CONSTRUCTION LIMITS (CROSS HATCHED AREA)
CONTRACTOR TO PROVIDE A LUMP SUM BID FOR ALL WORK
IDENTIFIED ON THESE PLANS. THE CONTRACTOR IS TO ALSO
INCLUDE AN ADDITIVE ALTERNATE FOR THE TWO CONCRETE
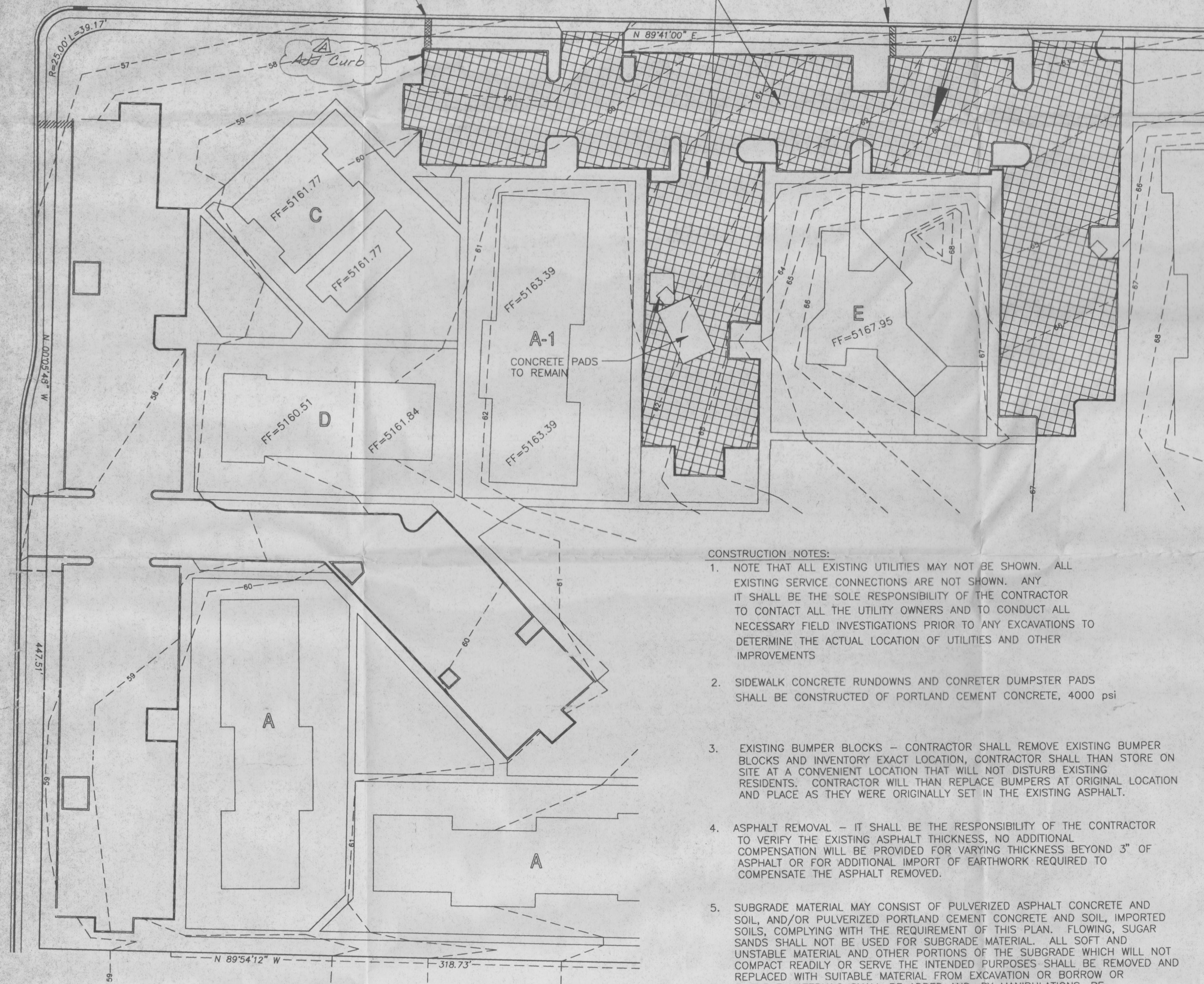DUMPSTER PADS IN FRONT OF THE DUMPSTERS

Add 1-12" Wide Sidewalk
Culvert Per City Dwg 2236
With 12" Wide Concrete
Rundown, 6' Steel Plate Length
Add 2' Curb At Parking Lot

EXISTING ASPHALT TO BE
REMOVED AND REPLACED

BUILD 1-12" WIDE
SIDEWALK CULVERT PER
CITY DWG. 2236 WITH
12" WIDE CONCRETE
RUNDOWN.

MONTGOMERY BLVD.

N 89'41'00" E

Add' Curb

C   FF=5161.77
    FF=5161.77

D   FF=5160.51   FF=5161.84

A-1   FF=5163.39
CONCRETE PADS
TO REMAIN
FF=5163.39

E   FF=5167.95

WASHINGTON STREET

A

A

N 89'54'12" W   318.73'

Site plan legend / north area labels

CONSTRUCTION NOTES:

1. NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS

2. SIDEWALK CONCRETE RUNDOWNS AND CONRETER DUMPSTER PADS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, 4000 psi

3. EXISTING BUMPER BLOCKS – CONTRACTOR SHALL REMOVE EXISTING BUMPER BLOCKS AND INVENTORY EXACT LOCATION, CONTRACTOR SHALL THAN STORE ON SITE AT A CONVENIENT LOCATION THAT WILL NOT DISTURB EXISTING RESIDENTS. CONTRACTOR WILL THAN REPLACE BUMPERS AT ORIGINAL LOCATION AND PLACE AS THEY WERE ORIGINALLY SET IN THE EXISTING ASPHALT.

4. ASPHALT REMOVAL – IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTING ASPHALT THICKNESS, NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR VARYING THICKNESS BEYOND 3" OF ASPHALT OR FOR ADDITIONAL IMPORT OF EARTHWORK REQUIRED TO COMPENSATE THE ASPHALT REMOVED.

5. SUBGRADE MATERIAL MAY CONSIST OF PULVERIZED ASPHALT CONCRETE AND SOIL, AND/OR PULVERIZED PORTLAND CEMENT CONCRETE AND SOIL, IMPORTED SOILS, COMPLYING WITH THE REQUIREMENT OF THIS PLAN. FLOWING, SUGAR SANDS SHALL NOT BE USED FOR SUBGRADE MATERIAL. ALL SOFT AND UNSTABLE MATERIAL AND OTHER PORTIONS OF THE SUBGRADE WHICH WILL NOT COMPACT READILY OR SERVE THE INTENDED PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL FROM EXCAVATION OR BORROW OR SUITABLE MATERIALS SHALL BE ADDED AND, BY MANIPULATIONS, BE INCORPORATED INTO THE SUBGRADE TO PRODUCE A MATERIAL MEETING SUBGRADE REQUIREMENTS. THE SUBGRADE PREPARATION SHALL EXTEND THE FULL WIDTH OF THE PARKING LOT. SUBGRADE AREA SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95 PERCENT OF MAXIMUM DRY DENSITY IN A MOISTURE RANGE OF OPTIMUM MOISTURE +/-2% AS DETERMINED IN ACCORDANCE WITH ASTM D1557, UNLESS THE MATERIAL CONTAINS 35% OR MORE MATERIAL FINER THAN THE NO.200 SIEVE. IF THE SUBGRADE MATERIAL HAS 35% OR MORE MATERIAL FINER THAN THE NO.200 SIEVE, THE SUBGRADE SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95% OF MAXIMUM DRY DENSITY IN A MOISTURE CONTENT RANGE OF AT LEAST OPTIMUM MOISTURE TO OPTIMUM MOISTURE +4%, AS DETERMINED IN ACCORDANCE WITH ASTM D698. IF THE CONTRACTOR USES ONSITE SOILS THEN A SAMPLE OF EACH TYPE OF SOIL ENCOUNTERED SHALL BE CLASSIFIED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D2487, THE MOISTURE DENSITY RELATIONSHIP DETERMINED IN ACCORDANCE EITHER ASTM D698 OR D1557, WHICHEVER IS APPLICABLE AND AN ESTIMATED RESISTANCE R-VALUE ASSIGNED BASED ON PLASTICITY INDEX, PI, AND PERCENT MATERIAL PASSING THE NO.200 SIEVE. COMPACTION TESTS SHALL BE TAKEN BY THE OWNER AND PAID FOR BY THE OWNER. RETEST WILL REQUIRE THAT THE CONTRACTOR REIMBURSE THE OWNER.

6. ASPHALT PAVING – THE ASPHALT MIX SHALL COMPLY WITH THE LATEST CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR ASPHALT CONCRETE MIX USING A TYPE "C" GRADATION. THE CONTRACTOR SHALL SUBMIT THE JOB MIX TO THE ENGINEER FOR APPROVAL PRIOR TO LAYING THE ASPHALT PAVING. THE ASPHALT PLACEMENT SHALL COMPLY WITH SECTION 336, CITY STANDARD SPECIFICATIONS

   CONTRACTOR SHALL ASSURE THE ASPHALT PAVING IS LAID TO PROVIDE APPROPRIATE SLOPE THAT CAN BE MAINTAINED FROM CURB TO CURB, THE TOP OF ASPHALT SHALL BE SET AT 6" BELOW THE TOP OF THE EXISTING CONCRETE CURB THROUGH OUT THE PARKING LOT. CONTRACTOR SHALL ALSO HAVE THE TOP OF ASPHALT MATCH THE EXISTING CONCRETE SLABS THAT ARE IN PLACE. CONTRACTOR SHALL SET BLUE TOPS BETWEEN CURBS TO ASSURE THAT THERE ARE NO FLAT SPOTS BETWEEN CURBS.

7. STRIPING/PAINTING – CONTRACTOR SHALL PROVIDE 4" WIDE WHITE STRIPES FOR 9 FOOT SPACES FOR VEHICLE PARKING WHEN PAVEMENT IS SET UP AND COMPLETE. CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF THESE SPACES TO ACCOMMODATE THE MOST EFFICIENT USE OF THE PARKING LOT.

   CONTRACTOR SHALL ALSO PAINT ONE HANDICAP SPOT WITH APPROPRIATE DECAL AND CROSS HATCHING WITH BLUE PAINT THAT MEETS THE MANUAL OF UNIFORM TRAFFIC CODE DEVICES. THE LOCATION WILL BE DETERMINED BY THE OWNER.

   CONTRACTOR SHALL ALSO PAINT THE ENTIRE SPEED BUMPS YELLOW FOR VEHICLE CAUTION.

   ALL TRAFFIC PAINT SHALL CONFORM TO THE REQUIREMENTS OF THE NEW MEXICO STATE HIGHWAY DEPARTMENT.

8. SPEED BUMPS – THE CONTRACTOR SHALL INVENTORY THE LOCATION OF THE EXISTING SPEED BUMPS, WHEN ASPHALT PAVING IS COMPLETE, THE CONTRACTOR SHALL CONSTRUCT 12" WIDE ASPHALT SPEED BUMPS AT THE ORIGINAL LOCATIONS. CONTRACTOR SHALL ASSURE THAT THE BUMP WILL NOT INHIBIT DRAINAGE FROM FLOWING OUT OF THE PARKING LOT OR PONDING OF WATER.

9. MISCELLANEOUS – IT IS THE OWNERS INTENT TO HAVE ALL RESIDENT VEHICLES TO RELOCATE TO OTHER LOTS DURING CONSTRUCTION. SINCE THIS LOT SERVES THE MAIN OFFICE THERE WILL PROBABLY BE A NEED TO ALLOW VISITORS TO ENTER THE LOT, ALSO THERE MAY BE A NEED FOR TENANTS RELOCATION TO GET INTO THIS LOT. SINCE THERE ARE TWO ACCESSES INTO THIS LOT IT IS REQUESTED THAT THE CONTRACTOR ALLOW ONE TEMPORARY ACCESS TO THIS SITE AT ALL TIMES.

10. SIDEWALK CULVERT – THE CONTRACTOR SHALL SECURE A SPECIAL ORDER #19 (S.O. #19) FROM THE CITY OF ALBUQUERQUE PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY ON MONTGOMERY BOULEVARD

11. CONCRETE DUMPSTER PAD (ADDITIVE ALTERNATE) – THE OWNER REQUEST THAT THE CONTRACTOR PROVIDE A ADDITIVE ALTERNATE PRICE FOR TWO – 12' X 12' 6" THICK CONCRETE PADS WITH 6X6X6 WELDED WIRE FABRIC AT FRONT OF CURRENT DUMPSTER LOCATIONS, SO THAT GARBAGE TRUCKS DO NOT DESTROY NEW ASPHALT PAVEMENT
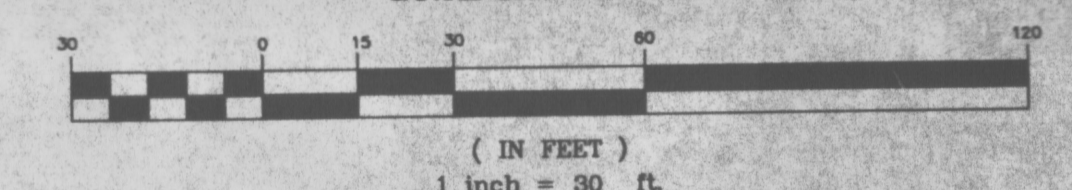   CONTRACTOR TO BID THE CONCRETE DUMPSTER PAD AS AN ADDITIVE ALTERNATE

S.O. #19 FOR SIDEWALK CULVERTS

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE, STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
A.C.E. DESIGN		
INSPECTOR		
A.C.E. FIELD		

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

LEGEND

82.42 TC	EXISTING ELEVATIONS
61.92 FL	PROPOSED TOP OF CURB / PROPOSED FLOWLINE
	EXISTING CONTOUR
	REMOVE EXISTING ASPHALT & REPLACE TO NEW GRADES
	PROPOSED GRADED SWALE
	PROPOSED CURB & GUTTER

CONCRETE RUNDOWN
Scale 1"=1'-0"

TOP OF CHANNEL
BUILD UP GRADE BEHIND CURB TO MATCH TOP OF CHANNEL. TRY TO MATCH TOP OF CHANNEL WITH EXISTING GRADE
6"
12" Wide, S.O. #19 required
See Plan
6"
No. 4 Rebars at 6" o.c. Longitudinal and 12" o.c. Traverse.
6" Compacted Subgrade at 95' Minimum Compaction.

TYPICAL PAVING SECTION
Scale 1"=1'-0"

EXISTING CONCRETE CURB
EXISTING GRADE
3' ASPHALT CONCRETE 1500 lbs. STABILITY, TYPE "C" GRADATION
Slope
1'-0"
12" Compacted Subgrade at 95% Minimum Compaction.

FILE: 960402

DRAINAGE & GRADING PLAN
FOR
SUN PLAZA APARTMENTS

DATE/REVISIONS:

SHEET NUMBER:

DRAINAGE AND GRADING PLAN FOR
SUN PLAZA APARTMENTS AT
MONARCH PROPERTIES, INC.
BEING LOT C
VISTA GRANDE LAND COMPANY
SUN PLAZA APARTMENTS
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL 1996

Montgomery Boulevard, N.E.

Washington Street, N.E.

HIGH POINT OF STREET

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

FF=5161.77
FF=5161.77 C
FF=5161.77
FF=5163.59
FF=5160.51 D
FF=5161.84
A-1
E
FF=5167.95
A
FF=5169.29
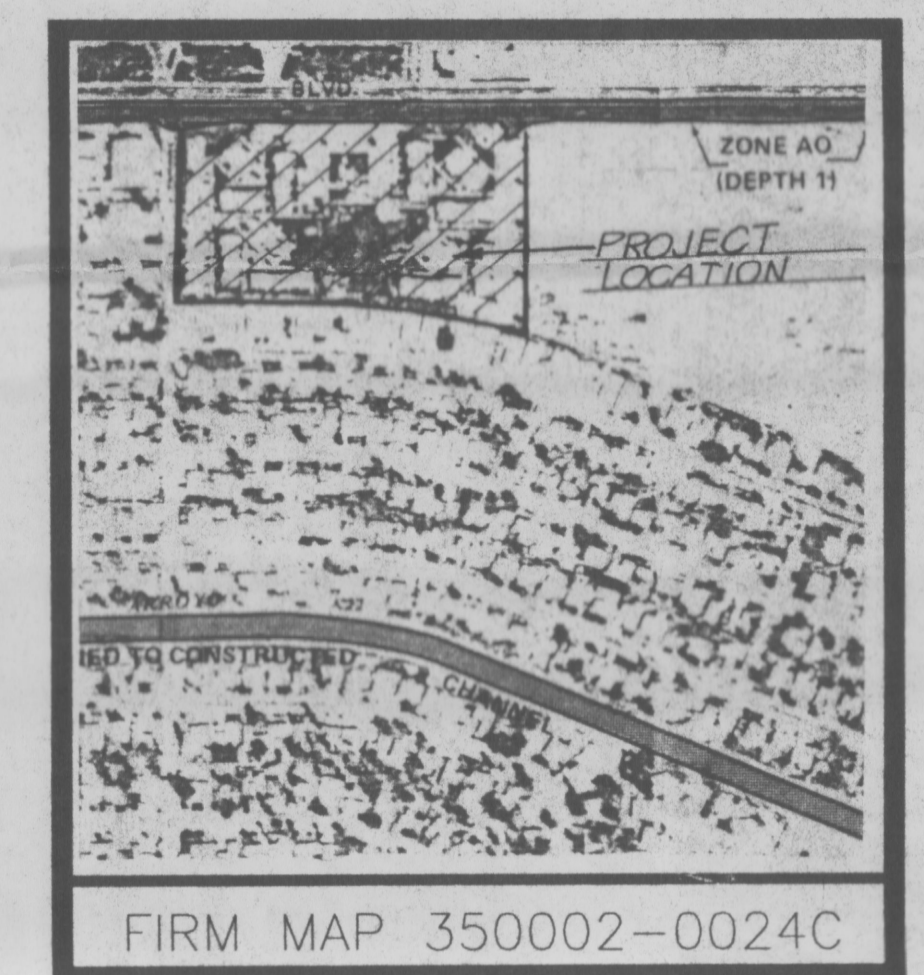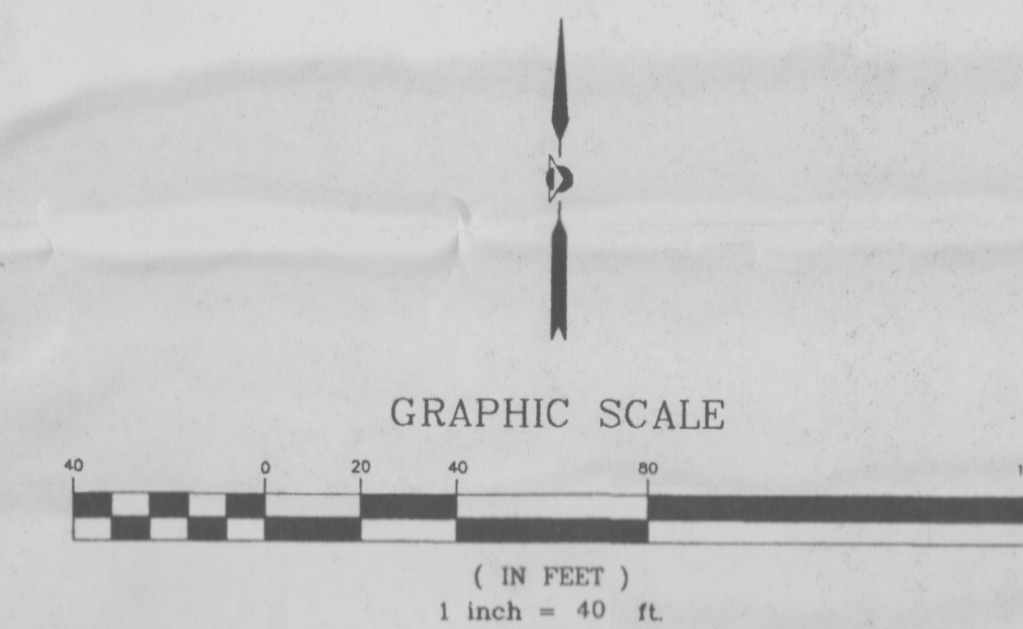FF=5168.42
FF=5169.41
FF=5169.41 B
FF=5170.37
FF=5170.37
FF=5170.37
FF=5170.76 A
FF=5162.24
A
FF=5162.10
FF=5163.10
A-1
A
FF=5170.39
FF=5170.39
FF=5171.04
FF=5171.04
FF=5171.35
A-1
FF=5168.86
A-1 FF=5171.52
FF=5170.19

VICINITY MAP G-17

FIRM MAP 350002-0024C

PROJECT LOCATION

ZONE AO
DEPTH 11

PROJECT LOCATION

DRAINAGE PLAN FOR SUN PLAZA APARTMENTS

DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING THE SUN PLAZA APARTMENTS GRADING
AND DRAINAGE PLAN ARE CONTAINED HEREIN:
1. VICINITY MAP
2. GRADING AND DRAINAGE PLAN
3. FLOOD MAP
4. DRAINAGE CALCULATIONS
5. DRAINAGE DETAILS

EXITING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE IS AT THE SOUTHEAST CORNER
OF WASHINGTON STREET NE AND MONTGOMERY BLVD NE.   THE SITE IS
BOUNDED BY A COMMERCIAL AREA TO THE EAST AND A RESIDENTIAL AREA
TO THE SOUTH.   THE SITE CONTAINS ABOUT 9.7 ACRES AND IS ZONED R-2
AND R-3.   AT PRESENT THE SITE IS FULLY DEVELOPED WITH APARTMENTS,
PAVED PARKING LOTS AND TURF TYPE LANDSCAPING.   THE SITE SLOPES IN
A EAST TO WEST DIRECTION.

ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 350002-0023C,
DATED OCTOBER 14, 1983, THIS SITE DOES NOT LIE IN A DESIGNATED
100-YEAR FLOOD PLAIN. HOWEVER, MONTGOMERY BOULEVARD DOES LIE IN A
100-YEAR FLOOD PLAIN, ZONED AO-1.

PROPOSED CONDITIONS
THE PROPOSAL IS TO REHABILITATE ALL THE EXISTING PAVED PARKING
LOTS WITHIN THIS APARTMENT COMPLEX DUE TO THE SEVERE
DETERIORATION OF THE EXISTING PAVEMENT. THE PAVEMENT WILL
REQUIRE COMPLETE REMOVAL AND REPLACEMENT.   IT IS THE INTENT OF
THIS PLAN TO PROVIDE ADDITIONAL SLOPE ON THE NEW PAVING AS
POSSIBLE WITHOUT COMPLETE RECONSTRUCTION OF THE CURB IN ORDER TO
ELIMINATE BIRD BATHS WHICH HAS CAUSED THE SUBGRADE TO FAIL
BECAUSE OF STANDING WATER.

DOWNSTREAM CAPACITY
THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE 100-YEAR, 6
HOUR RAINFALL RUNOFF FOR PEAK FLOWS. THE PROCEDURE FOR 40 ACRE
AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7
HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN
CRITERIA, DATED JANUARY 1993. IT IS THE INTENT OF THIS PLAN THAT
EXISTING AND DEVELOPED FLOWS WILL BE THE SAME SINCE WE, WILL BE
PLACING THE SAME AMOUNT OF IMPERVIOUS AREA AS EXISTING, SO
DOWNSTREAM CAPACITY WILL NOT SEE ADDITIONAL IMPACTS BECAUSE OF
THIS PAVING REHAB PROJECT.

OFFSITE FLOWS
THERE ARE NO OFFSITE FLOWS THAT ENTER OR IMPACT THIS SITE.

DRAINAGE CALCULATIONS
1. PRECIPITATION ZONE =2
2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR
   STORM 6-HOUR = 2.35 INCHES
3. PEAK DISCHARGE (CFS/ACRE) FIR 100-YEAR, ZONE 3, TABLE A-9
   Q = 1.56 CFS/ACRE SOIL UNCOMPACTED "A"
   Q = 2.28 CFS/ACRE LANDSCAPED "B"
   Q = 3.14 CFS/AC COMPACTED SOIL "C"
   Q = 4.70 CFS/ACRE IMPERVIOUS AREA "D"
   FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES

4. EXCESS PRECIPITATION, E (INCHES), 6 HOUR STORM, ZONE 3,
   TABLE A-8
   E = 0.53 INCHES SOIL UNCOMPACTED "A"
   E = 0.78 INCHES LANDSCAPED "B"
   E = 1.13 INCHES COMPACTED SOIL "C"
   E = 2.12 INCHES IMPERVIOUS AREA "D"

5. EXISTING AND PROPOSED CONDITIONS ONSITE
   BASIN A1:

TREATMENT	AREA(ACRES)
A	0.0
B	0.672 (LANDSCAPING)
C	0.0
D	0.340 (BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.672) + (4.70 X 0.340) = 3.13CFS

   BASIN B1:

TREATMENT	AREA(ACRES)
A	0.0
B	0.439 (LANDSCAPING)
C	0.0
D	0.465(EXISTING ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.439) + (4.70 X 0.465) = 3.19CFS

   BASIN B2:

TREATMENT	AREA(ACRES)
A	0.0
B	2.332 (LANDSCAPING)
C	0.0
D	1.155 (BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 2.332) + (4.70 X 1.155) = 10.75CFS

   BASIN C1:

TREATMENT	AREA(ACRES)
A	0.0
B	0.264 (LANDSCAPING)
C	0.0
D	0.072(EXISTING ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.264) + (4.70 X 0.072) = 0.94CFS

   BASIN C2:

TREATMENT	AREA(ACRES)
A	0.0
B	0.026 (LANDSCAPING)
C	0.0
D	0.114 (BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.026) + (4.70 X 0.114) = 0.54CFS

   BASIN C3:

TREATMENT	AREA(ACRES)
A	0.0
B	0.223 (LANDSCAPING)
C	0.0
D	0.603(BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.223) + (4.70 X 0.603) = 3.34CFS

   BASIN C4:

TREATMENT	AREA(ACRES)
A	0.0
B	0.151 (LANDSCAPING)
C	0.0
D	0.318(BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.151) + (4.70 X 0.318) = 1.84CFS

   BASIN C5:

TREATMENT	AREA(ACRES)
A	0.0
B	0.039 (LANDSCAPING)
C	0.0
D	0.134 (BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.039) + (4.70 X 0.134) = 0.72CFS

   BASIN C6:

TREATMENT	AREA(ACRES)
A	0.0
B	0.606 (LANDSCAPING)
C	0.0
D	0.291(BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.606) + (4.70 X 0.291) = 2.75CFS

   BASIN C7:

TREATMENT	AREA(ACRES)
A	0.0
B	0.423 (LANDSCAPING)
C	0.0
D	0.994(BUILDING AND ASPHALT PAVING)

   Q(EXISTING) = (2.28 X 0.423) + (4.70 X 0.994) = 5.64CFS

6. SIZE SIDEWALK CULVERTS FOR 10YEAR FLOWS
   BASIN A-1
   Q (100YR) = 3.13CFS, Q(10YR) = 0.67(3.13CFS) = 2.10CFS
   SIZE SIDEWALK CULVERT FOR 10YR FLOW AND MINIMAL
   VELOCITY AS WEIR
   Q = CLH** 3/2 ASSUME C= 3.0
   L = Q/CH**3/2 =   2.10/3.0 X (0.58)**3/2
   L = 1.58 FEET - USE 1 - 18" WIDE SIDEWALK CULVERT

   BASIN B-1
   Q (100YR) = 3.13CFS, Q(10YR) = 0.67(3.19CFS) = 2.14CFS
   SIZE SIDEWALK CULVERT FOR 10YR FLOW AND MINIMAL
   VELOCITY AS WEIR
   Q = CLH** 3/2 ASSUME C= 3.0
   L = Q/CH**3/2 = 2.14/3.0 X (0.58)**3/2
   L = 1.6 FEET - USE 1- 18" WIDE SIDEWALK CULVERT

   BASIN B-2
   Q (100YR) = 10.75CFS, Q(10YR) = 0.67(10.75CFS) =
   7.200CFS
   SIZE SIDEWALK CULVERT FOR 10YR FLOW AND MINIMAL
   VELOCITY AS WEIR
   Q = CLH**3/2 ASSUME C= 3.0
   L = Q/CH**3/2 = 7.20/3.0 X (0.58)**3/2
   L = 5.4 FEET - USE 3 - 18" WIDE SIDEWALK CULVERT

   BASIN C-4
   Q (100YR) = 1.84, Q(10YR) = 0.67(1.84CFS) = 1.23CFS
   SIZE SIDEWALK CULVERT FOR 10YR FLOW AND MINIMAL
   VELOCITY AS WEIR
   Q = CLH** 3/2 ASSUME   C= 3.0
   L = Q/CH**3/2 =   1.23/3.0 X (0.58)**3/2
   L = 0.93 FEET - USE 1 - 12" WIDE SIDEWALK CULVERT

7. DOWNSTREAM CAPACITY ANALYSIS IN MONTGOMERY BOULEVARD NE
   ACCORDING TO THE ALBUQUERQUE MASTER DRAINAGE STUDY
   (AMDS), VOLUME III, FOR THIS AREA, THE NEAREST ANALYSIS
   POINT 207 (PAGE 3C-1) WAS IDENTIFIED TO BE LOCATED AT
   THE INTERSECTION OF MONTGOMERY BOULEVARD AND THE NORTH
   DIVERSION CHANNEL. THIS IS ABOUT 5000 FEET DOWNSTREAM FROM THIS SITE.

   Q(PEAK) = 295CFS
   Q(OVERLAND) = 131 CFS
   STREET FLOW DEPTH =0.60 FEET
   VELOCITY = 5.4 FPS

   ACCORDING TO THE DRAINAGE FACILITIES MAP G-17S, THERE
   IS AN EXISTING 42" STORM DRAIN ON MONTGOMERY BOULEVARD,
   ADJACENT TO THIS SITE WHICH EVENTUALLY DISCHARGES INTO
   THE NORTH DIVERSION CHANNEL. THE BASIS OF THE AMDS
   TOOK THIS SITE AS A FULLY DEVELOPED BASIN WITH FREE
   DISCHARGE, VIEW OF THE THIS SITE ON THE AERIAL
   PHOTOGRAPH SHOWS THIS SITE DEVELOPED. SINCE THE STREET
   FLOW DEPTH ON MONTGOMERY STILL MEETS FLOW DEPTH
   REQUIREMENTS 5000 FEET DOWNSTREAM FROM THIS SITE, IT
   WOULD SEEM APPROPRIATE TO CONTINUE TO ALLOW THIS SITE
   TO FREE DISCHARGE.

   THE FLOW THAT ENTERS WASHINGTON STREET (BASIN A-1)
   WOULD FLOW SOUTH TO DOUGLAS MC ARTHUR THAN WEST TO
   MORNINGSIDE DRIVE, WHERE IT WILL BE INTERCEPTED BY A
   36" STORM DRAIN BUILT TO DIVERT FLOWS INTO THE HAHN
   ARROYO. SINCE THE AMDS CONSIDERED THIS BASIN DRAINING
   TO THE HAHN ARROYO AS FULLY DEVELOPED, IT WOULD SEEM
   APPROPRIATE TO CONTINUE TO ALLOW THIS SITE TO FREE
   DISCHARGE.

LEGEND

× 5.04 SG	EXISTING ELEVATIONS
62.42 TC	PROPOSED TOP OF CURB
61.92 FL	PROPOSED FLOWLINE
5161	EXISTING CONTOUR
	REMOVE EXISTING ASPHALT & REPLACE TO NEW GRADES
	PROPOSED GRADED SWALE
	PROPOSED CURB & GUTTER
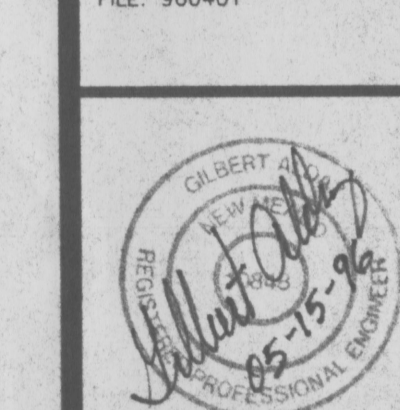
FILE: 960401	DRAINAGE & GRADING PLAN	DATE/REVISIONS:
	FOR	
	SUN PLAZA APARTMENTS	

Aldaz Engineering & Surveying, Inc.
1605 BLAIR DRIVE NE
ALBUQUERQUE, NEW MEXICO 87112   PH: (505)237-1456
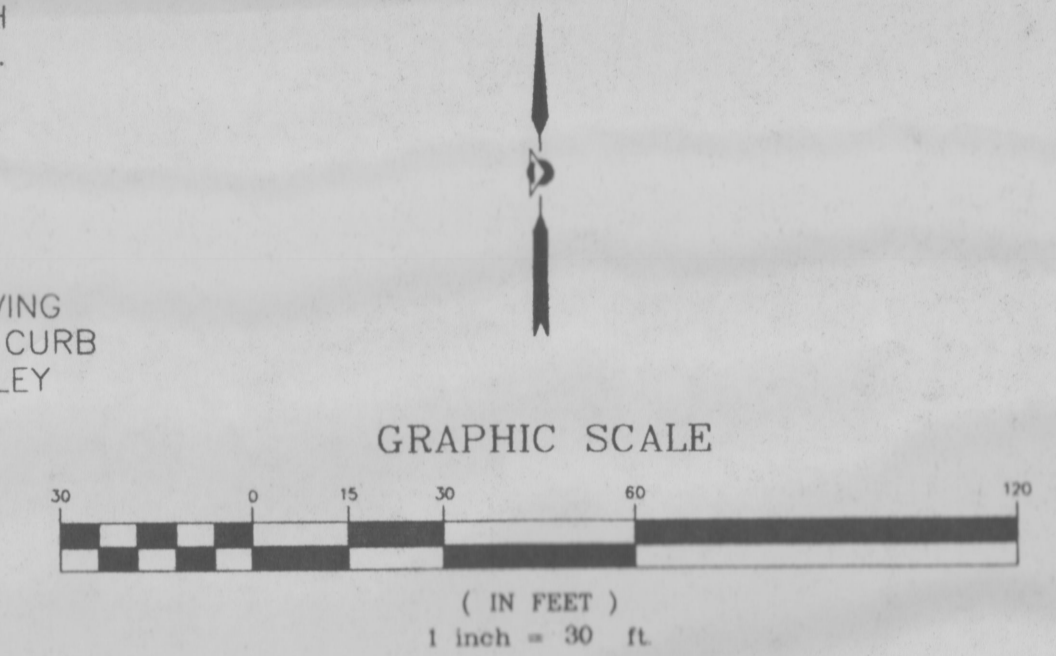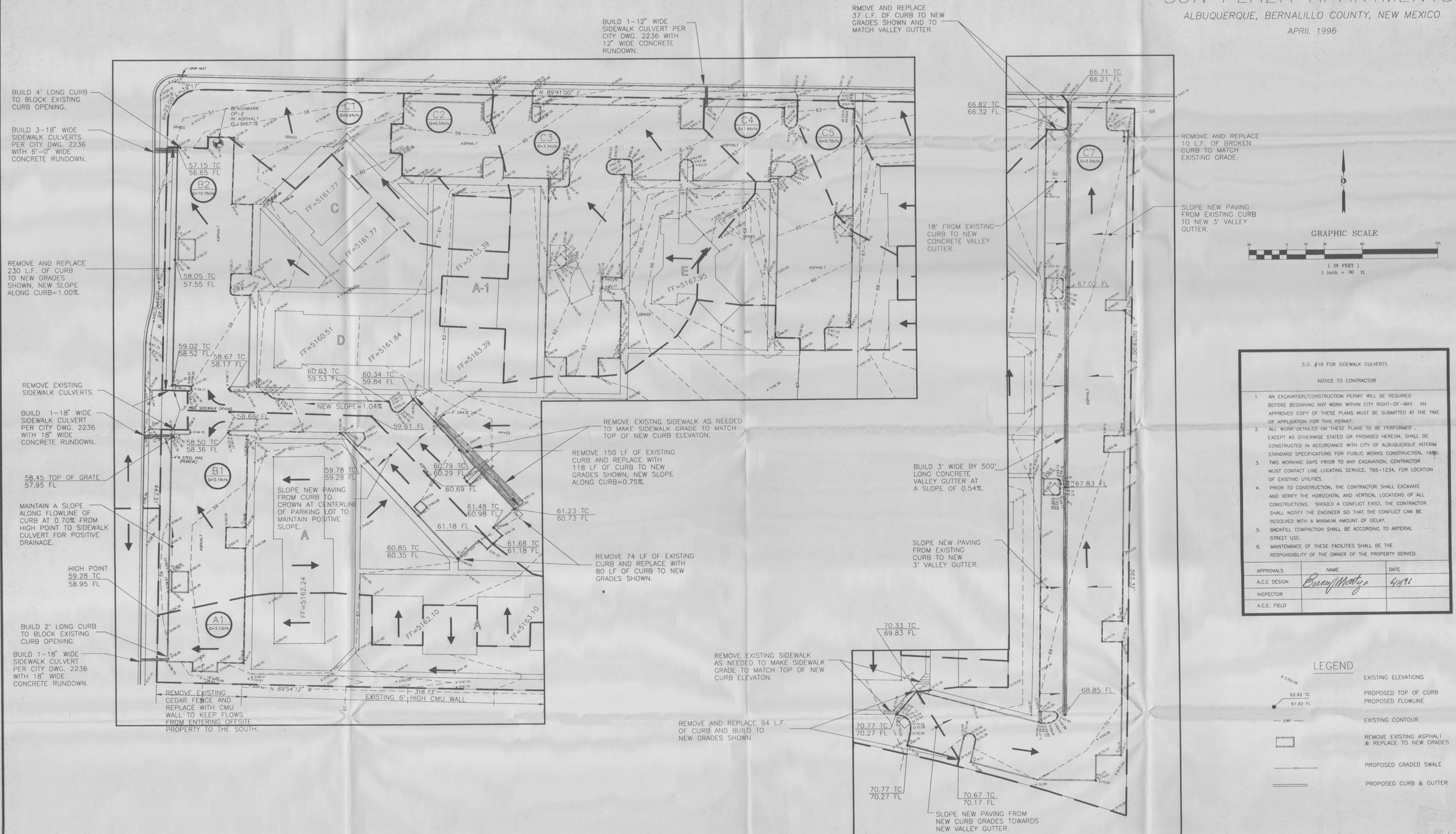
SHEET NUMBER: 1

DRAINAGE AND GRADING PLAN FOR
SUN PLAZA APARTMENTS AT
MONARCH PROPERTIES, INC.
BEING LOT C
VISTA GRANDE LAND COMPANY
SUN PLAZA APARTMENTS
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL 1996

BUILD 1-12" WIDE SIDEWALK CULVERT PER CITY DWG. 2236 WITH 12" WIDE CONCRETE RUNDOWN.

RMOVE AND REPLACE 37 L.F. OF CURB TO NEW GRADES SHOWN AND TO MATCH VALLEY GUTTER.

BUILD 4' LONG CURB TO BLOCK EXISTING CURB OPENING.

BUILD 3-18" WIDE SIDEWALK CULVERTS PER CITY DWG. 2236 WITH 6'-0" WIDE CONCRETE RUNDOWN.

REMOVE AND REPLACE 10 L.F. OF BROKEN CURB TO MATCH EXISTING GRADE.

SLOPE NEW PAVING FROM EXISTING CURB TO NEW 3' VALLEY GUTTER.

18' FROM EXISTING CURB TO NEW CONCRETE VALLEY GUTTER.

REMOVE AND REPLACE 230 L.F. OF CURB TO NEW GRADES SHOWN, NEW SLOPE ALONG CURB=1.00%.

REMOVE EXISTING SIDEWALK CULVERTS.

BUILD 1-18" WIDE SIDEWALK CULVERT PER CITY DWG. 2236 WITH 18" WIDE CONCRETE RUNDOWN.

REMOVE EXISTING SIDEWALK AS NEEDED TO MAKE SIDEWALK GRADE TO MATCH TOP OF NEW CURB ELEVATON.

REMOVE 150 LF OF EXISTING CURB AND REPLACE WITH 118 LF OF CURB TO NEW GRADES SHOWN, NEW SLOPE ALONG CURB=0.75%.

BUILD 3' WIDE BY 500' LONG CONCRETE VALLEY GUTTER AT A SLOPE OF 0.54%.

MAINTAIN A SLOPE ALONG FLOWLINE OF CURB AT 0.70% FROM HIGH POINT TO SIDEWALK CULVERT FOR POSITIVE DRAINAGE.

SLOPE NEW PAVING FROM CURB TO CROWN AT CENTERLINE OF PARKING LOT TO MAINTAIN POSITIVE SLOPE

REMOVE 74 LF OF EXISTING CURB AND REPLACE WITH 80 LF OF CURB TO NEW GRADES SHOWN.

SLOPE NEW PAVING FROM EXISTING CURB TO NEW 3' VALLEY GUTTER.

HIGH POINT

BUILD 2' LONG CURB TO BLOCK EXISTING CURB OPENING.

BUILD 1-18" WIDE SIDEWALK CULVERT PER CITY DWG. 2236 WITH 18" WIDE CONCRETE RUNDOWN.

REMOVE EXISTING CEDAR FENCE AND REPLACE WITH CMU WALL TO KEEP FLOWS FROM ENTERING OFFSITE PROPERTY TO THE SOUTH.

REMOVE EXISTING SIDEWALK AS NEEDED TO MAKE SIDEWALK GRADE TO MATCH TOP OF NEW CURB ELEVATON.

REMOVE AND REPLACE 94 L.F. OF CURB AND BUILD TO NEW GRADES SHOWN.

SLOPE NEW PAVING FROM NEW CURB GRADES TOWARDS NEW VALLEY GUTTER.

EXISTING 6' HIGH CMU WALL

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

S.O. #19 FOR SIDEWALK CULVERTS

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THE PERMIT.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1980.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
A.C.E DESIGN	Benny Montya	6/14/96
INSPECTOR		
A.C.E. FIELD		

LEGEND

EXISTING ELEVATIONS
PROPOSED TOP OF CURB
PROPOSED FLOWLINE
EXISTING CONTOUR
REMOVE EXISTING ASPHALT & REPLACE TO NEW GRADES
PROPOSED GRADED SWALE
PROPOSED CURB & GUTTER

FILE: 960402

DRAINAGE & GRADING PLAN
FOR
SUN PLAZA APARTMENTS

DATE/REVISIONS:

Aldaz Engineering & Surveying, Inc.
1605 BLAKE DRIVE, NE
ALBUQUERQUE, NEW MEXICO 87112   PH: (505)237-1456

SHEET NUMBER:
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