



March 19, 1998

Fred Arfman, P.E.
Isaacson & Arfman
128 Monroe Street NE
Albuquerque, NM 87108

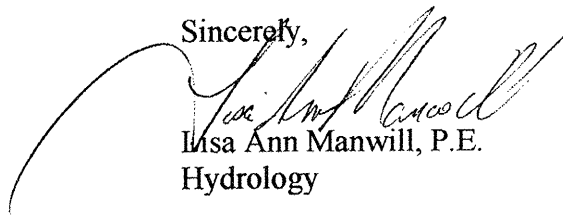
**RE: PIXIE INC. WAREHOUSE ADDITION (G17-D35). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. ENGINEER'S
CERTIFICATION DATED MARCH 9, 1998.**

Dear Mr. Arfman:

Based on the information provided on your March 10, 1998 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

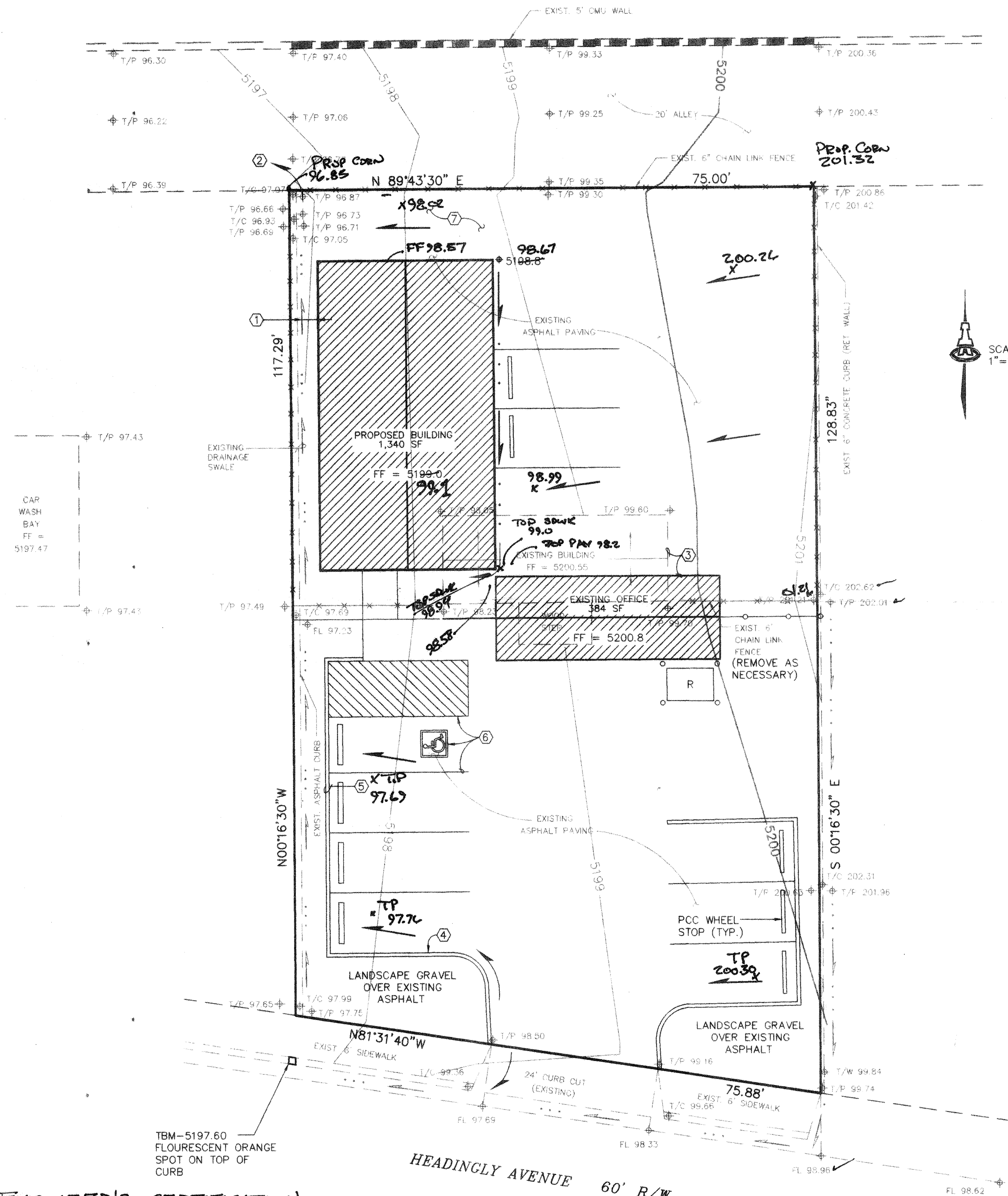


Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

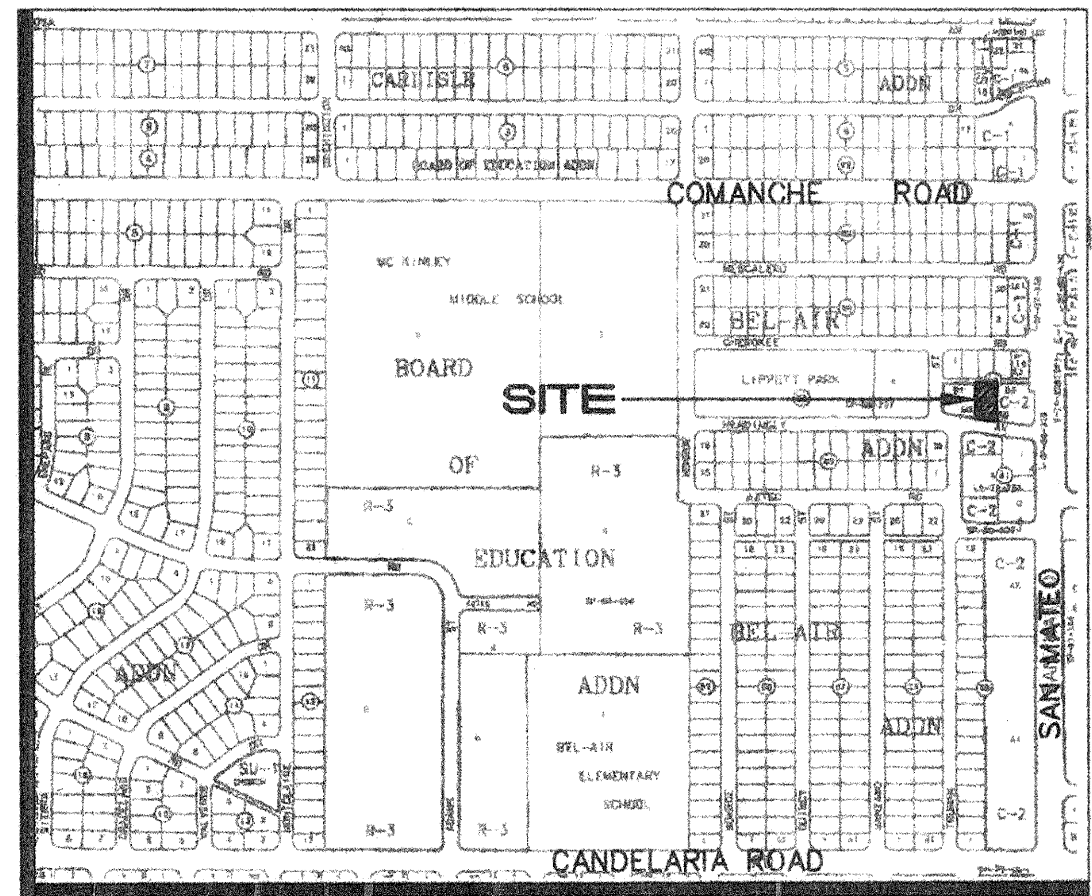
Good for You, Albuquerque!



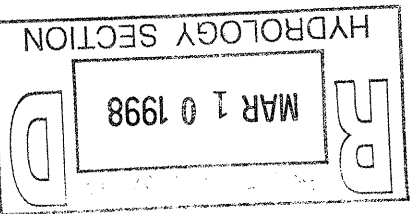


KEYED CONSTRUCTION NOTES

1. PROVIDE FOR DEEPEN STEM AROUND BUILDING PERIMETER AS NECESSARY TO PROVIDE THE REQUIRED DEPTH OF FOOTING. REPLACE ASPHALT PAVING AROUND BUILDING WITH A DRAINAGE SLOPE AWAY FROM THE FOUNDATION.
2. FIELD MODIFY EXISTING PAVING AND ASPHALT CURB SUCH THAT STORM WATERS DISCHARGE ONTO THE SURFACE OF THE PUBLIC ALLEY.
3. RELOCATE EXISTING PORTABLE BUILDING AS SHOWN ON THE SITE PLAN.
4. R.R. TIES LANDSCAPE BARRIERS.
5. PROVIDE 2" GAPS IN R.R. TIES (IF USED) TO ALLOW FOR OVERLAND STORM WATERS TO REACH THE EXISTING ASPHALT RUNDOWN.
6. SEE ARCHITECTURAL SITE PLAN FOR PAVEMENT MARKINGS.
7. FIELD CONSTRUCT ASPHALTIC RAMP TO MATCH WITH DOUBLE-WIDE DOOR.



VICINITY MAP



GENERAL NOTES

LEGAL DESCRIPTION: TRACT B-2, BLOCK 62, BEL-AIR SUBDIVISION, RECORDED JUNE 27, 1983, IN VOL. C21, FOLIO 123.

ENGINEER: ISAACSON & ARFMAN, P.A.
128 MONROE STREET, NE
ALBUQUERQUE, NM 87108
(505)268-8858
ATTN: FRED C. ARFMAN, P.E.

SURVEYOR: PROVIDED BY OWNER

BENCHMARK: ACS "STA NM367-6" SITUATED IN THE NORTH MEDIAN NOSE AT SAN MATEO BOULEVARD AND ARVILLA AVENUE N.E.
ELEVATION = 5207.26

I.B.M.: SCRIBE AND FLUORESCENT ORANGE SPOT ON TOP OF CURB ALONG THE NORTH CURB OF HEADINGLY AVENUE AND THE PROJECTION OF THE WESTERLY PROPERTY LINE OF THE SUBJECT TRACT.
ELEVATION = 5197.60

FLOOD HAZARD STATEMENT: AS DESIGNATED ON PANEL 352 OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, EFFECTIVE DATE SEPTEMBER 20, 1996, NO PART OF THIS SITE NOR THE ADJACENT RIGHT-OF-WAY IS WITHIN A FLOOD HAZARD AREA.

HYDROLOGY: OFFSITE OVERLAND STORM WATER GENERATED ON THE PROPERTY TO THE EAST ARE DEFLECTED BY A P.C.C. CURB ALONG THE COMMON PROPERTY LINE AND ARE ALLOWED TO DISCHARGE ONTO HEADINGLY AVENUE.

EXISTING CONDITIONS: THE SUBJECT PROPERTY IS AN EXISTING COMMERCIAL ESTABLISHMENT WITH 100% IMPERVIOUS PAVED ASPHALT AND PORTABLE BUILDING SITUATED APPROXIMATELY IN THE MIDDLE OF THE SITE. STORM WATERS ARE ROUTED TO THE PUBLIC ALLEY BORDERING THE NORTHERLY PROPERTY LINE.

PRECIPITATION ZONE: 2
LAND TREATMENT "D"
AREA: 9,230 SQ. FT., 0.2119 AC.
WT. E = (0.2119)(2.12) = 2.12 INCHES
0.2119
TOTAL Qp = (4.70 CFS/AC)(0.2119 AC) = 1.0 CFS
VOL (360) = (2.12 IN)(0.2119)/12 = 0.0374 AC-FT
= 1.631 CU FT

PROPOSED CONDITIONS: THE PORTABLE BUILDING IS SCHEDULED FOR RELOCATION AND A NEW WAREHOUSE SHALL BE SITUATED IN THE NORTHWEST CORNER OF THE SITE. THE NEW IMPROVEMENTS SHALL REPLACE THE EXISTING ASPHALT PAVING OR BE PLACED OVER THE ASPHALT. THEREFORE, THE EXISTING HYDROLOGY SHALL EQUAL THE EXISTING RUNOFF RATES AND VOLUMES COMPUTED ABOVE.

LEGEND

- 5200 EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SPOT ELEVATION
- EXISTING DRAINAGE SWALE
- PROPOSED DRAINAGE SWALE
- FLOW DIRECTIONAL ARROW
- PROPOSED SPOT ELEVATION

ENGINEER'S CERTIFICATION

I, FRED C. ARFMAN, P.E. LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THOSE GRADES AND IMPROVEMENTS SHOWN HEREON AS FIELD VERIFIED BY WAY JOHN SURVEYING INC., P.S. 6540, ON MARCH 6, 1998 IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT", SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978).

NO PERIMETER/RETAINING WALLS WERE REQUIRED BY THE APPROVED FINAL GRADING PLAN FOR PIXIE, INC. (G-17/D35) DATED 09-23-97 AND NONE WERE CONSTRUCTED AS PART OF PIXIE, INC., 15815 HEADINGLY AVE. N.E.

FRED C. ARFMAN
7322
MARCH 9, 1998

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
975GRD.DWGems 09/23/97

PIXIE INC.
5115 HEADINGLY AVENUE, NE
ALBUQUERQUE, NEW MEXICO

TITLE: GRADING & DRAINAGE PLAN

Project No.	Zone Map No.	Sheet	Of
975GRD.DWGems	G-17	1	1