

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 3, 2020

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM 87124

Re: 4331 San Mateo
Request for Certificate of Occupancy - Temporary
Grading and Drainage Plan Stamp Date: 5/11/20
Certification dated: 12/1/20
Drainage File: G17D032

Dear Mr. Wooten,

Based on the Certification received 12/3/20 this certification is approved in support of Temporary Certificate of Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy all site work must be completed and cleaned up.

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Chipotle **Building Permit #:** _____ **Hydrology File #:** G17/D032
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot P-1, Block A, Vista Grande Addition
City Address: 4331 San Mateo Blvd NE, Albuquerque, NM 87110

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

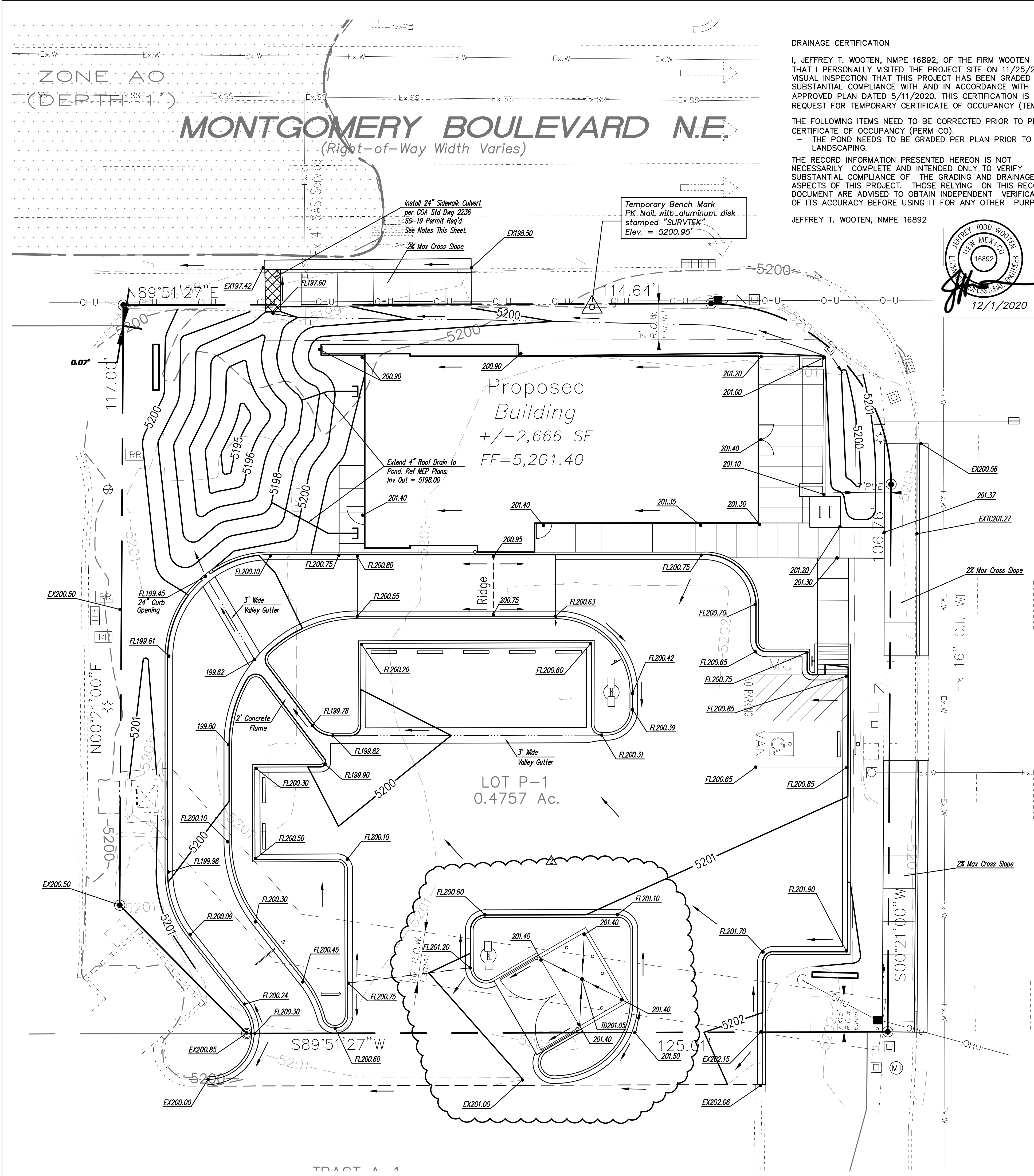
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: Dec 1, 2020 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



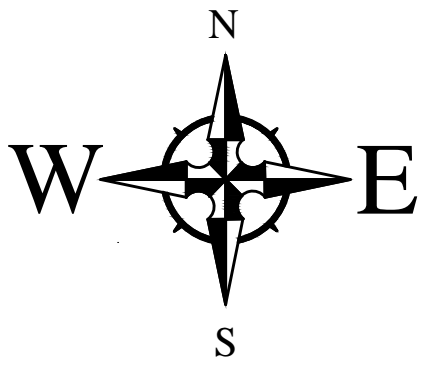
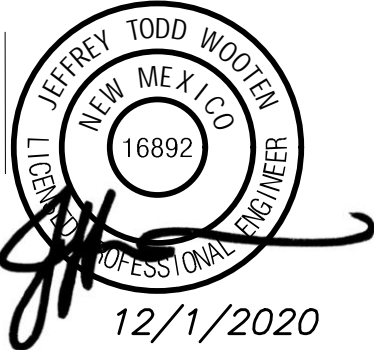
DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 11/25/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/11/2020. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMP CO).

THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY (PERM CO).
- THE POND NEEDS TO BE GRADED PER PLAN PRIOR TO INSTALLING LANDSCAPING.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



10' 5' 0 10'
SCALE: 1"=10'

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

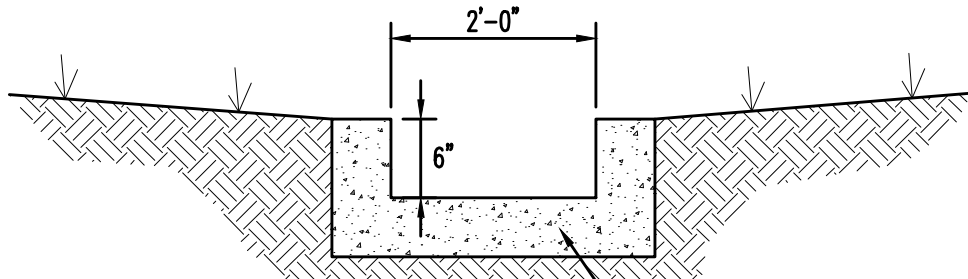
- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- FGH83.40 FINISHED GRADE AT TOP OF WALL
- FL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN

Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** (or (505) 260-1990) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Angie Armiro at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

CITY INSPECTOR APPROVAL

Signature _____ Date _____

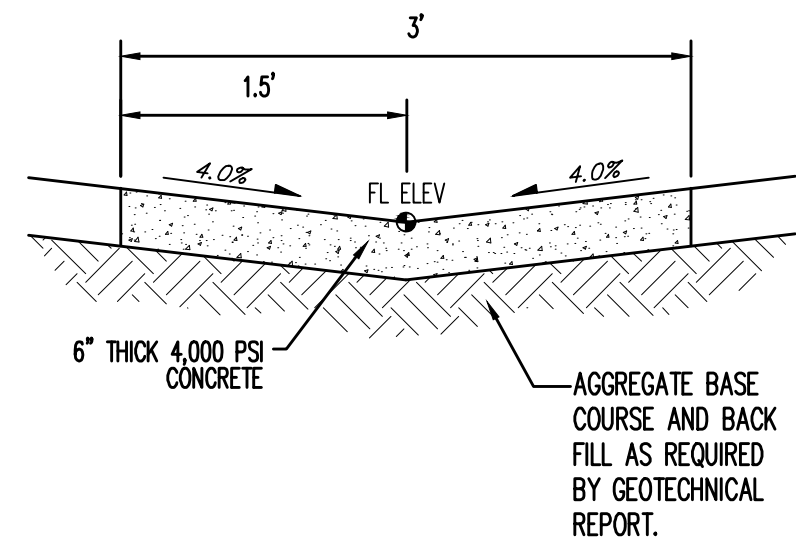


Backfill Compacted to 98%
Modified Proctor Density
per ASTM D-698

Min 3,500 psi Concrete;
6" Thickness

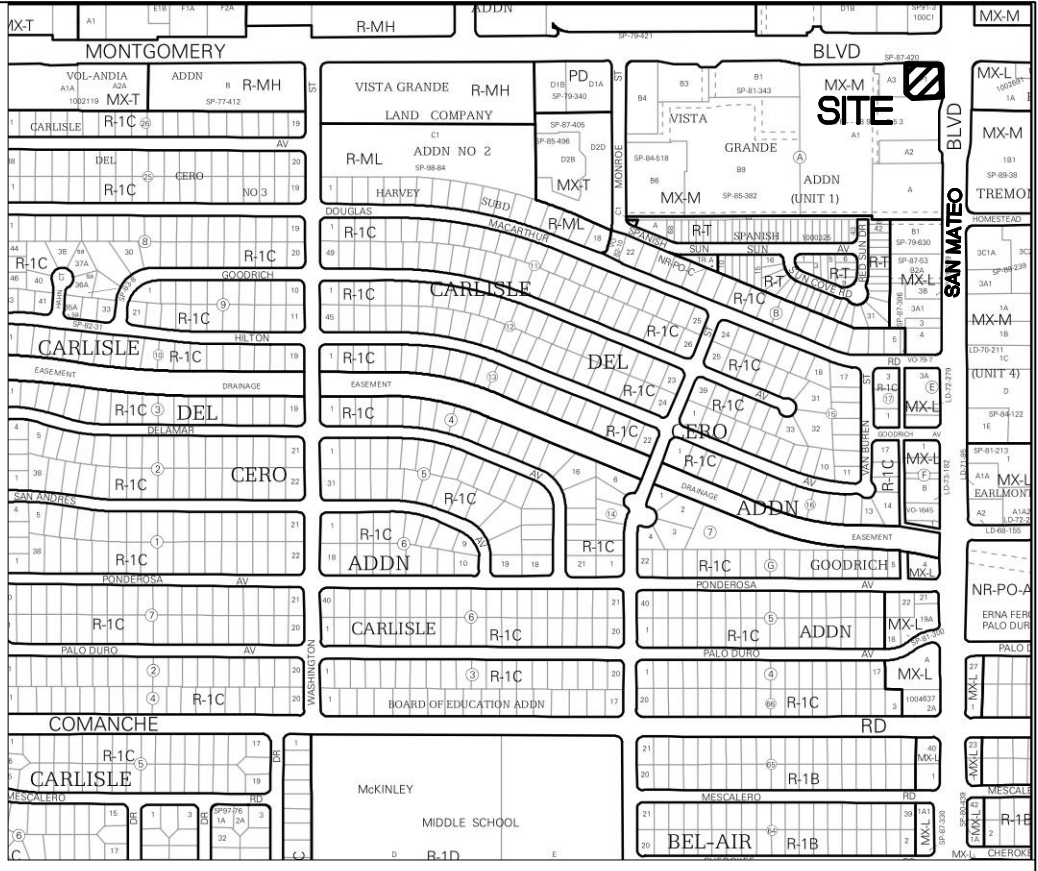
2' Concrete Flume Detail

NTS



Valley Gutter Detail

NTS



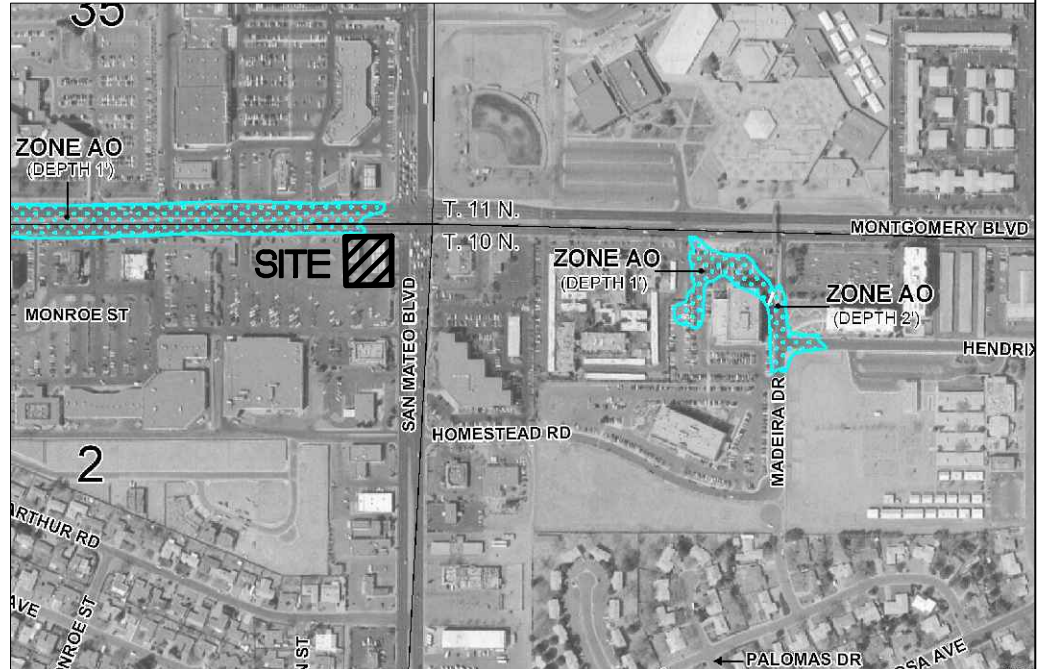
VICINITY MAP - Zone Map G-17-Z

Legal Description:

Lot lettered "P-1" in Block "A", Vista Grande Addition, to the City of Albuquerque, NM, situate in Section 2, Township 10 North, Range 3 East, NM Principal Meridian, Bernalillo County, NM.

BENCHMARK:

REF. TBM ALONG MONTGOMERY PER PLAN. PK NAIL WITH ALUMINUM DISK STAMPED "SURVTEK" ELEV = 5200.95.



FIRM MAP 35001C0139G

Per Firm Map 35001C0139G, dated September 26, 2008, the northern portion of the site along the Montgomery Blvd is located in Zone "A0" (Depth 1'). The remainder of the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

DUNGAN
DESIGN
GROUP

8826 Santa Fe Drive, Suite 30
Overland Park, KS 66212
913-341-2466



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San Mateo & Montgomery

Store No. 3578

4331 San Mateo Blvd NE
Albuquerque, NM 87110

Issue Record:

8/22/19 Permit Set

Revisions:

04/13/20 City Comments
05/11/20 Rev. Trash Enclosure

DDG Project No. 01501

Grading Plan

C
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