

CITY OF ALBUQUERQUE



December 24, 2020

Jeffrey T. Wooten, PE
Wooten Engineering
P.O. Box 15814
Rio Rancho, NM 87174

**Re: Chipotle
4331 San Mateo Blvd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-27-20 (G17D032)
Certification dated 12-17-20**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 12-22-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

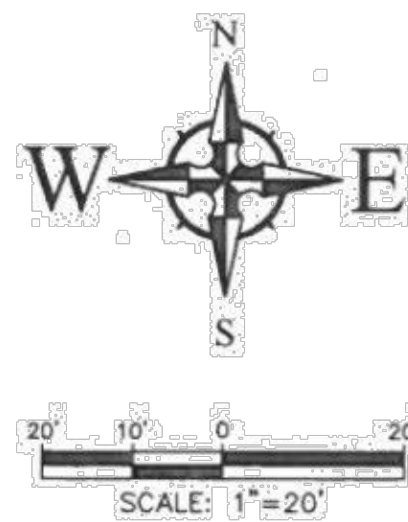
Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 5/27/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 12/16/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (FINAL C.O.).



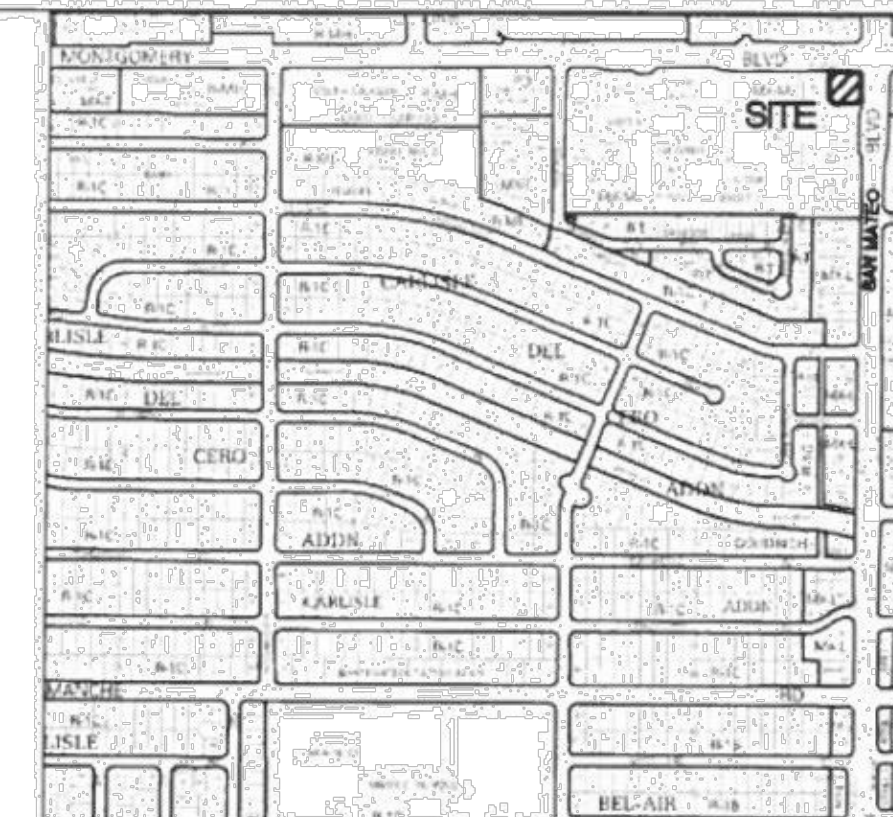
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892

PARKING CALCULATIONS			
BUILDING AREA:	OUTDOOR DINING	RESTAURANT	
AREA (SQUARE FEET)	500 SF	2,666 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
RESTAURANT (Located in PT Area)	5/1,000 SF	13 spaces	13 spaces
OUTDOOR SEATING (Located in PT Area)	N/A	N/A	N/A
TOTAL:		13 spaces	13 spaces
HANDICAP PARKING		REQUIRED	PROVIDED
MOTORCYCLE PARKING		1 spaces	1 spaces
BICYCLE PARKING		3 spaces	3 spaces

GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.476 Acres (20,720 SF)
Zoning: MX-M Mixed Use - Medium Density
Site is Located in the PT (Premium Transit) Area
Proposed Use: Restaurant W/Drive-Through & Outdoor Dining
Building Height: Maximum Allowed = 65'; Proposed 20'-0"
Building Setback: Per MX-M (PT) Zone
Front (Montgomery): 0' Minimum: 15'
Side (San Mateo): 0' Minimum: 15'
Side (West): 0' Minimum: N/A
Rear (South): 15' Minimum: N/A



VICINITY MAP - Zone Map Q-17-Z

Legal Description:
Lot lettered "P-1" in Block "A", Vista Grande Addition, to the City of Albuquerque, NM, situate in Section 2, Township 10 North, Range 3 East, NM Principal Meridian, Bernalillo County, NM.

ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER ALONG THE PROJECT FRONTAGE OF MONTGOMERY AND SAN MATEO MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

KEYED NOTES

1. PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. REF. ARCH-DETAILS FOR ENCLOSURE AND UTILITY PLAN FOR DRAINS. REF. SHEET C-102 FOR SOLID WASTE APPROVAL.
2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
3. INSTALL PARALLEL CURB RAMP PER MDOT STD DWGS 608-001, SHEETS 1-12. INSTALL DETECTABLE WARNING SURFACE AS REQUIRED. MATCH ADJACENT SIDEWALK WIDTH. DETAIL LOCATED ON SHEET C400.
4. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
5. ASPHALT PAVEMENT PER GEOTECHNICAL REPORT.
6. INSTALL 4" WIDE PAINT STRIPES (REFLECTIVE WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
7. PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. VAN SPACE AS NOTED.
8. INSTALL H/C SIGNAGE PER DETAIL, SHEET C400. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING. SIGNS TO BE MOUNTED ON BOTH SIDES OF POLE.
9. INSTALL STANDARD CURB/GUTTER (8" HIGH) PER COA STD DWG 2415A.
10. PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT TALL AND 2 INCHES THICK. MIN. TWO COATS.
11. INSTALL TWO (2) BIKE RACKS PER DETAIL ON SHEET C400.
12. MOTORCYCLE PARKING: 1 SPACE. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAILS ON SHEET C400. MOTORCYCLE PARKING SPACE SHALL BE 4' WIDE BY 8' LONG.
13. INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C400.
14. LANDSCAPED AREA. REF. LANDSCAPE PLAN.
15. INSTALL PAINTED TEXT AND SYMBOLS (REFLECTIVE WHITE - 2 COATS MIN). DIRECTIONAL ARROWS PER DETAIL, SHEET C400. TEXT SHALL BE LETTERS AT LEAST 2 FEET TALL AND 4 INCHES THICK.
16. INSTALL 6" BOLLARD PER DETAIL SHEET C400.
17. DETECTOR LOOP, CHIPOTLE DIRECTION SIGNAGE, CLEARANCE BAR, AND PAVEMENT STRIPING PER CHIPOTLE STANDARDS. REF. ARCH. SITE PLAN.
18. OUTDOOR DINING PATIO AREA.
19. 3" WIDE VALLEY GUTTER. REF. GRADING PLAN SHEET C200.
20. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND 12' BEYOND SIDEWALK EDGE.
21. CONCRETE PAVEMENT PER GEOTECHNICAL REPORT.
22. INSTALL NEW LIGHT POLE PER MEP PLANS.
23. 2" WIDE CONCRETE FLUME. REF. GRADING PLAN SHEET C200.
24. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6". (REFLECTIVE WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
25. EXISTING ELECTRICAL TRANSFORMER OR SWITCHGEAR TO REMAIN. CONTRACTOR TO COORDINATE WITH PNM AND ENSURE ELECTRICAL SERVICE REMAINS IN SERVICE FOR THE JACK IN THE BOX PROPERTY TO THE WEST.
26. EXISTING BUS STOP BENCHES, SIGN, & TRASH CAN TO REMAIN.
27. EXISTING PYLON SIGNS (2) TO REMAIN.
28. INSTALL 'ONE WAY' AND 'DO NOT ENTER' SIGN. REF. SIGN BASE DETAIL ON SHEET C400.

TRAFFIC CIRCULATION LAYOUT APPROVED

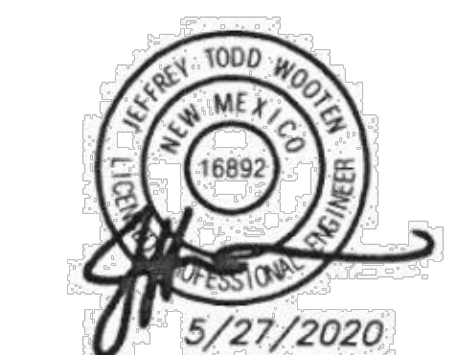
6/3/20

Signed

Date

DUNGAN
DESIGN
GROUP

8826 Santa Fe Drive, Suite 30
Overland Park, KS 66212
913-341-2466



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This drawing is an instrument of service and as such, remains the property of Chipotle Mexican Grill. In no event shall the use of this document be limited and can be extended only by written agreement with Chipotle Mexican Grill Inc.



CHIPOTLE MEXICAN GRILL, INC.
PO BOX 182566
COLUMBUS, OH 43218-2566
(614) 318-2400
www.chipotle.com

San Mateo & Montgomery

Store No. 3578

4331 San Mateo Blvd NE
Albuquerque, NM 87110

Issue Record:
8/22/19 Permit Set

Revisions:
04/13/20 City Comments
05/27/20 Rev Trash Enclosure

DDG Project No. 01501

Site Plan

C
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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Chipotle **Building Permit #:** _____ **Hydrology File #:** G17/D032
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot P-1, Block A, Vista Grande Addition
City Address: 4331 San Mateo Blvd NE, Albuquerque, NM 87110

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: Dec 22, 2020 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____