

# CITY OF ALBUQUERQUE



October 23, 2019

Jeffret T. Wooten  
Wooten Engineering  
1005 21<sup>st</sup> SE, Suite 13  
Rio Rancho, NM 87124

**Re: Chipotle**  
**4331 San Mateo Blvd NE Albuquerque NM 87110**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 10-16-2019 (G17D032)

Dear Mr./Ms.,

Based upon the information provided in your submittal received 10-18-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; **provide a copy of refuse approval.**
2. Show the clear sight triangle and add the following note to the plan:  
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
3. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

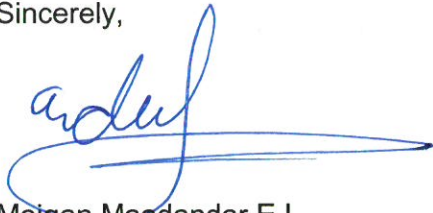
PO Box 1293

Albuquerque

NM 87103

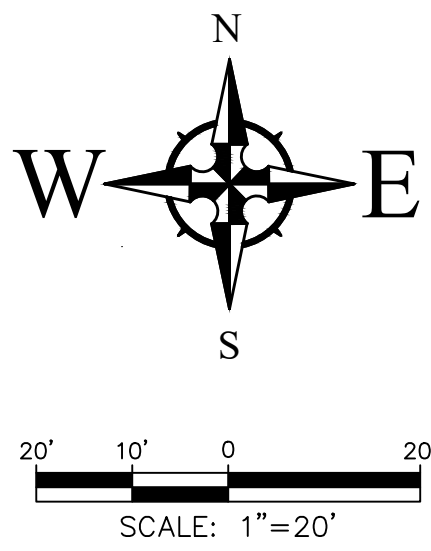
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mojgan Maadandar', with a long horizontal flourish extending to the right.

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

\MM via: email  
C: CO Clerk, File



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

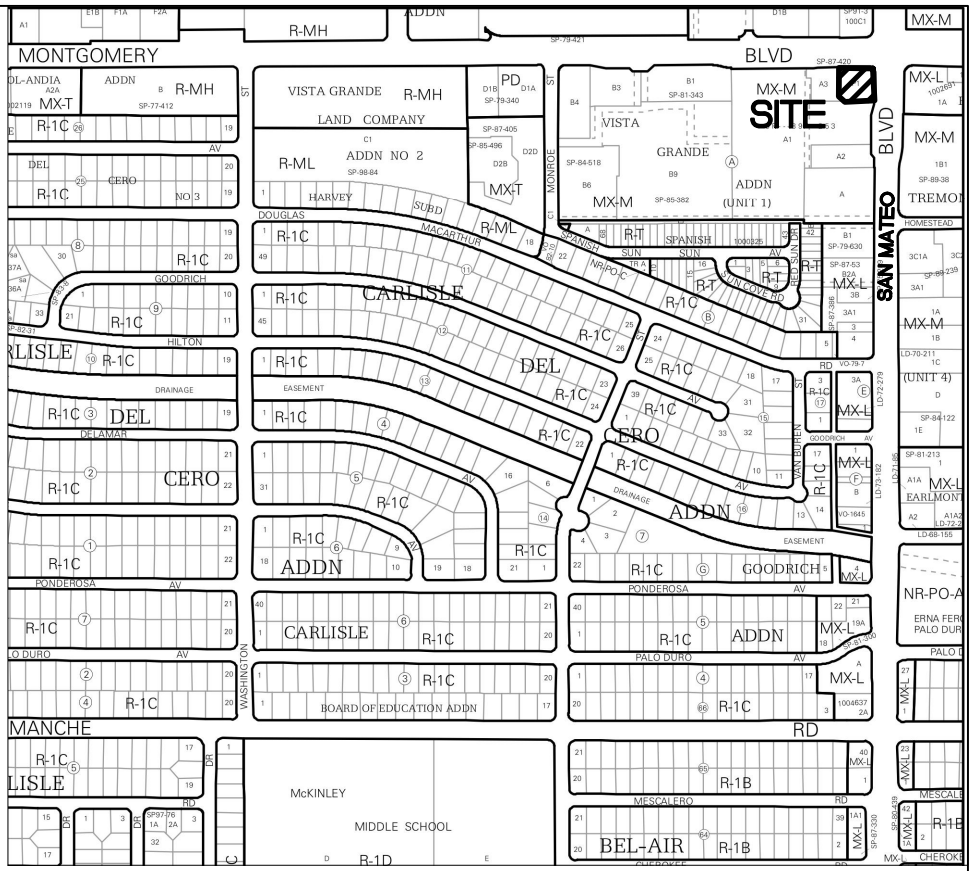
PARKING CALCULATIONS			
BUILDING AREA:	OUTDOOR DINING	RESTAURANT	
AREA (SQUARE FEET)	500 SF	2,327 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
RESTAURANT (Located in PT Area)	5/1,000 SF	12 spaces	12 spaces
OUTDOOR SEATING (Located in PT Area)	N/A	N/A	N/A
TOTAL:		12 spaces	12 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		1 spaces	1 spaces
MOTORCYCLE PARKING		1 spaces	1 spaces
BICYCLE PARKING		3 spaces	3 spaces

GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.476 Acres (20,720 SF)  
Zoning: MX-M Mixed Use - Medium Density  
Site is Located in the PT (Premium Transit) Area  
Restaurant W/Drive-Through & Outdoor Dining  
Maximum Allowed = 65'; Proposed 20'-0"  
Per MX-M (PT) Zone

Proposed Use:  
Building Height:  
Building Setback:

Minimum: Maximum:  
Front (Montgomery): 0' 15'  
Side (San Mateo): 0' 15'  
Side (West): 0' N/A  
Rear (South): 15' N/A



VICINITY MAP - Zone Map G-17-Z

Legal Description:

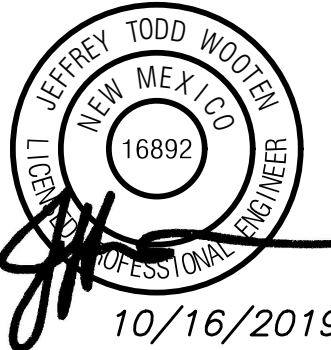
Lot lettered "P-1" in Block "A", Vista Grande Addition, to the City of Albuquerque, NM, situate in Section 2, Township 10 North, Range 3 East, NM Principal Meridian, Bernalillo County, NM.

KEYED NOTES

- PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. REF. ARCH-DETAILS FOR ENCLOSURE AND UTILITY PLAN FOR DRAINS.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. INSTALL DETECTABLE WARNING SURFACE AS REQUIRED. MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- ASPHALT PAVEMENT PER GEOTECHNICAL REPORT.
- INSTALL 4" WIDE PAINT STRIPES (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS. REF. ARCH-DETAILS FOR STANDARD SPACING.
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
- INSTALL H/C SIGNAGE PER DETAIL, SHEET C400. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." SIGNS TO BE MOUNTED ON BOTH SIDES OF POLE.
- INSTALL STANDARD CURB/GUTTER (8" HIGH) PER COA STD DWG 2415A.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT TALL AND 2 INCHES THICK. MIN. TWO COATS.
- INSTALL TWO (2) BIKE RACKS PER DETAIL ON SHEET C400.
- MOTORCYCLE PARKING; 1 SPACE. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAILS ON SHEET C400. MOTORCYCLE PARKING SPACE SHALL BE 4' WIDE BY 8' LONG.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C400.
- LANDSCAPED AREA. REF. LANDSCAPE PLAN.
- INSTALL PAINTED TEXT AND SYMBOLS (2 COATS MIN). DIRECTIONAL ARROWS AND STOP BAR PER DETAILS, SHEET C400. TEXT SHALL BE LETTERS AT LEAST 2 FEET TALL AND 4 INCHES THICK.
- INSTALL 6" BOLLARD PER DETAIL SHEET C400.
- CHIPOTLE DIRECTION SIGNAGE AND CLEARANCE BAR PER CHIPOTLE STANDARDS. REF. ARCH. SITE PLAN.
- OUTDOOR DINING PATIO AREA. REF. ARCH. DETAILS.
- 3' WIDE VALLEY GUTTER. REF. GRADING PLAN SHEET C200.
- INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 'STOP' SIGN PER MUTCD STD R1-1 (24"X 24"). SIGN POLE AND BASE PER DETAIL, SHEET C400.
- INSTALL NEW LIGHT POLE PER MEP PLANS.
- 2' WIDE CONCRETE FLUME. REF. GRADING PLAN SHEET C200.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- EXISTING ELECTRICAL TRANSFORMER OR SWITCHGEAR. CONTRACTOR TO COORDINATE NEW LOCATION WITH PNM AND ENSURE ELECTRICAL SERVICE REMAINS IN SERVICE FOR THE JACK IN THE BOX PROPERTY TO THE WEST
- RELOCATE BUS STOP AREA INCLUDING TWO BENCHES, TRASH CAN AND SIGN. COORDINATE WITH CITY OF ALBUQUERQUE TRANSIT DEPARTMENT.
- EXISTING PYLON SIGNS (2) TO REMAIN.

DUNGAN  
DESIGN  
GROUP

8826 SANTA FE DRIVE, SUITE 30  
OVERLAND PARK, KS 66212  
913-341-2466



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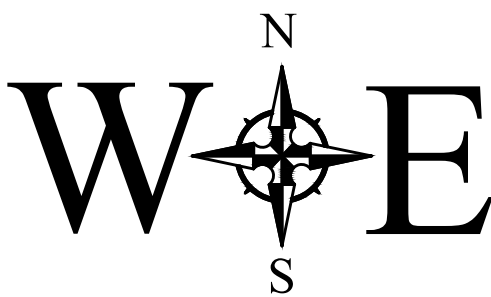
4331 San Mateo Blvd NE  
Albuquerque, NM 87110

Issue Record:  
10/16/19 Permit Set

Revisions:

DDG Project No. 01501

Site Plan



Wooten Engineering  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

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