

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

September 8, 1987

George Rodriquez
Rodriquez & Associates
122 Washington, SE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR CHILDCO DAY CARE CENTER ADDITION
(G-17/D29) REVISION DATE OF AUGUST 28, 1987

Dear George:

Based on the information provided on your resubmittal of August 31, 1987, revisions as indicated are acceptable.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

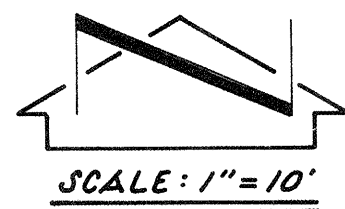
PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

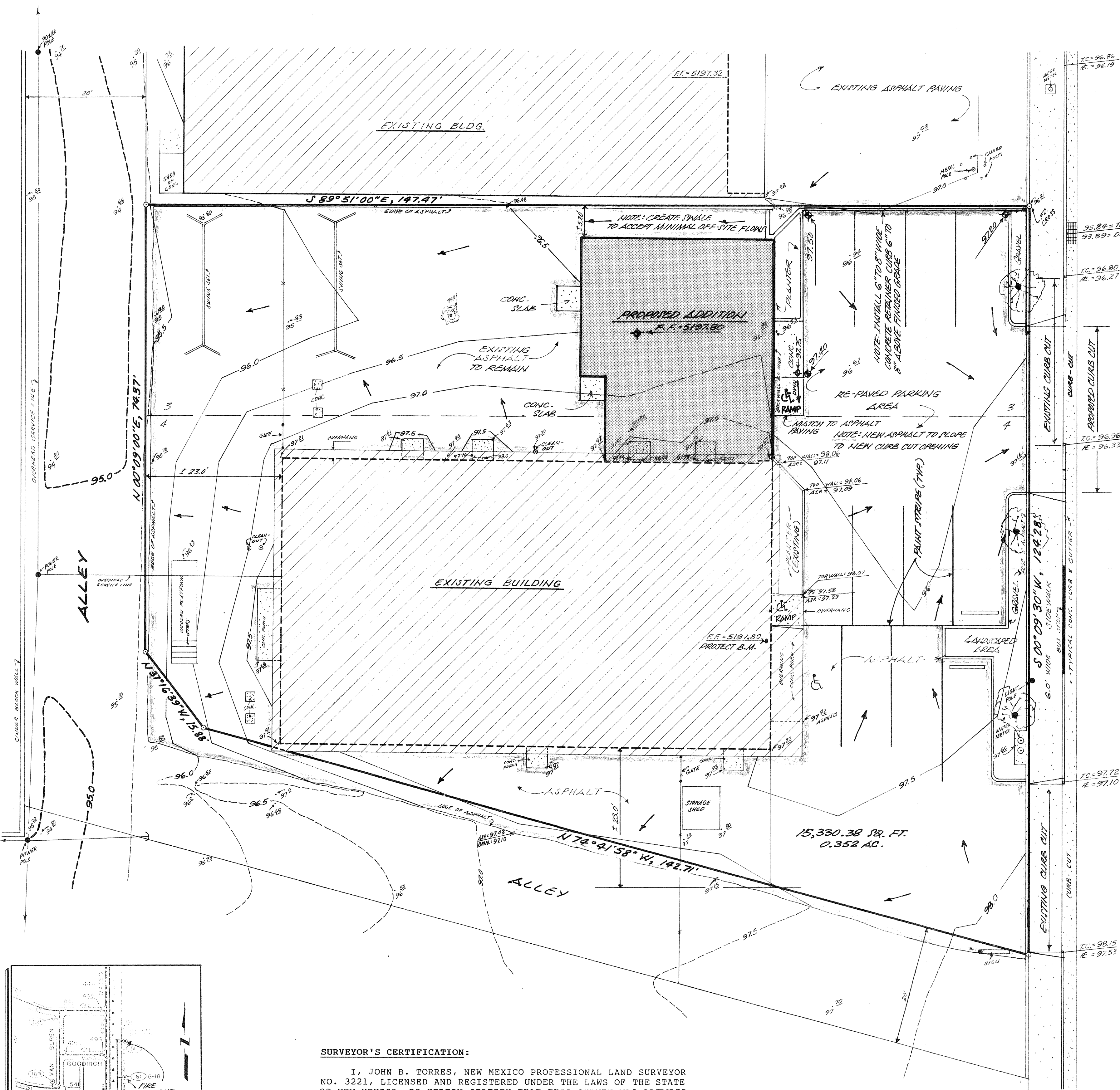
ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

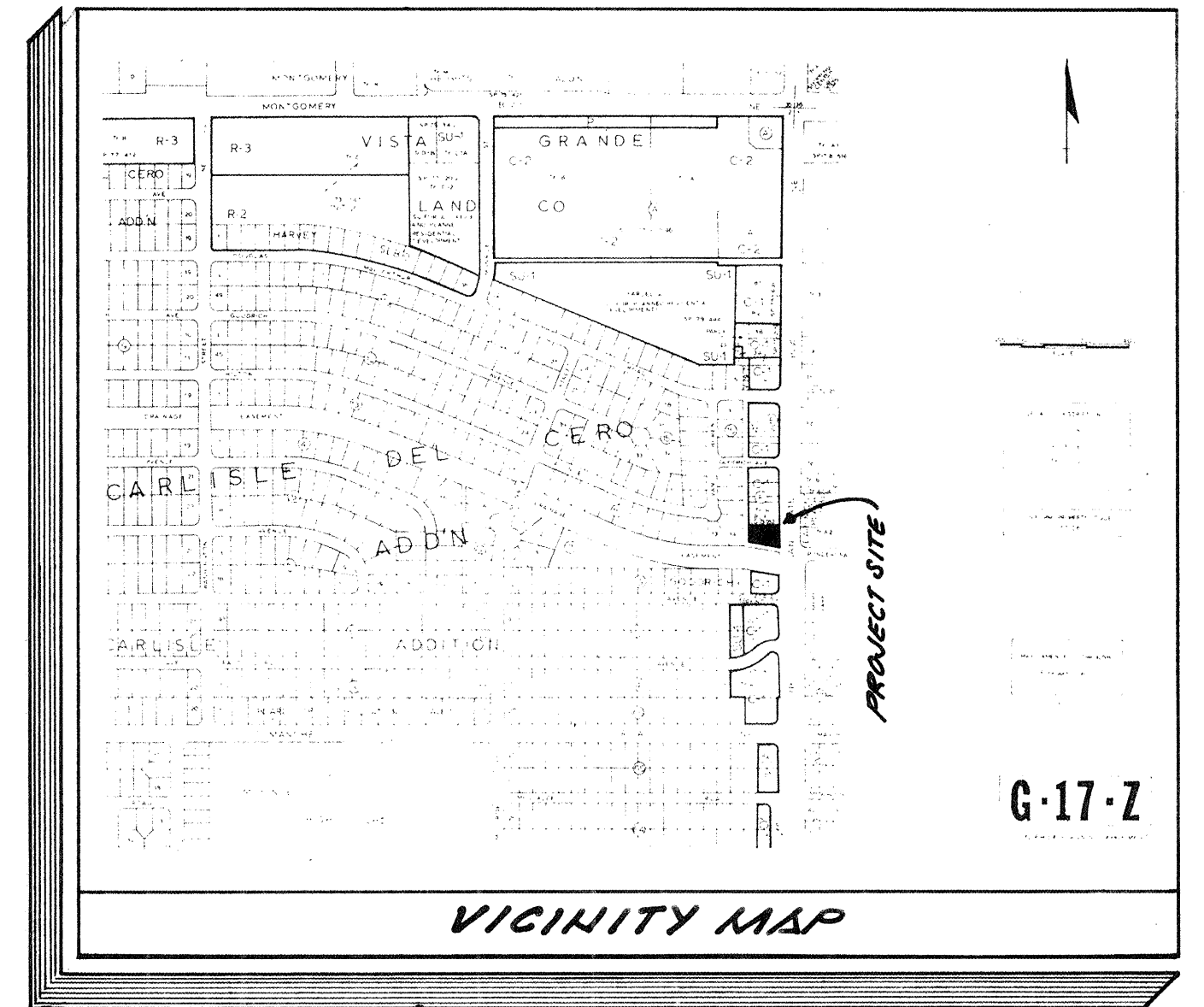


SCALE: 1"=10'



LEGEND:

- T.C. = 96.86 = TOP OF CURB ELEVATION
R.E. = 96.19 = CURB RUM LINE ELEVATION
--- = EXISTING OR PROPOSED CONCRETE
--- = EXISTING CONTOUR
--- = PROPOSED CONTOUR
--- = EXISTING FENCE
--- = PROPOSED FENCE ELEVATION
--- = PROPOSED LIMIT OF NEW PAVING
--- = TREE



G-17-Z

LEGAL DESCRIPTION:

NORTHERLY PORTION OF LOT ONE (1) IN BLOCK "F", AND PORTION OF VACATED SAN ANDRES AVENUE N.E., (VACATION ORDINANCE #1645) AND THE SOUTH TEN FEET (10') OF LOT FOUR (4), BLOCK "F", GOODRICH ADDITION, ALBUQUERQUE, NEW MEXICO.

DRAINAGE COMMENTS:

- 1.) EXISTING TOPOGRAPHIC CONDITIONS
- 2.) VICINITY MAP
- 3.) LEGAL DESCRIPTION OF THE SUBJECT PROPERTY
- 4.) THE LIMITS AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS

THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF SAN MATEO BLVD. N.E. BETWEEN MONTGOMERY BOULEVARD N.E. AND COMANCHE BOULEVARD N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE PROJECT SITE, (1.) DOES NOT LIE WITHIN A FLOOD PLAIN, (2.) DOES LIE ADJACENT TO AN ARTIFICIAL WATER COURSE, (3.) HAS NO DRAINAGE EASEMENTS ON THE PROPERTY., (4.) DOES NOT CONTRIBUTE TO DOWNSTREAM FLOODING.

THE SURFACE DRAINAGE RUNOFF'S OF THE EXISTING IMPROVEMENTS WHICH ARE APPROXIMATELY SIX (6) YEARS OLD ARE AS FOLLOWS:

- a.) THE SUBJECT PROJECT SITE IS 98% IMPERVIOUS IN THE PRESENT CONDITION.
- b.) THE PROPOSED BUILDING ADDITION WILL BE CONSTRUCTED OVER AN EXISTING ASPHALT SURFACE.
- c.) THE EXISTING GRADES OF THE ASPHALT PAVED PARKING LOT LOCATED AT THE FRONT OF THE BUILDING WILL BE RE-GRADED IN SUCH A MANNER AS TO RE-ROUTE IT'S RUN-OFF TOWARDS SAN MATEO BLVD. N.E.; ALL OTHER RUN-OFF'S WILL CONTINUE IN THEIR EXISTING AND HISTORICAL DIRECTIONS, (AS SHOWN ON THE PLAN HEREON).

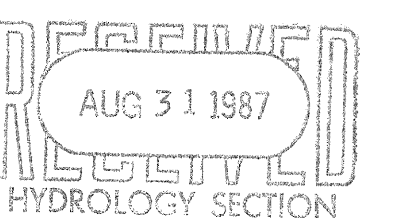
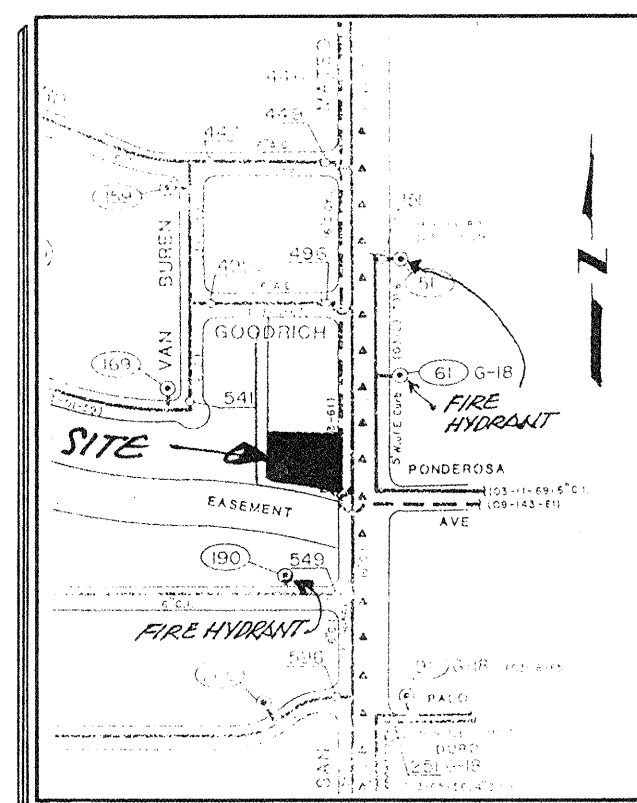
GENERAL NOTES:

- 1.) TOPOGRAPHY SURVEY PERFORMED BY "TRANSIT-STADIA" METHOD.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY OTHER THAN SHOWN ON THE MAP HEREON.
- 3.) ELEVATIONS AS SHOWN ARE REFERENCED TO CITY OF ALBUQUERQUE SURVEY SECTION DATA AND MEAN SEA LEVEL DATUM, MONUMENT STATION "NM 367-5", LOCATED IN THE CENTER OF THE MEDIAN OF SAN MATEO BLVD. N.E., 8' NORTH OF THE NOSE OF THE MEDIAN AT THE INTERSECTION OF SAN MATEO BLVD. N.E. AND CHEROKEE RD., N.E.; BRASS CAP ELEVATION = 5204.06. PROJECT BENCH MARK AS SHOWN.
- 4.) ADDRESS: CHILDSCO DAY CARE CENTER
3901 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
- 5.) NO PROPERTY CORNERS HAVE BEEN SET PER THIS SURVEY.
- 6.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATION:

I, JOHN B. TORRES, NEW MEXICO PROFESSIONAL LAND SURVEYOR NO. 3221, LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY SUPERVISION AND DIRECTIONS, AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY BELIEF AND KNOWLEDGE.

JOHN B. TORRES, N.M.R.P.L.S. NO. 3221



PLAN SHOWING
PROPOSED ADDITION TO
CHILDSCO DAY CARE CENTER
3901 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

(REVISED: AUGUST 28, 1987)