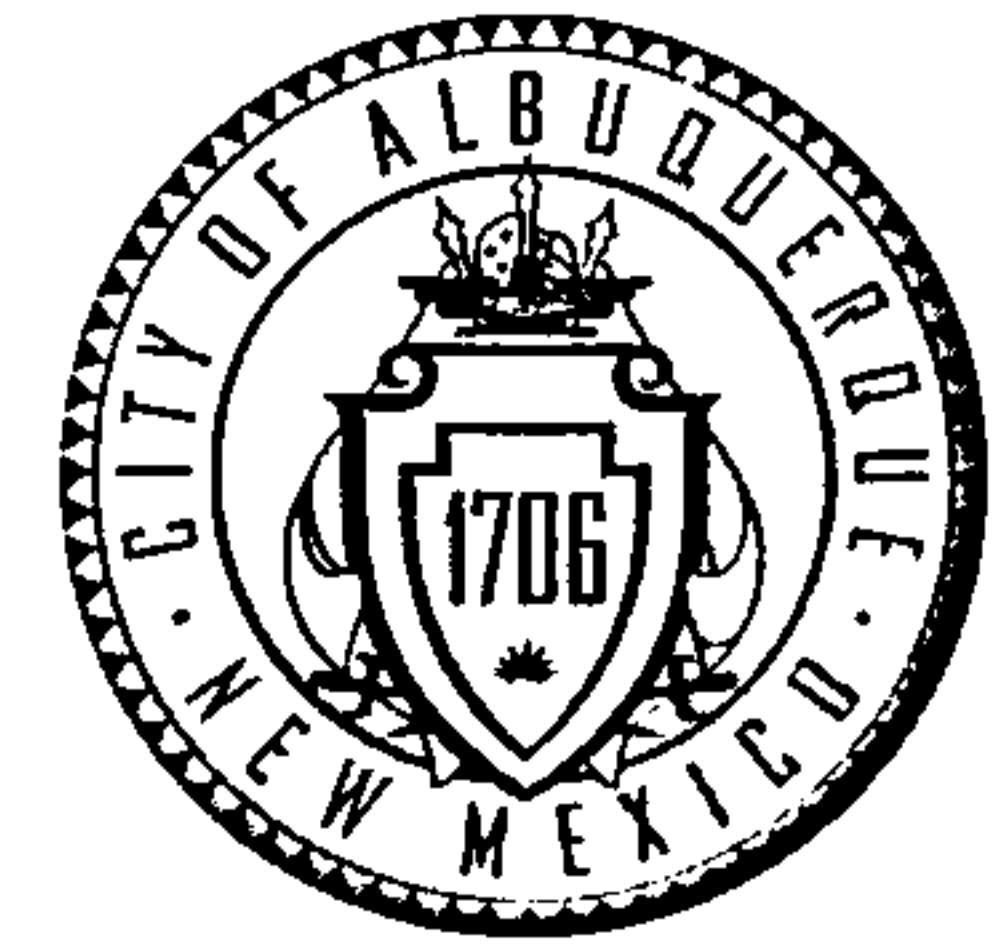


Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 30, 2015

Jay Newell
Sterling Design Associates, LLC
Littleton Blvd, #300
Littleton, CO 80102

**Re: Starbucks Café & Drive Thru
4301 San Mateo Blvd.
Certificate of Occupancy- Transportation Development
Administrative Amendment dated 3-2-15 (G17-D006C)
Certification dated 10-13-15**

Dear Ms. Newell,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

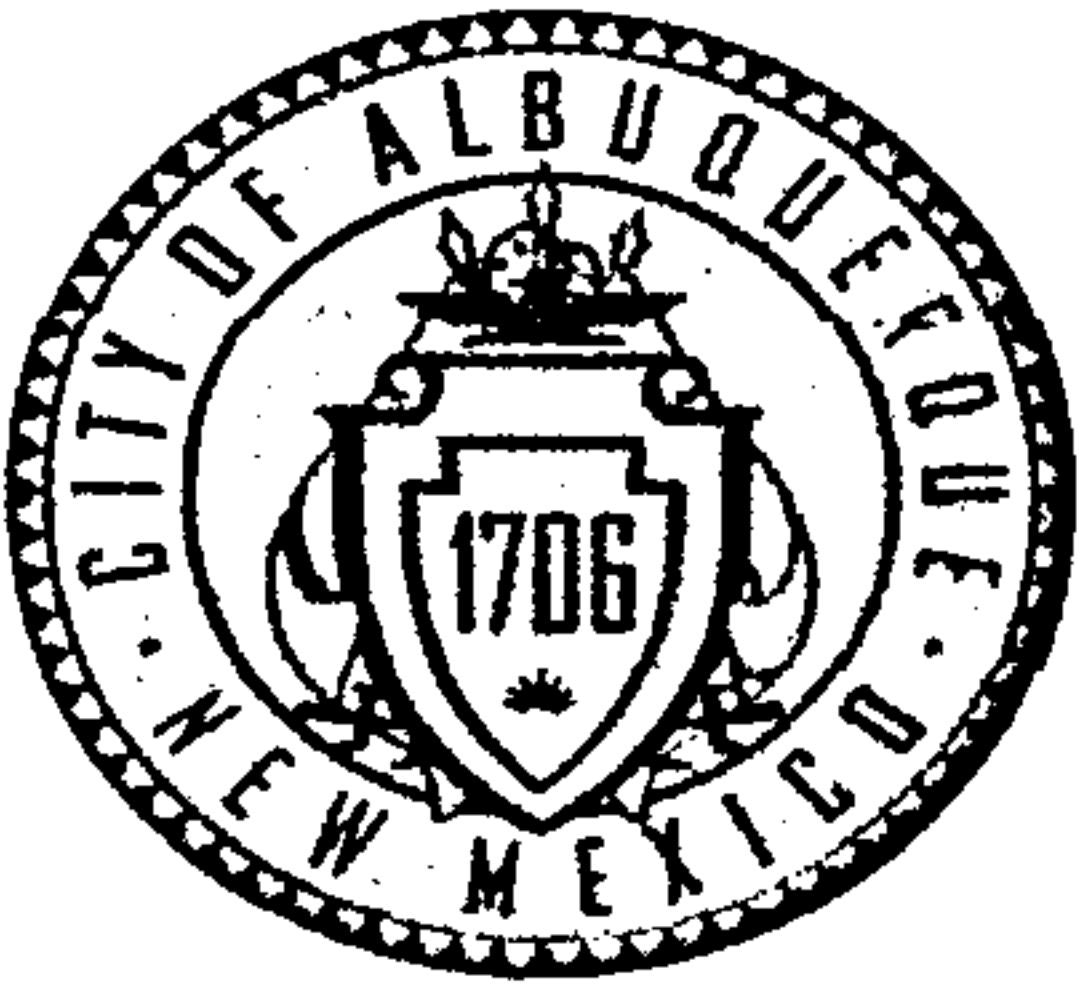
Based upon the information provided in your submittal received 10-26-15 Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks Cafe & Drive Thru Building Permit #: _____ City Drainage #: G17-D006C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Track A-2, Block A, Vista Grande Addition Unit 1

City Address: 4301 San Mateo Blvd., Albuquerque, NM 87110

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell

Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120

Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: Western States Retail & Investment Contact: Alfredo Barrenech

Address: _____

Phone#: 505-401-0135 Fax#: _____ E-mail: alfredo@go-absolute.net

Architect: Callison Contact: Shane Anderson

Address: 1453 Third St. Promenade, #400, Santa Monica, CA 90401

Phone#: 310-394-8460 Fax#: _____ E-mail: shane.anderson@callisontkl.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 13, 2015 By: Jay M. Newell

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



RECEIVED
10-26-15

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



Sterling Design Associates, llc

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

October 13, 2015

Mr. Shane Anderson
Callison
333 S. Hope St., Suite C-200
Los Angeles, CA 90071

**RE: Starbucks Coffee Company
4301 San Mateo Blvd. NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Anderson:

I have reviewed a copy of the as-built plan, dated October 6, 2015, prepared and stamped by Thomas D. Johnston, New Mexico Registered Land Surveyor No. 14269, and provided the same as-built information on the red-lined as-built plan provided with this letter.

The review is intended only to determine if the improvements as described solely by the as-built plan are in substantial compliance with the design intent of the traffic aspects of the project as described on the approved plan(s) and in support of a request for a Certificate of Occupancy.

Based on the review described herein, of the information listed herein, and of this information only; it appears the improvements associated with the traffic aspects of the project are in substantial compliance with the design intent of the approved plan(s).

Respectfully submitted,
Sterling Design Associates, llc



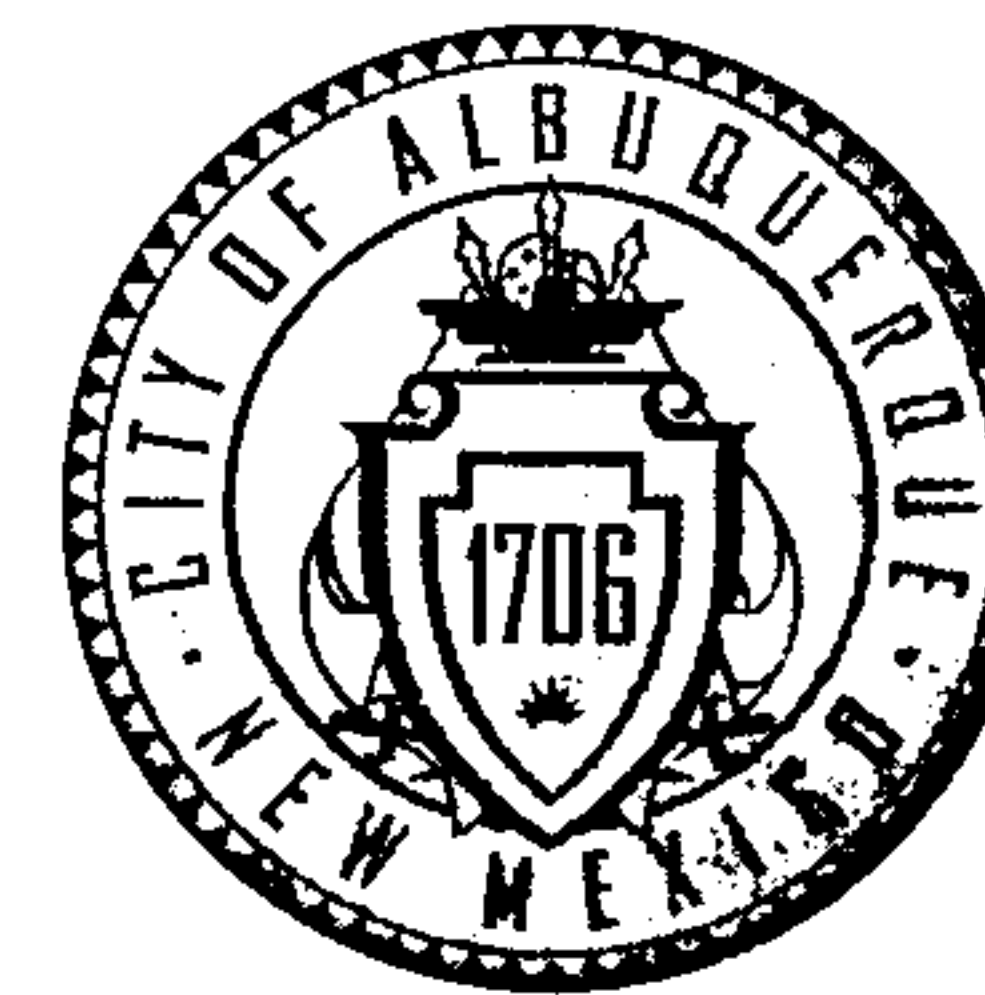
Jay M. Newell
On behalf of Sterling Design Associates, LLC

**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 8, 2015

Jay Newell
Sterling Design Associates, LLC
Littleton Blvd, #300
Littleton, CO 80102

**Re: Starbucks Café & Drive Thru
4301 San Mateo Blvd.
30-Day Temporary Certificate of Occupancy- Transportation Development
Administrative Amendment dated 3-2-15 (G17-D006C)
Certification dated 10-6-15**

Dear Ms. Newell,

Based upon the information provided in your submittal received 10-7-15, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

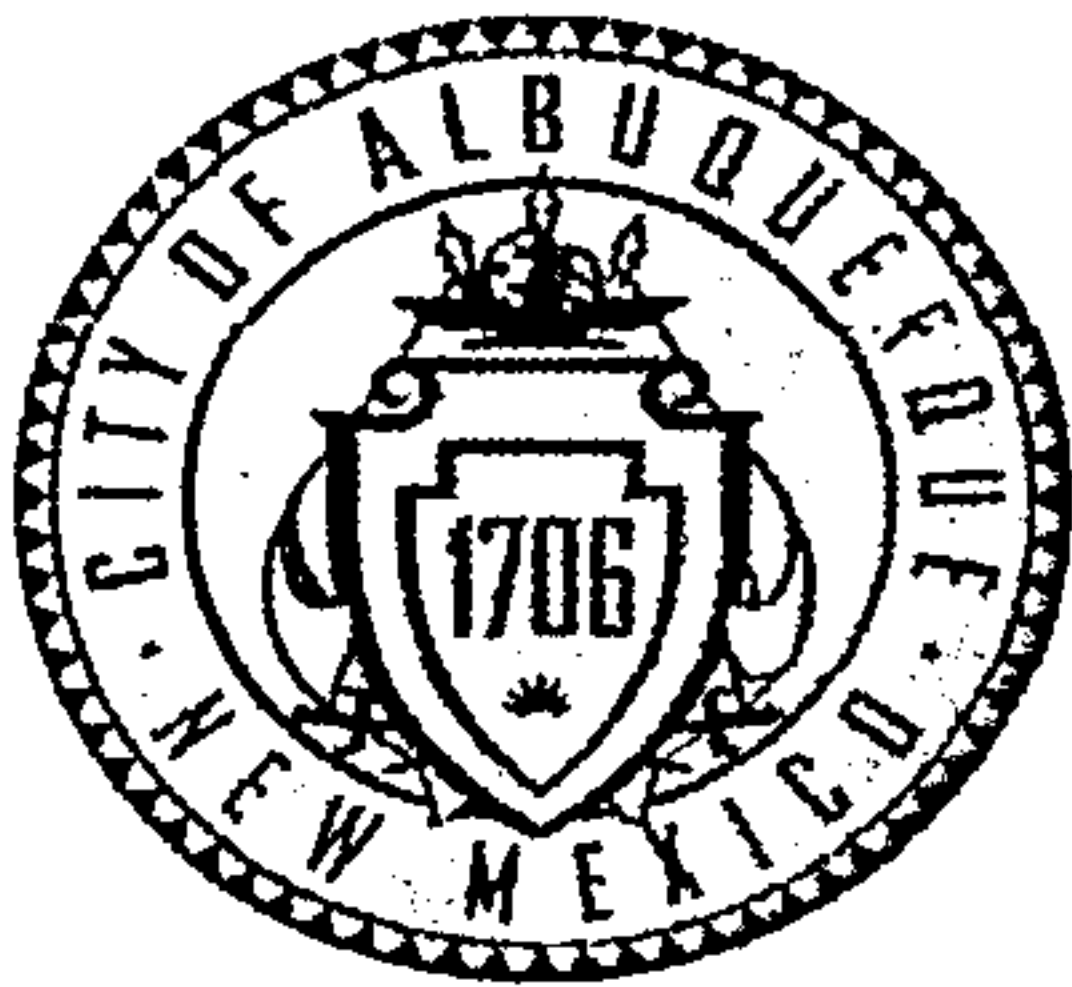
- Site landscaping needs to be finished.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks Cafe & Drive Thru Building Permit #: _____ City Drainage #: G17-D006C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Track A-2, Block A, Vista Grande Addition Unit 1
City Address: 4301 San Mateo Blvd., Albuquerque, NM 87110

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell
Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120
Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: Western States Retail & Investment Contact: Alfredo Barrenech
Address: _____
Phone#: 505-401-0135 Fax#: _____ E-mail: alfredo@go-absolute.net

Architect: Callison Contact: Shane Anderson
Address: 1453 Third St. Promenade, #400, Santa Monica, CA 90401
Phone#: 310-394-8460 Fax#: _____ E-mail: shane.anderson@callisontkl.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston
Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108
Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 7, 2015 By: Jay M. Newell

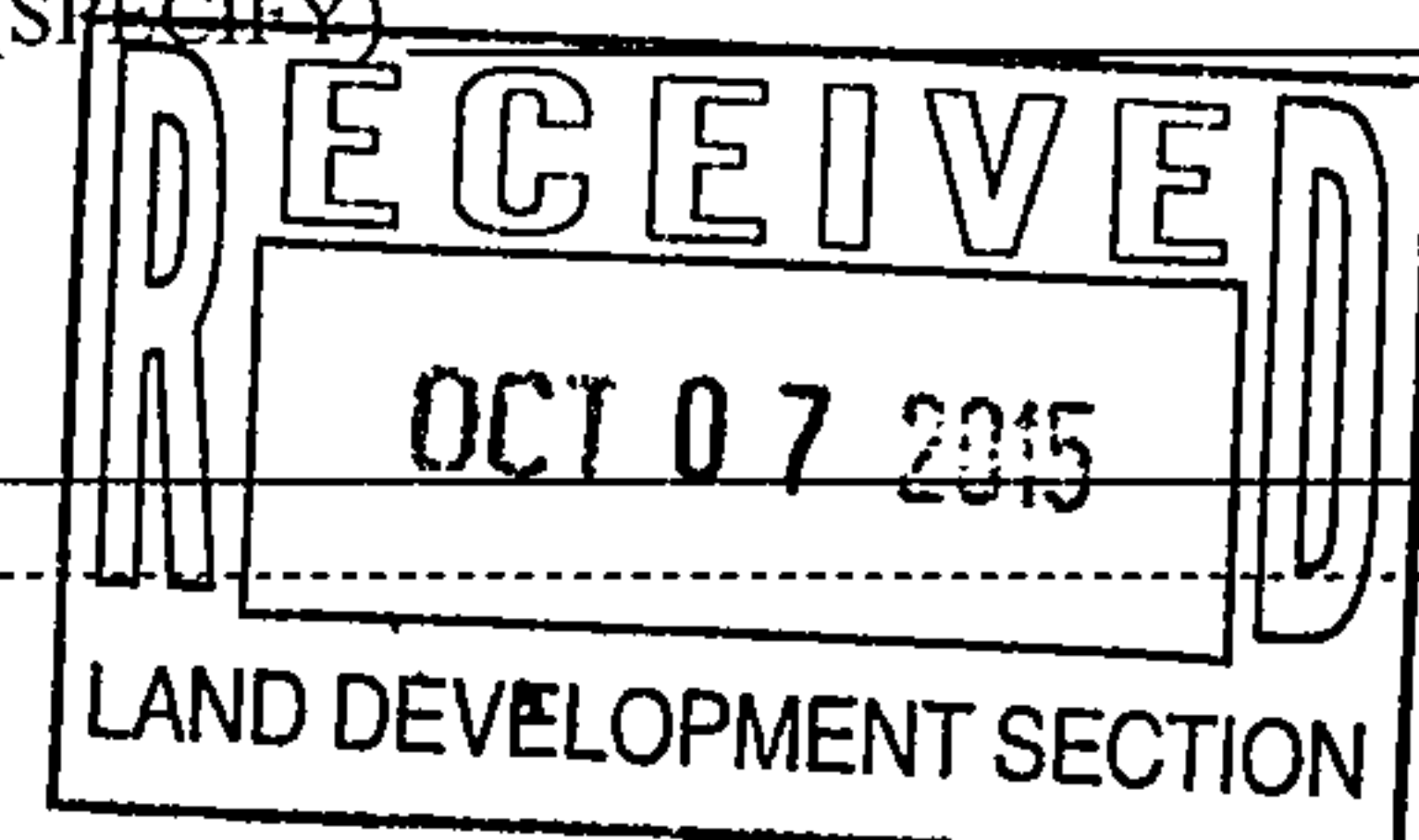
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____





Sterling Design Associates, LLC

CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

October 7, 2015

Mr. Shane Anderson
Callison
333 S. Hope St., Suite C-200
Los Angeles, CA 90071

**RE: Starbucks Coffee Company
4301 San Mateo Blvd. NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Anderson:

I have reviewed a copy of the as-built plan, dated October 6, 2015, prepared and stamped by Thomas D. Johnston, New Mexico Registered Land Surveyor No. 14269, and provided the same as-built information on the red-lined as-built plan provided with this letter.

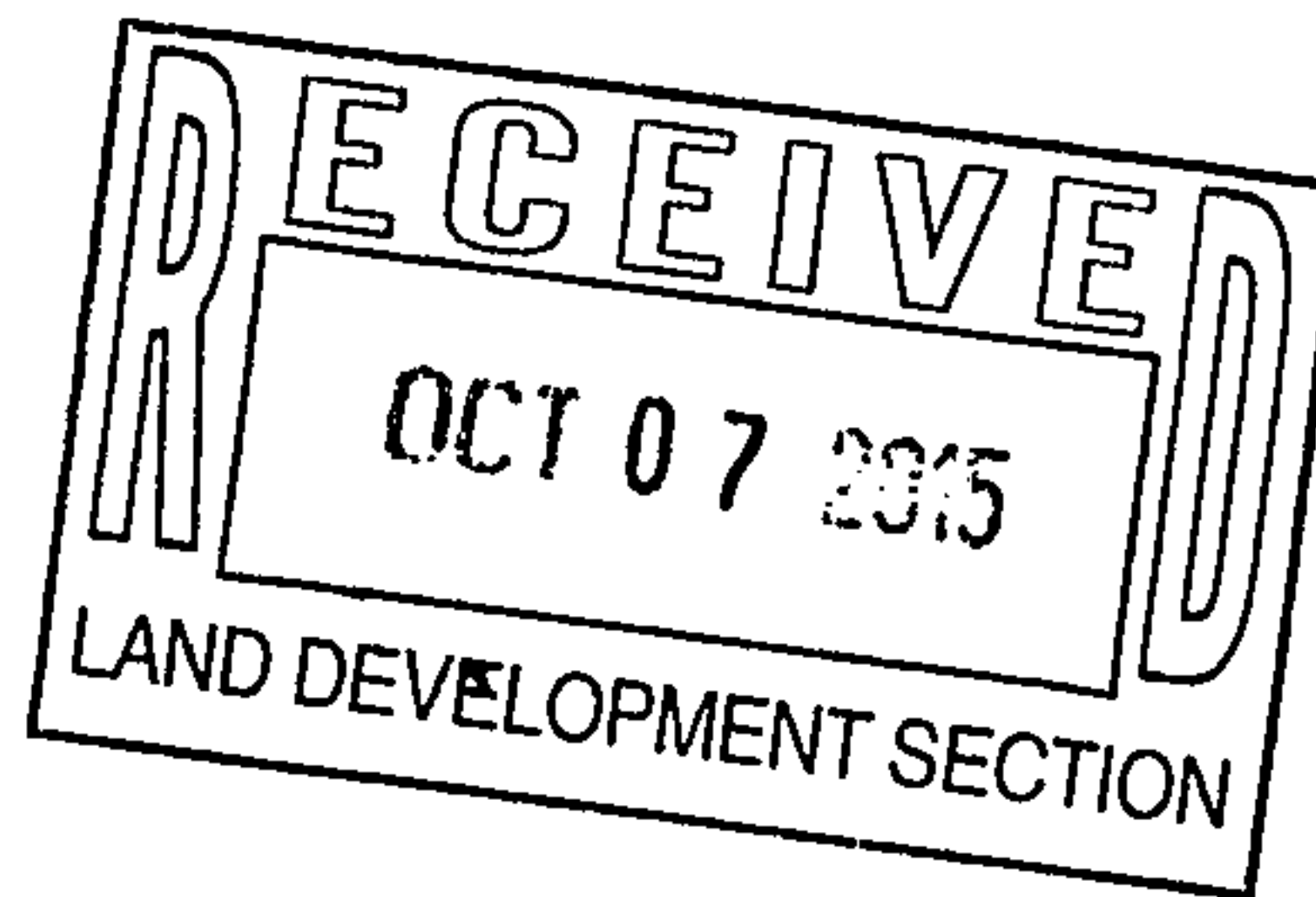
The review is intended only to determine if the improvements as described solely by the as-built plan are in substantial compliance with the design intent of the traffic aspects of the project as described on the approved plan(s) and in support of a request for a Temporary Certificate of Occupancy.

Based on the review described herein, of the information listed herein, and of this information only; it appears the improvements associated with the traffic aspects of the project are in substantial compliance with the design intent of the approved plan(s).

Respectfully submitted,
Sterling Design Associates, LLC



Jay M. Newell
On behalf of Sterling Design Associates, LLC



Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com