



CITY OF
Albuquerque

November 8, 1996

Martin J. Chávez, Mayor

Ken Zell
Norman Engineering Group Inc.
7330 N. 16TH Street
Suite A314
Phoenix, AZ 85020

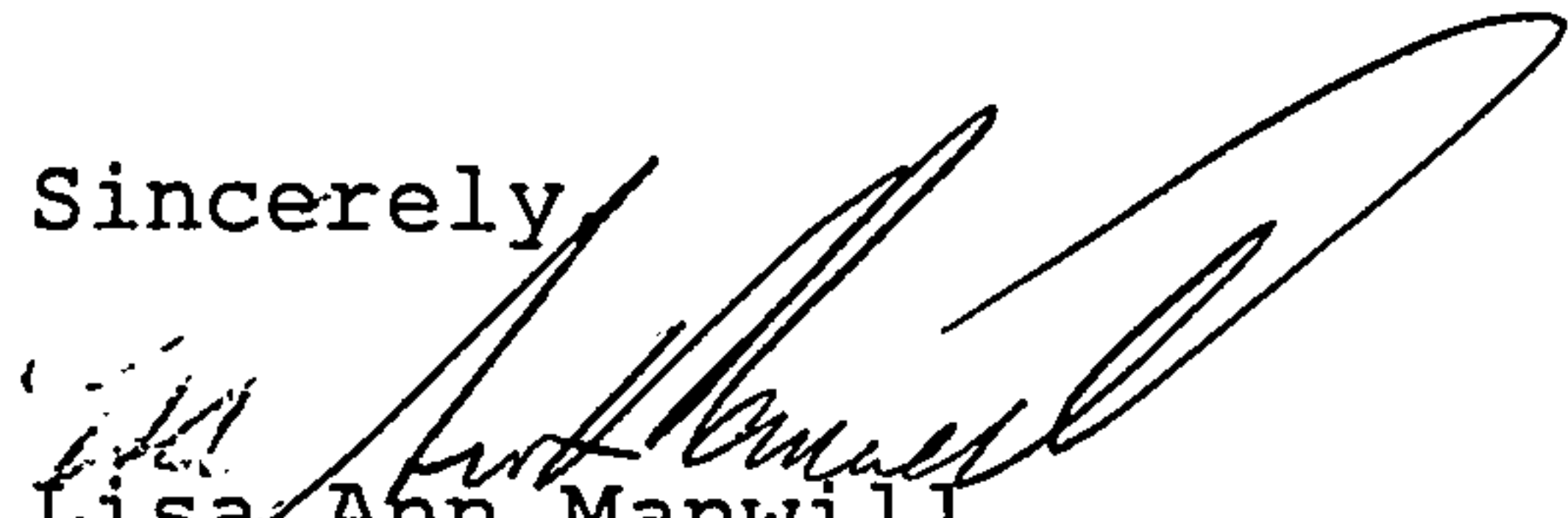
**RE: AUTOZONE ON SAN MATEO (G17-D27). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION
DATED OCTOBER 16, 1996.**

Dear Mr. Zell:

Based on the information provided on your November 8, 1996 submittal, the above referenced project is approved for a Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: AUTO ZONE 4213 SAN MATEO BLVD. ZONE ATLAS/DRNG. FILE #: G 17/D27
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: PARCEL B-2 MONROE ASSOCIATES TRACT 1 VISTA GRANDE LAND CO. ADD. NO.1
CITY ADDRESS: 4213 SAN MATEO BLVD. ALBUQUERQUE, NEW MEXICO 87110
ENGINEERING FIRM: NORMAN ENGINEERING GROUP INC. CONTACT: KEN ZELL
ADDRESS: 7330 N.16th ST. #A314, PHX.AZ. 85020 PHONE: 602/371-0397
OWNER: AUTO ZONE INC. CONTACT: ARTHUR NAVE
ADDRESS: 60 MADISON AVE. MEMPHIS, TN. 38103 PHONE: 901/495-8708
ARCHITECT: AS BUILTS PROVIDED BY AUTO ZONE CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: C & L CONTRACTING, INC. CONTACT: RICHARD HERRON
ADDRESS: RT 2 BOX 164D BEN WHEELER, TX. 75754 PHONE: 903/469-3396

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

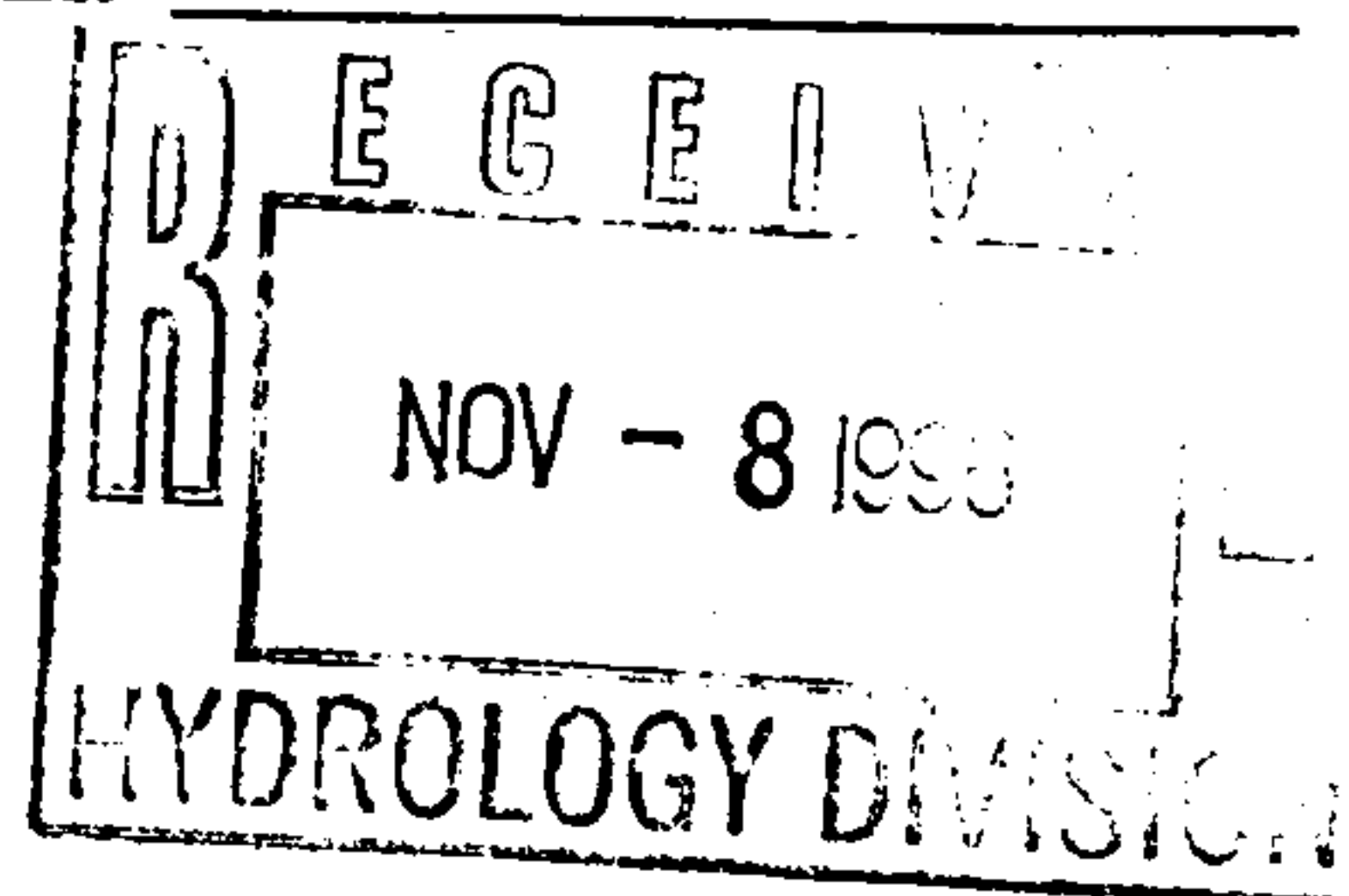
PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: MAY 30th, 1996
BY: NORMAN ENGINEERING GROUP, INC.





ALBUQUERQUE SURVEYING COMPANY INC.

2119 MENAUL BOULEVARD, N.E. • ALBUQUERQUE, N.M. 87107

PHONE 884-2036

FAX 884-3796

November 5, 1995

Mr. Richard Herron
C & L Contracting, Inc.
Route 2, Box 1640
Ben Wheeler, TX 75754

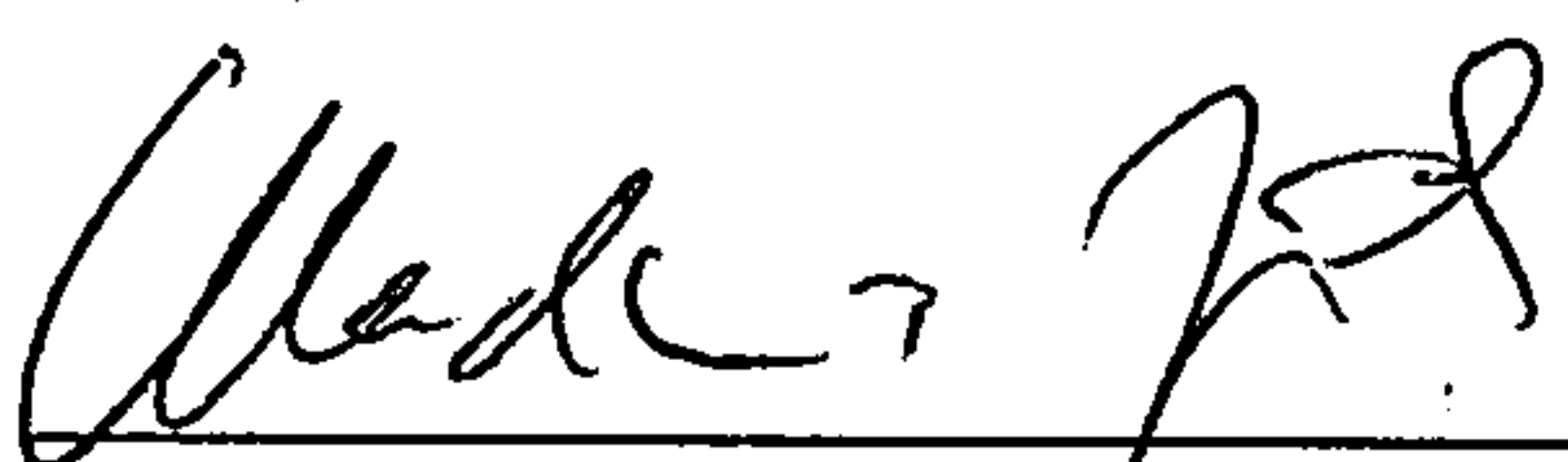
Re: As-Built Finish Floor Elevations
Auto-Zone Building Addition
4213 San Mateo Blvd., NE
Albuquerque, NM

To whom it may concern:

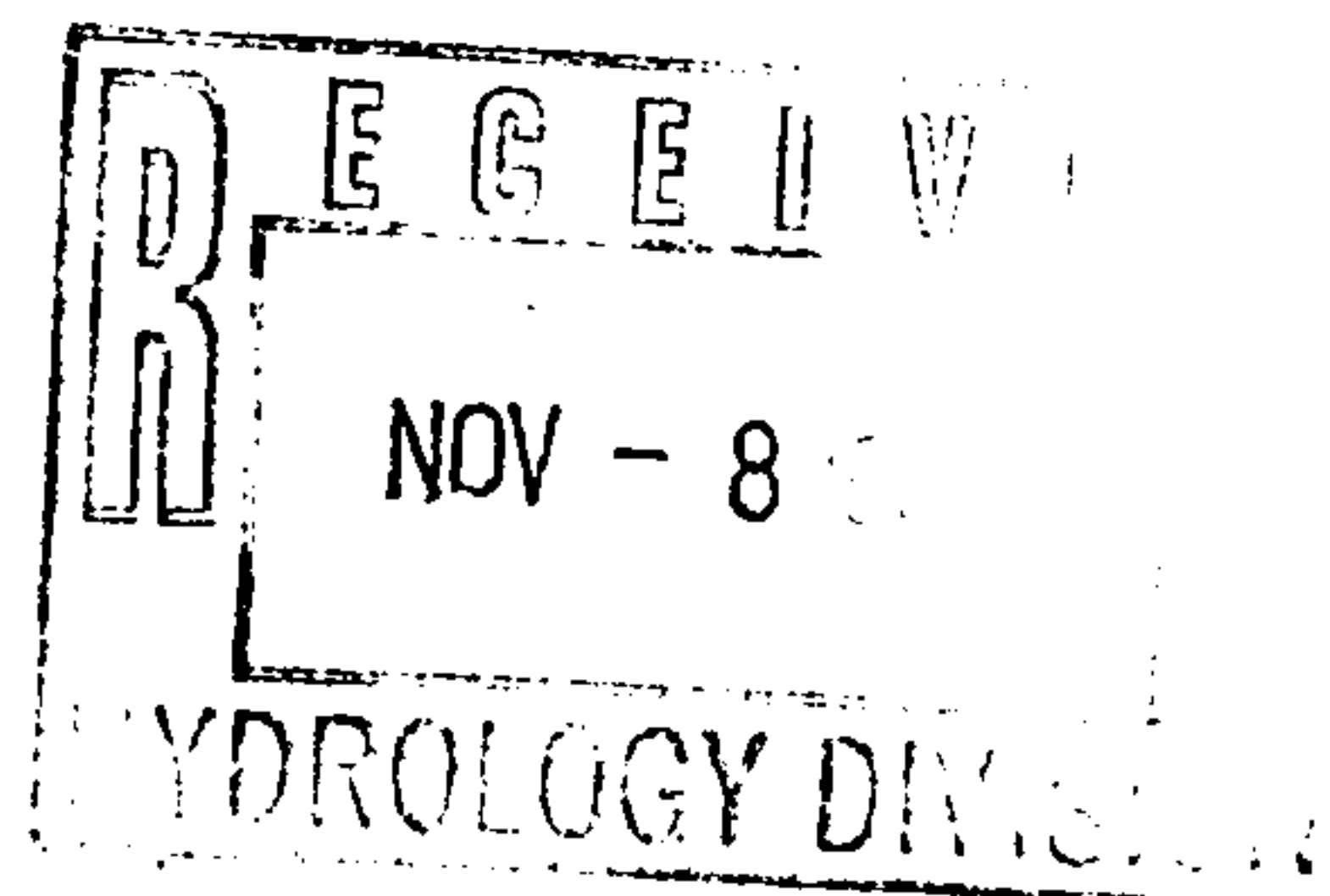
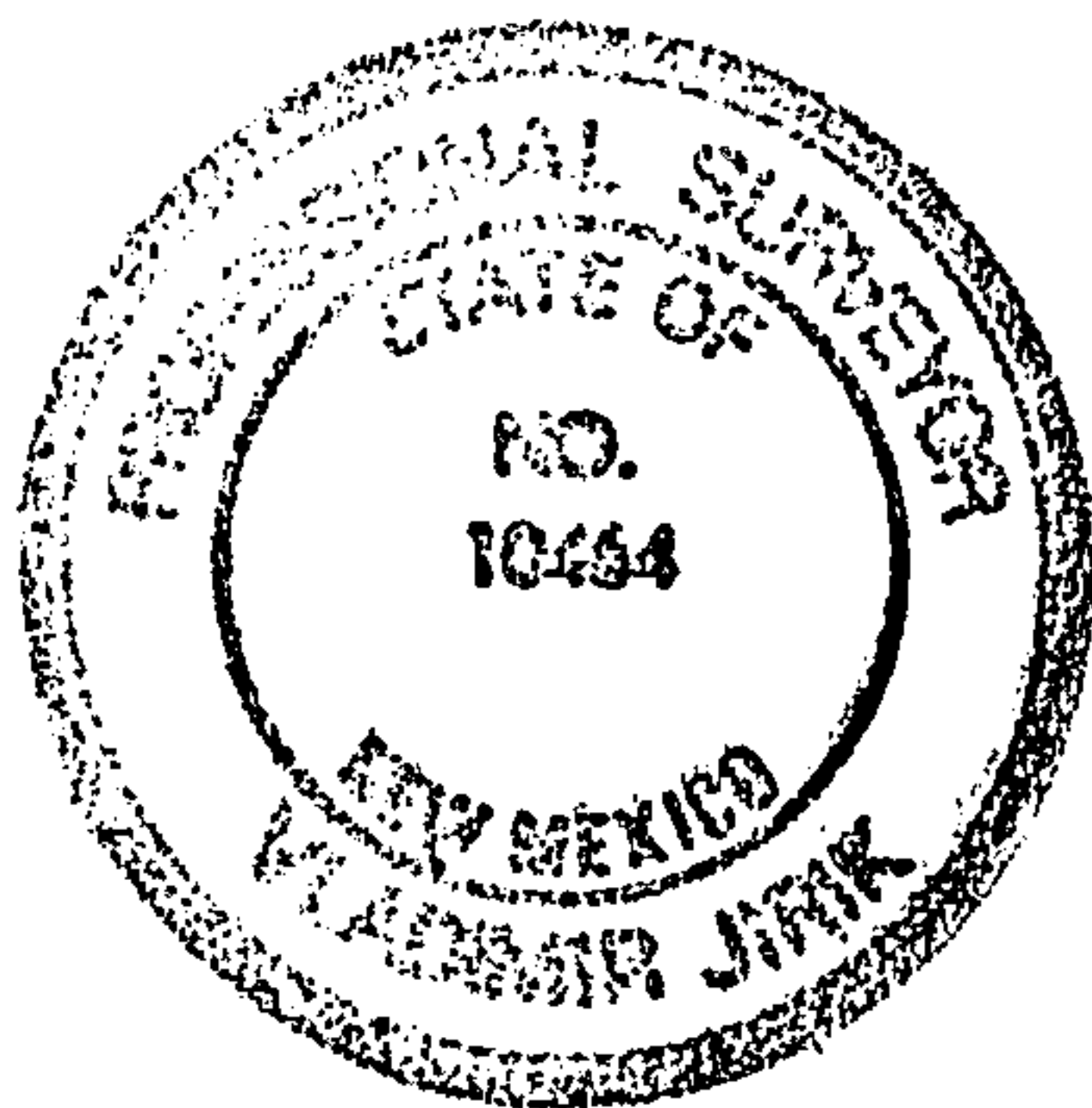
This is to certify that Albuquerque Surveying Company, Inc. performed the as-built finish floor elevation survey at the above address with the following result:

Finish Floor Elevation = 5200.49

Bench Mark used was City of Albuquerque Station "10-F18", Elev. = 5202.05 (MSLD 1929).


Vladimir Jirik, N.M.P.S. #10464

11/5/96
Date



DRAINAGE INFORMATION SHEET

PROJECT TITLE: AUTOZONE; 4213 SAN MATEO BLVD ZONE ATLAS/DRNG. FILE #: ~~X~~ G 17/D27

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PARCEL B-2; MONROE ASSOCIATES TRACT 1 VISTA GRANDE LAND CO. ADD. NO. 1

CITY ADDRESS: 4213 SAN MATEO BLVD. ALBUQUERQUE, NEW MEXICO 87110

ENGINEERING FIRM: NORMAN ENGINEERING GROUP INC

ADDRESS: 7330 N. 16TH ST, #A314; PHX, AZ 85020

CONTACT: KEN ZELL

FAX 602/861-3473
PHONE: 602/371-0397

OWNER: AUTOZONE, INC.

ADDRESS: 60 MADISON AVE; MEMPHIS TN 38103

CONTACT: ARTHUR NAVE

PHONE: 901/495-8708

ARCHITECT: AS-BUILTS PROVIDED BY AUTOZONE

ADDRESS: _____

CONTACT: _____

PHONE: _____

SURVEYOR: _____

ADDRESS: _____

CONTACT: _____

PHONE: _____

CONTRACTOR: NOT SELECTED AT THIS TIME

ADDRESS: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
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PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

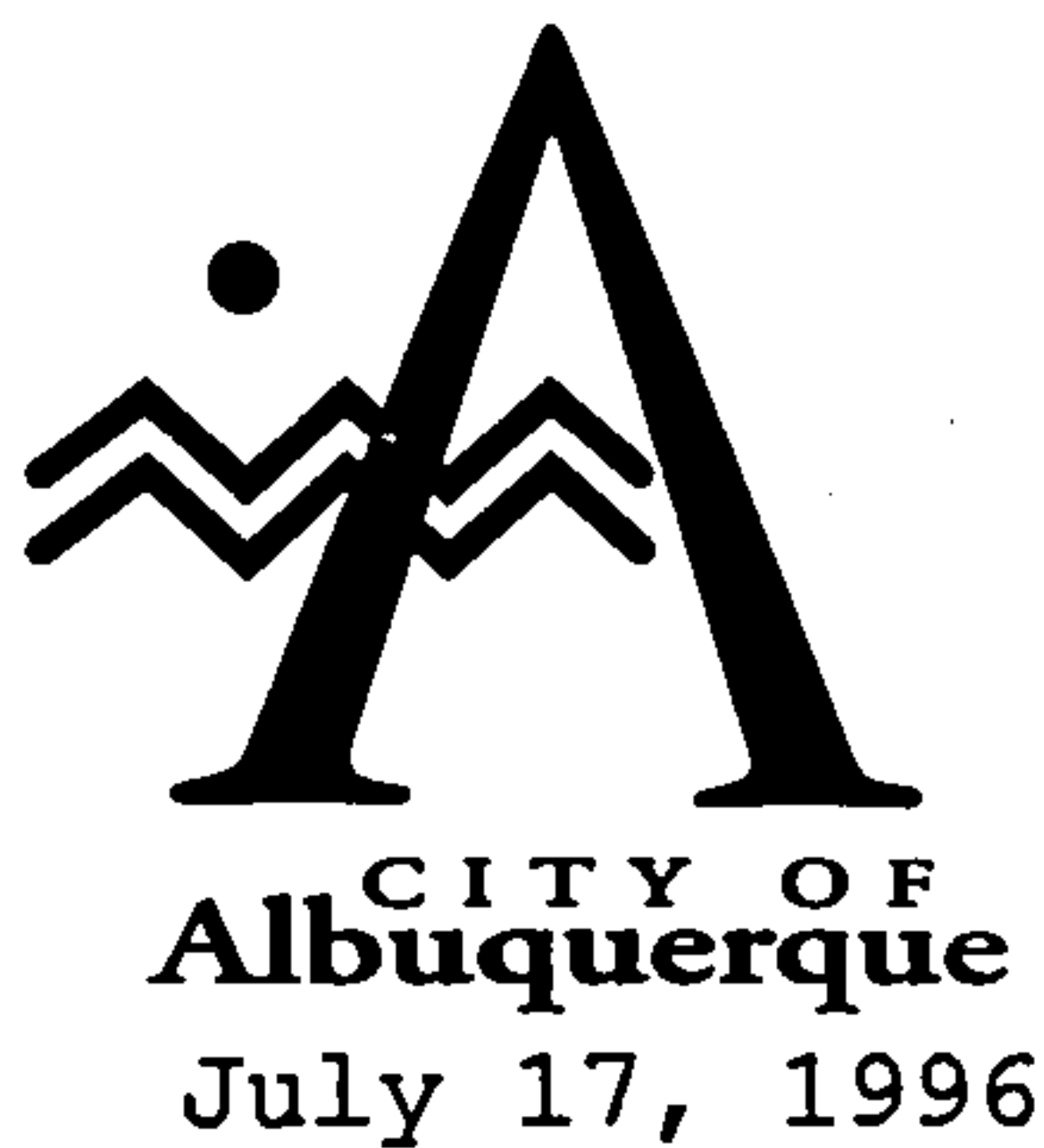
Legal Description
Vicinity Map
called Ken Zell
on 6-3-96
JPC

DATE SUBMITTED: MAY 30, 1996

BY: NORMAN ENGINEERING GROUP, INC. JUL - 1 1996

Resubmitted 6-28-96

HYDROLOGY DIV



Martin J. Chávez, Mayor

Ken Zell
Norman Engineering Group Inc.
7330 N. 16TH Street
Suite A314
Phoenix, AZ 85020

**RE: AUTOZONE ON SAN MATEO (G17-D27). GRADING PLAN FOR BUILDING PERMIT
APPROVAL. ENGINEER'S STAMP DATED 6-26-96.**

Dear Mr. Zell:

Based on the information provided on your June 28, 1996 submittal, the above referenced project is approved for Building Permit. Please make note of the following items the next time you submit to the Hydrology Division:

1. Whenever the proposed construction includes a building (new or an addition) a Building Permit is required. A Building Permit encompasses a Grading and Paving Permit and therefore, is the only approval you need.
2. The legal description must be on the plan sheet. I was unable to locate it.
3. Please identify the zone atlas designation for this site. Usually, this information is located just below the vicinity map. The zone atlas designation for this site is G-17.

Prior to Certificate of Occupancy, an Engineer's Certification is required. Instructions for an Engineer's Certification can be found in Chapter 22 of the City of Albuquerque Development Process Manual.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

