

# CITY OF ALBUQUERQUE



December 11, 2014

Mr. Fred C. Arfman, PE  
Isaacson & Arfman, PA  
1287 Monroe Street NE  
Albuquerque, NM 87108

**Re: Faddoul Law Office  
Paving Plan  
Engineer's Date 12-9-14 (G17D088)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 12-10-14, the above referenced plan is approved for Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Upon completion of the project, please provide an Engineer Certification for our files.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail  
file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Faddoul Law Office Building Permit #: \_\_\_\_\_ City Drainage #: G17D-  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: 761982  
Legal Description: Tract G, Block 61 of Bel Air Addition  
City Address: 3301 San Mateo Blvd. NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE  
Address: 128 Monroe Street, NE - Albuquerque, NM 87120  
Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Faddoul Law Firm Contact: \_\_\_\_\_  
Address: 3301 San Mateo Blvd. NE  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: (505) 764-8891 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Rio Grande Surveying Co., INC. Contact: Rex Vogler  
Address: \_\_\_\_\_  
Phone#: (505) 764-8891 Fax#: \_\_\_\_\_ E-mail: rgsc@flash.net

Contractor: Hart Construction Contact: Carlton Bowyer  
Address: 2919 2nd Street NW, ABQ, NM 87107  
Phone#: 345-4001 Fax#: \_\_\_\_\_ E-mail: cbowyer@hartconstruction.net

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

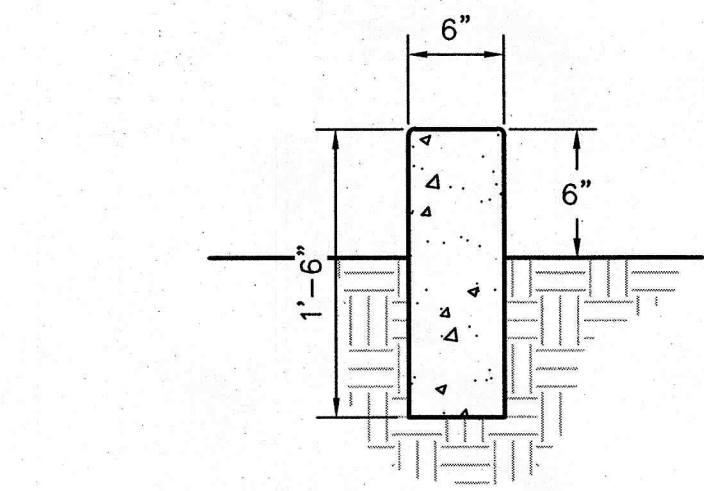
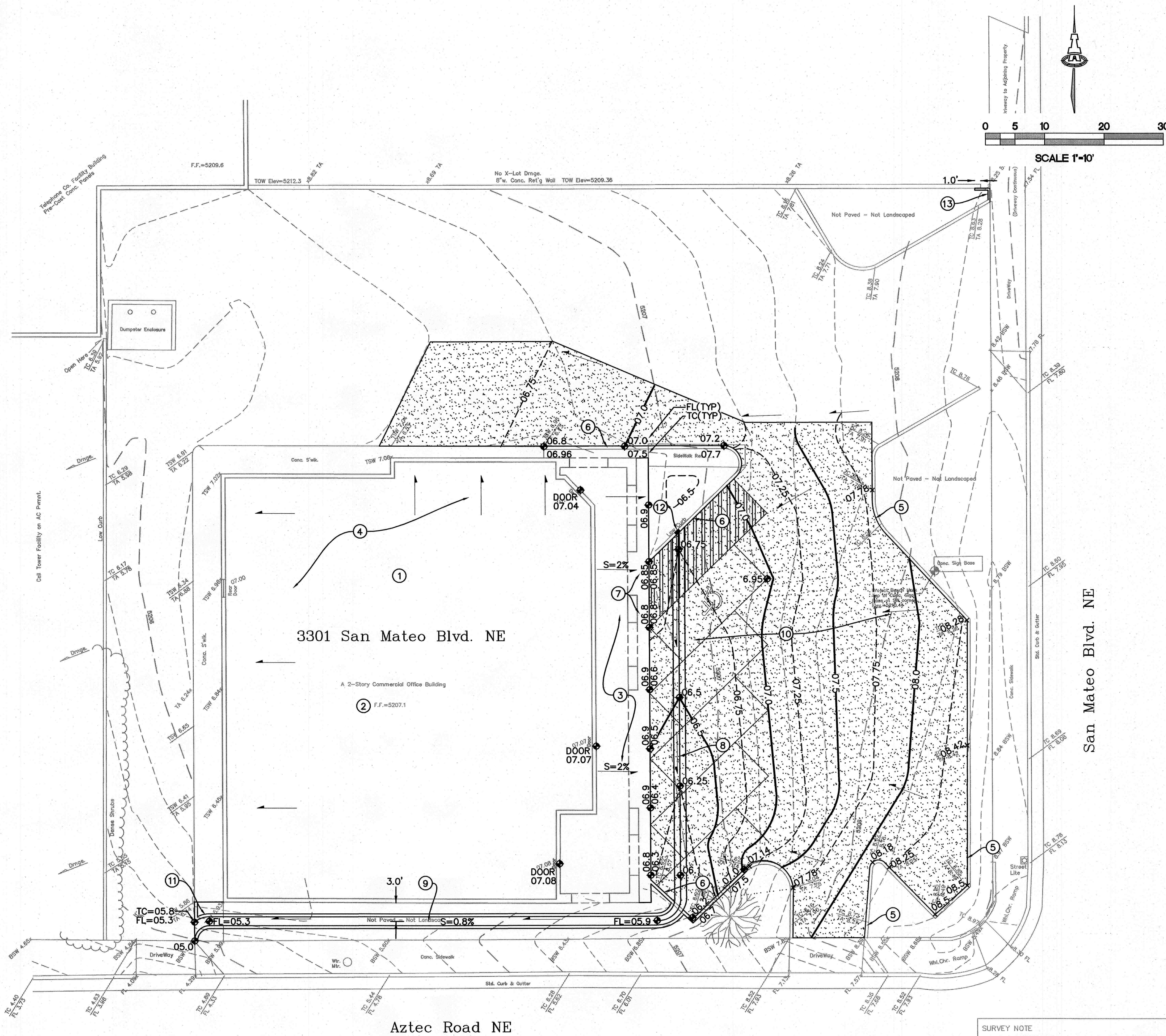
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: Dec. 9, 2014 By: Fred C. Arfman, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

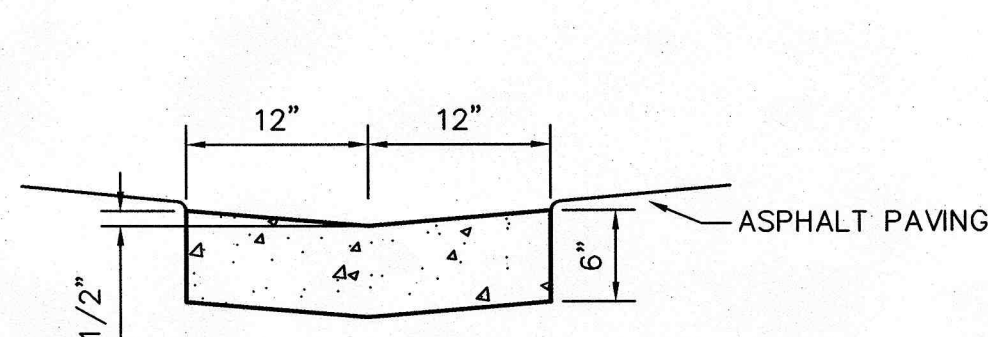
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





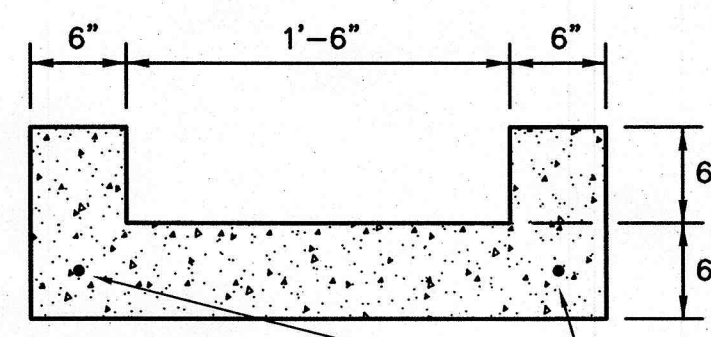
1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. REQUIRES FULL FORM ON ALL FACES.
3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
4. 1/2" EXPANSION JOINTS AT 24' O.C.

HEADER CURB



1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
3. 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.
4. EDGE OF ASPHALT PAVING TO BE 1/4" ABOVE EDGE OF CONCRETE (TYP).

CONCRETE ALLEY GUTTER

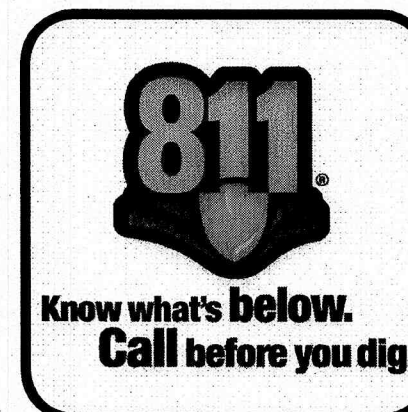


TWO #4 REBAR (CONTINUOUS)

1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
3. 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.

'U' SHAPED CONC. CHANNEL

SURVEY NOTE  
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.



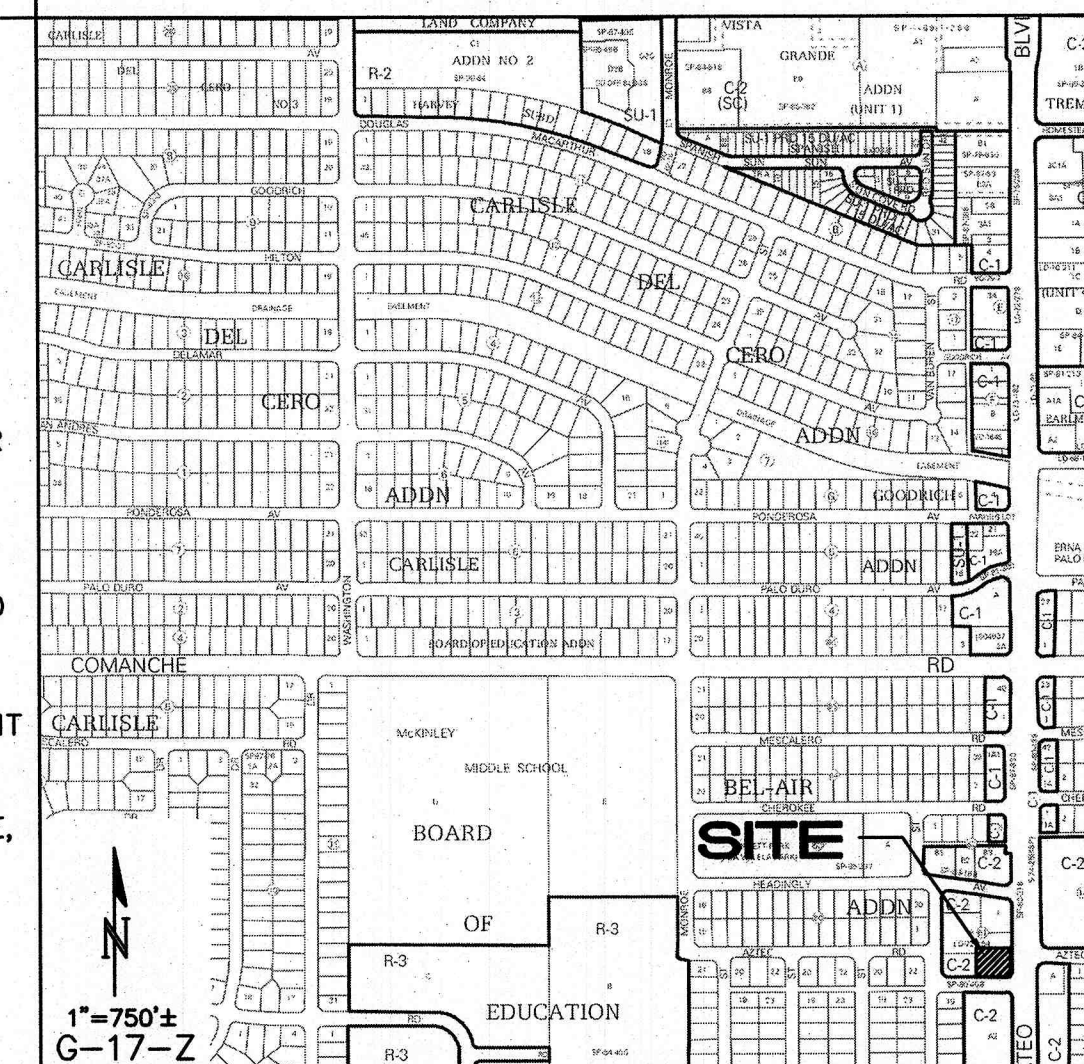
## GENERAL NOTES

- COORDINATE WORK WITH ARCHITECTURAL SITE PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
- FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER CITY OF ALBUQUERQUE SPECIFICATIONS.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## KEYED NOTES

- EXISTING BUILDING UNDER RENOVATION.
- EXISTING F.F. ELEVATION PER SURVEY.
- CONSTRUCT NEW PAVED WALKWAY WITH MIN. 1% SLOPE / MAX. 2% SLOPE AWAY FROM BUILDING.
- EXISTING BUILDING ROOF DISCHARGE DIRECTION.
- EXISTING CURB TO REMAIN UNLESS NOTED.
- REMOVE AND REPLACE CURB THIS AREA TO ACHIEVE PROPOSED GRADES.
- FLUSH TRANSITION FOR ADA ACCESS THIS AREA. TRANSITION PAVEMENT FROM FLUSH TO 6" HIGH OVER LENGTH OF WALK AS SHOWN.
- GRADE SWALE WITHIN ASPHALT PAVEMENT TO ELEVATIONS SHOWN. OWNER'S OPTION: CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER TO DEFINE SWALE AS SHOWN.
- CONSTRUCT 18" WIDE (BOTTOM WIDTH) X 6" HIGH CONCRETE 'U' SHAPED CHANNEL AT FLOWLINE ELEVATIONS SHOWN TO ACCEPT AND ROUTE EAST PARKING AREA DISCHARGE.
- SEE SITE PLAN FOR PAVING DETAILS INCLUDING WALKS, PARKING BUMPERS, STRIPING, SIGNAGE, PAVING SECTIONS, ETC.
- SAWCUT AND REMOVE EXISTING WALK FROM BLDG. TO PUBLIC WALK. REPLACE WITH 6" CURB AND CHANNEL OUTFALL AS SHOWN.
- DEPRESS LANDSCAPING THIS AREA. PROVIDE 1' WIDE CURB CUT TO RELEASE EXCESS FLOW.
- CONSTRUCT HEADER CURB TO PREVENT OFF-SITE FLOW FROM PASSING TO PROPERTY. SEE DETAIL THIS SHEET.

## VICINITY MAP



## PROJECT DATA

**PROPERTY:** THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-17. THE SITE IS BOUND TO THE EAST BY SAN MATEO BLVD., TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY AZTEC RD.

**LEGAL DESCRIPTION:** TRACT G, BLOCK 61 OF BEL AIR ADDN.

**SITE AREA:** 0.43 ACRES

**ADDRESS:** 3301 SAN MATEO BLVD. N.E.

**OFF-SITE:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**FLOOD HAZARD:** PER BERNALILLO COUNTY FIRM MAP #35001C0352H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**DRAINAGE PLAN CONCEPT:** IMPROVEMENTS INCLUDE REGRADING OF THE EAST PARKING AREA AND THE CONSTRUCTION OF A CONCRETE RUNDOWN TO CORRECT SIGNIFICANT DRAINAGE PROBLEMS WHICH HAVE RESULTED IN SIGNIFICANT BUILDING FLOODING DURING PAST STORM EVENTS. NO CHANGE TO OVERALL DISCHARGE IS EXPECTED. ALL SITE DISCHARGE WILL CONTINUE TO PASS TO AZTEC ROAD.

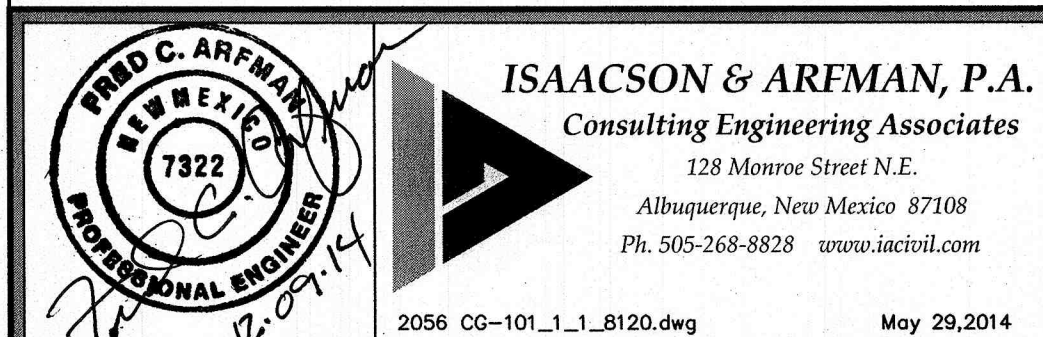
**ENGINEER:** FRED C. ARFMAN, PE  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, APO. NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** REX J. VOGLER, NM PS #10466  
RIO GRANDE SURVEYING CO., P.C.  
PHONE: (505) 764-8891

**BENCHMARK:** STA. 'NM\_367\_6', A NM SHC BRASS CAP IN C.L. OF SAN MATEO MEDIAN NORTH OF ARVILLA AVE.  
ELEV. = 5209.956

## LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR (0.5' INCREMENTS)
- PROPOSED CONTOUR (0.25' INCREMENTS)
- EXISTING SPOT ELEVATION
- FLOW ARROW
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- FINISH FLOOR ELEVATION
- EXTENT OF NEW PAVEMENT



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Fadduol Law Office  
3301 San Mateo Blvd NE

## GRADING & DRAINAGE PLAN

Date:	No. / Revision:	Date:	Job No.
05-29-14			2056
Drawn By:			CG-101
BJB			
Ckd By:			SH OF
FCA			