

TRAFFIC CIRCULATION LAYOUT

1"=10'-0"

3301 SAN MATEO BOULEVARD N.E.
LOT G BLK 61
BEL-AIR SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

LOT SIZE: 18,616 SQ. FT. (.427 ACRES)
UPC CODE: 101706051513241213

SAN MATEO BOULEVARD N.E.

KEYED NOTES:

- A EXISTING UTILITY EASEMENT
- B EXISTING FENCE
- C EXISTING RETAINING WALL
- D EXISTING SIGN
- E EXISTING LANDSCAPING AREA
- F EXISTING ASPHALT & PARKING
- G EXISTING SIDEWALK
- H EXISTING PARKING AREA TO BE RESTRIPTED AS SHOWN. NUMBER OF SPACES REMAINS UNCHANGED.
- J EXISTING CONC. CURB
- K EXISTING CONC. DRIVEPAD
- L EXISTING 6'-0" CONC. WALK
- M NEW PARKING BUMPER

PARKING CALCULATIONS

FIRST FLOOR: 4,502 SQ. FT. / 200 = 22.5
SECOND FLOOR: 1,878 SQ. FT. / 300 = 6.3
TOTAL SPACES REQUIRED: 28.8
MASS TRANSIT 10% REDUCTION: 2.8
TOTAL REQUIRED: 26
TOTAL SPACES PROVIDED: 27

PARKING SPACE DATA:

STANDARD ON SITE: 20
COMPACT ON SITE: 4
ADA ON SITE: 1
NEW ON STREET: 2
TOTAL PROVIDED: 27

PARKING NOTES:

- EXISTING LANDSCAPING LAYOUT TO REMAIN. (GRANDFATHERED IN)
- PARKING SPACE CONFIGURATION TO REMAIN UNCHANGED BY TENANT IMPROVEMENT.
- ALL CONC. PARKING BUMPERS ARE NEW
- ENTIRE PARKING LOT TO BE RESTRIPTED AS SHOWN.

DESIGN CRITERIA

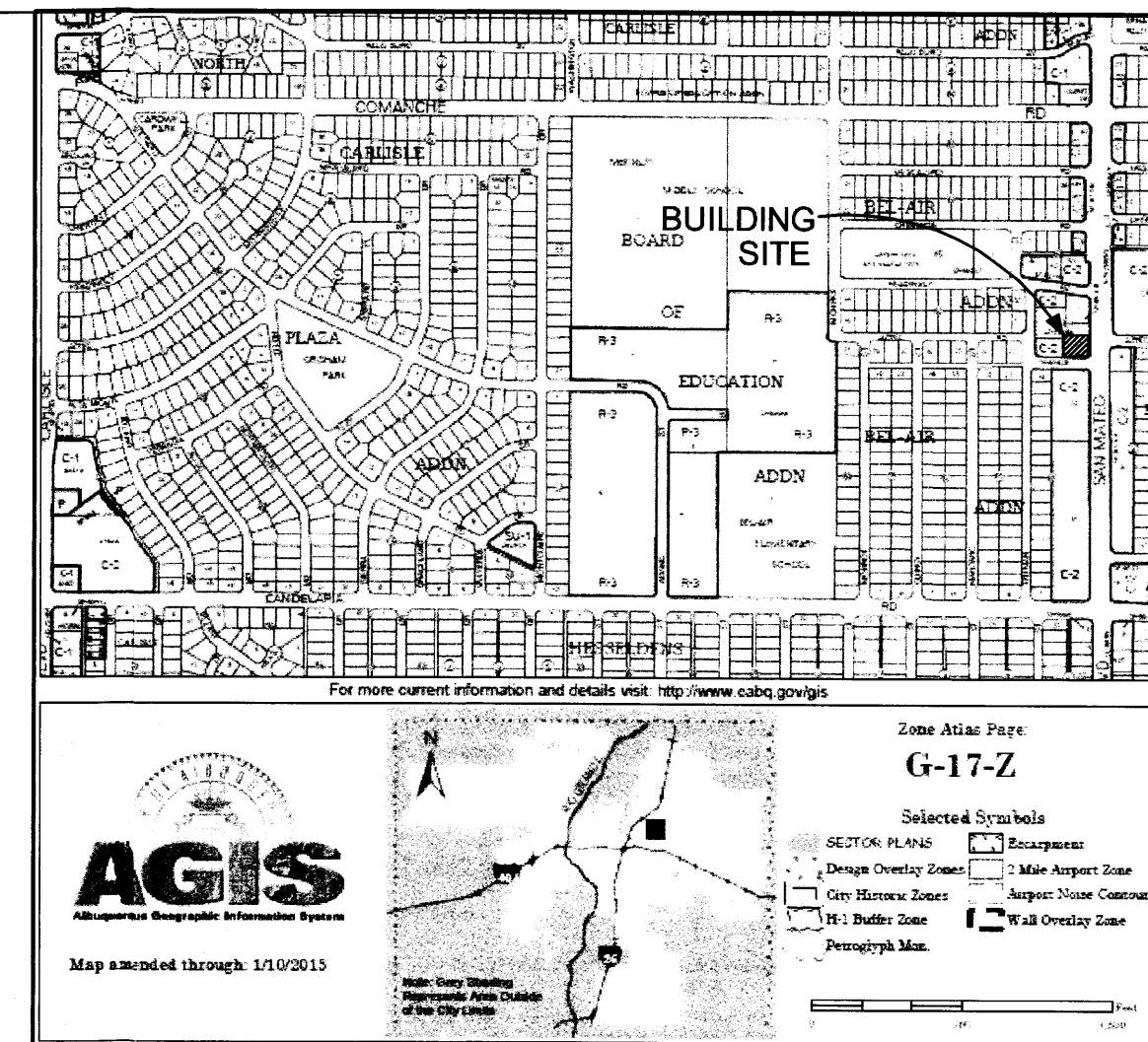
ZONING: C-2

AREA CALCULATIONS

NET AREA:
NEW: 6,380 S.F.
EXISTING: 6,434 S.F.
ADDED: -54 S.F.

ARCHITECT

Joseph B. Burwinkle, Jr.
License No. NM 430
7112-119 Pan American Fwy NE
Albuquerque, NM 87109
505-821-6866



CITY ZONE MAP G-17

NO SCALE

EXECUTIVE SUMMARY

DRAINAGE PLAN NOT REQUIRED. NO CHANGES.
ONLY RESTRIPTING & NEW CONCRETE BUMPER BARRIERS.

- LOCATION IS IN THE BEL-AIR SUBDIVISION BLK. 61, LOT 6, ZONE MAP 6-17
- THIS IS A 1980 COMMERCIAL BUILDING THAT HAS BEEN VACANT FOR THE PAST 5 YEARS. THE NEW OWNER WILL DO A TENANT IMPROVEMENT TO REMODEL THE INTERIOR INTO THEIR NEW MEXICO HEADQUARTERS.

THE FACADE WILL BE IMPROVED TO REFLECT THE IMAGE OF A LARGE LAW FIRM.

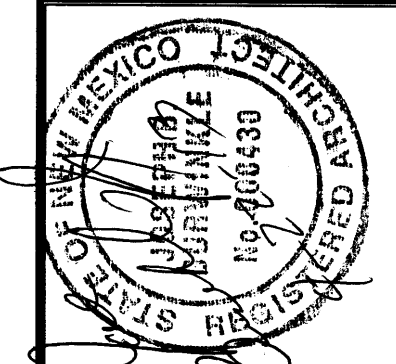
THE TOTAL SQUARE FOOTAGE WILL REMAIN THE SAME.

THE CARPORT ON THE WEST WILL BECOME OFFICE SPACE. THIS EXISTING CARPORT IS ONLY USED BY MOTORCYCLES & SMALL / COMPACT CARS BECAUSE THE DEPTH OF THE CARPORT & DRIVE IS 36' IN DEPTH. THIS IS NOT USEABLE BECAUSE OF ITS SIZE. (TOTAL OF 36' FOR BOTH THE DRIVE & PARKING AREA)

- THE EXISTING ON SITE PARKING IS THE SAME. NEW STRIPING & CONCRETE BUMPER BARRIERS.

WE HAVE REQUESTED APPROVAL FOR NEW OFF SITE PARKING ON AZTEC ROAD N.E.

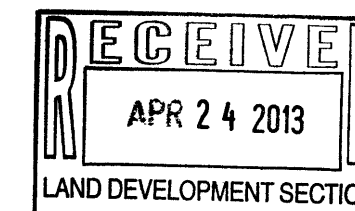
THE TRAFFIC ON SAN MATEO OR AZTEC WILL NOT CHANGE FOR THE EMPLOYEES (APPROX. 12) ENTERING THIS SITE.



Joe Burwinkle, Jr. (NM 430)
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DATE: 4-24-2013
DRAWN BY: Pistol
CHECKED BY: JAF Concepts.com
VERIFIED BY:

TENANT IMPROVEMENT FOR
FADDOUL, CLUFF & HARDY, P.C.
3301 SAN MATEO BLVD NE
ALBUQUERQUE, NM 87110

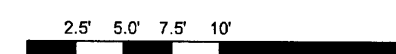


PROGRESS
PRELIMINARY
APP'D PRELIMINARY
<input checked="" type="checkbox"/> PRE-CONSTRUCTION
PERMIT
CONSTRUCTION

SHEET TITLE & NO:

TRAFFIC
CIRCULATION
LAYOUT

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CODE DATA

CODE DATA:-
 2009 INTERNATIONAL BUILDING CODE (IBC)
 2009 UNIFORM MECHANICAL CODE (UMC)
 2009 UNIFORM PLUMBING CODE (UPC)
 2011 NATIONAL ELECTRICAL CODE (NEC)
 2003 ANSI A 117.1 ACCESSABILITY CODE (AC)
 2009 INTERN'L ENERGY CONSRV. CODE (IECC)
 2006 INTERNATIONAL FIRE CODE (IFC)

DESIGN CRITERIA

ZONING: C-2

CONSTRUCTION TYPE: 5B (NON SPRINKLED)

OCCUPANT LOAD:

1ST FLOOR:
 LOBBY / STAIR / ELEVATOR 308 *bw*
 OFFICE AREA 4,194/200 = 42
 1ST FLOOR TOTAL 4,502 S.F. 42

2ND FLOOR:
 LOBBY / STAIR / ELEVATOR 240 *bw*
 OFFICE AREA 1,638/200 = 16
 2ND FLOOR TOTAL 1,878 S.F. 16

1ST & 2ND FLOOR TOTAL 6,380 S.F. 58

EXIT REQUIREMENTS: (PER TABLE 1015.1)

1ST FLOOR:
 B OCCUPANCY
 2 EXIT REQUIRED
 3 PROVIDED

2ND FLOOR:
 B OCCUPANCY
 1 EXIT REQUIRED
 1 PROVIDED

PLUMBING REQUIREMENTS:

OCCUPANTS: 58

REQUIRED:

	MEN (29)	WOMEN (29)
W.C.	1	1
LAV.	1	1
DRINK FTN.	1	
SERVICE SINK	1	

PROVIDED:

W.C.	2	3
LAV.	2	3
DRINK FTN.	1	
SERVICE SINK	1	

AREA CALCULATIONS SEE SHT. C-2

NET AREA:
 NEW: 6,380 S.F.
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 ADDED: -54 S.F.

ARCHITECT

Joseph B. Burwinkle, Jr.
 License No. NM 430
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 505-821-6866

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STRUCTURAL ENGINEER

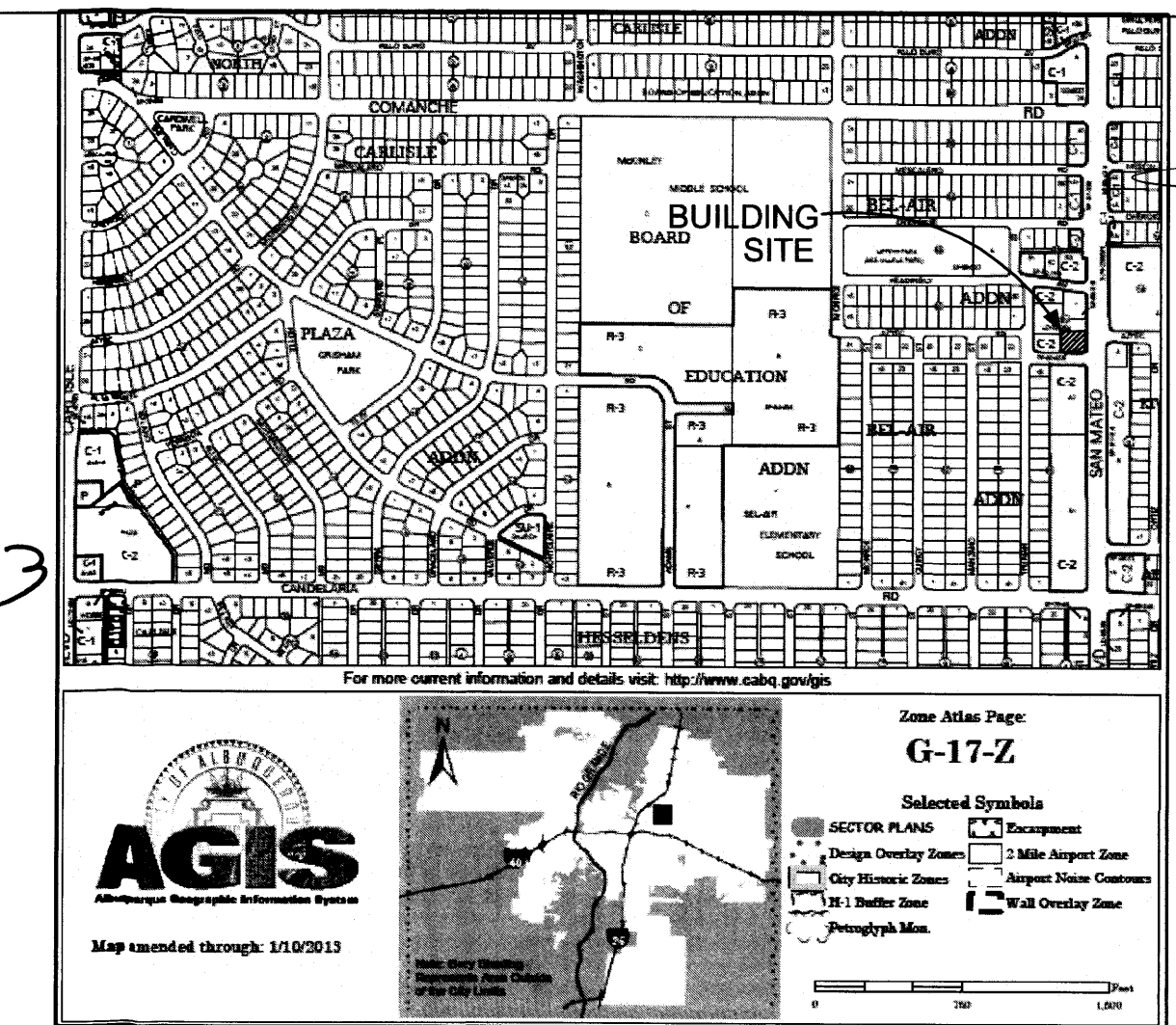
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 (505) 881-3008

MECHANICAL & PLUMBING ENGINEER

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 7008 Vista Del Arroyo
 Albuquerque, NM 87109
 505-883-6016



CITY ZONE MAP G-17

NO SCALE

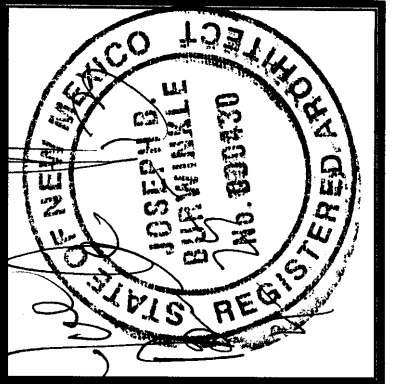
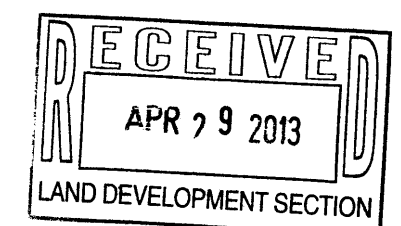
SCHEDULE OF DRAWINGS

- C-1 NEW SITE PLAN
BUILDING DATA
BUILDING CODES
- C-2 EXISTING SITE PLAN
- A-1.1 DEMOLITION PLAN 1ST & 2ND FLOOR PLANS
EXISTING & PROPOSED OVERLAYS
- A-2.1 ARCHITECTURAL FIRST FLOOR PLAN FURNITURE LAYOUT
- A2.2 DIMENSIONED FIRST FLOOR PLAN DOOR & WINDOW SCHEDULE
- A-3.1 ARCHITECTURAL SECOND FLOOR PLAN FURNITURE LAYOUT
- A-3.2 DIMENSIONED SECOND FLOOR PLAN DOOR & WINDOW SCHEDULE
- A-3.3 ROOF PLAN VIEW, WINDOW & DOOR DETAILS & SCHEDULES
- A-3.4 INTERIOR ELEVATIONS (RESTROOMS & CABINETS)
- A-3.5 INTERIOR ELEVATIONS (RESTROOMS & CABINETS)
- A-4.1 BUILDING SECTION A - NORTH TO SOUTH
- A-4.2 BUILDING SECTION B - NORTH TO SOUTH
- A-4.3 WALL SECTIONS
- A-5.1 BUILDING SECTION C - EAST TO WEST
- A-5.2 BUILDING SECTION D - EAST TO WEST
- A-5.3 EXISTING STRUCTURE - NORTH TO SOUTH BUILDING SECTION
- A-5.4 PROPOSED STRUCTURE - NORTH TO SOUTH BUILDING SECTION
- A-5.5 PARTIAL BUILDING SECTION- EXISTING STRUCTURE
- A-6.1 EXISTING AND PROPOSED EAST ELEVATIONS
- A-6.2 EXISTING AND PROPOSED SOUTH ELEVATIONS
- A-6.3 EXISTING AND PROPOSED WEST ELEVATIONS
- A-6.4 EXISTING AND PROPOSED NORTH ELEVATIONS
- A-7.1 REFLECTED CEILING PLAN-1
- A-7.1 FIRST FLOOR REFLECTED CEILING PLAN
- A-7.2 SECOND FLOOR REFLECTED CEILING PLAN

- S-1 STRUCTURAL NOTES
- S-2 SPECIAL INSPECTIONS
- S-3 FOUNDATION PLAN
- S-4 2ND FLOOR FRAMING PLAN
- S-5 ROOF FRAMING PLAN
- S-6 FOUNDATION SECTIONS AND DETAILS
- S-7 FRAMING SECTIONS AND DETAILS
- S-8 FRAMING SECTIONS AND DETAILS
- S-9 FRAMING SECTIONS AND DETAILS
- M-0.0 LEGEND & PROJECT GENERAL NOTES
- MP-1.1 EQUIPMENT SCHEDULE
- MP-1.2 MECHANICAL DETAILS
- M-1.1 FIRST FLOOR MECHANICAL PLAN
- M-1.2 SECOND FLOOR MECHANICAL PLAN
- M-1.3 ROOF PLAN
- M-1.4 EQUIPMENT SCHEDULE

- P-1.1 FIRST AND SECOND FLOOR PLUMBING PLANS
- P-1.2 PLUMBING ISOMETRICS
- P-1.3 PLUMBING ISOMETRICS

- E-101 FIRST FLOOR POWER PLAN
- E-102 SECOND FLOOR POWER PLAN
- E-103 ROOF POWER PLAN
- E-104 POWER RISER
- E-105 PANEL & LIGHT FIXTURE SCHEDULES
- E-201 FIRST FLOOR LIGHTING PLAN
- E-202 SECOND FLOOR LIGHTING PLAN



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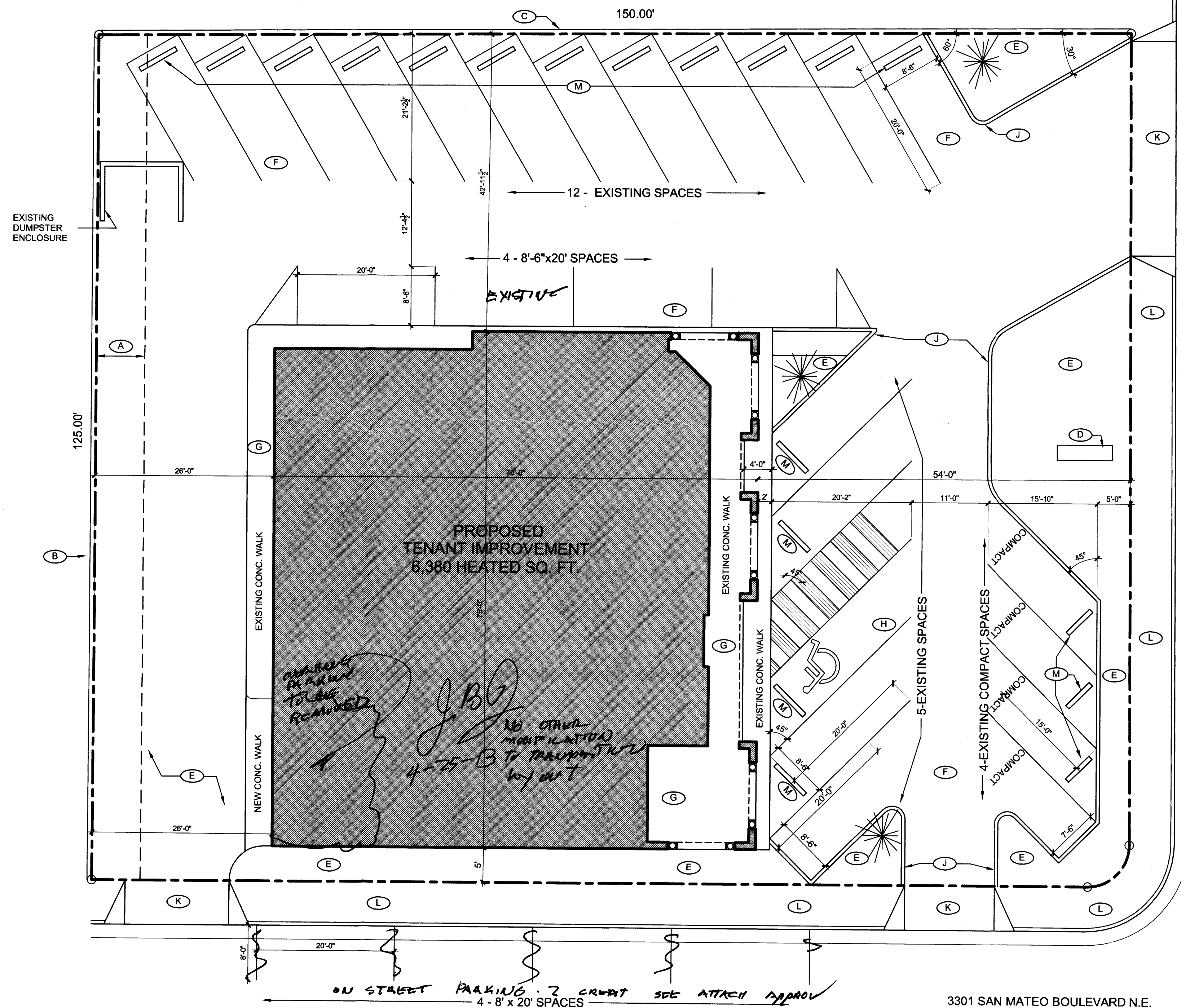
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TENANT IMPROVEMENT FOR
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PROGRESS
 PRELIMINARY
 APP'D PRELIMINARY
 PRE-CONSTRUCTION
 PERMIT
 CONSTRUCTION

SHEET TITLE & NO.:

SITE PLAN
 ON STREET
 PARKING
 APPLICATION



AZTEC ROAD N.E.



SITE PLAN (ON STREET PARKING APPLICATION)

1"=10'-0"

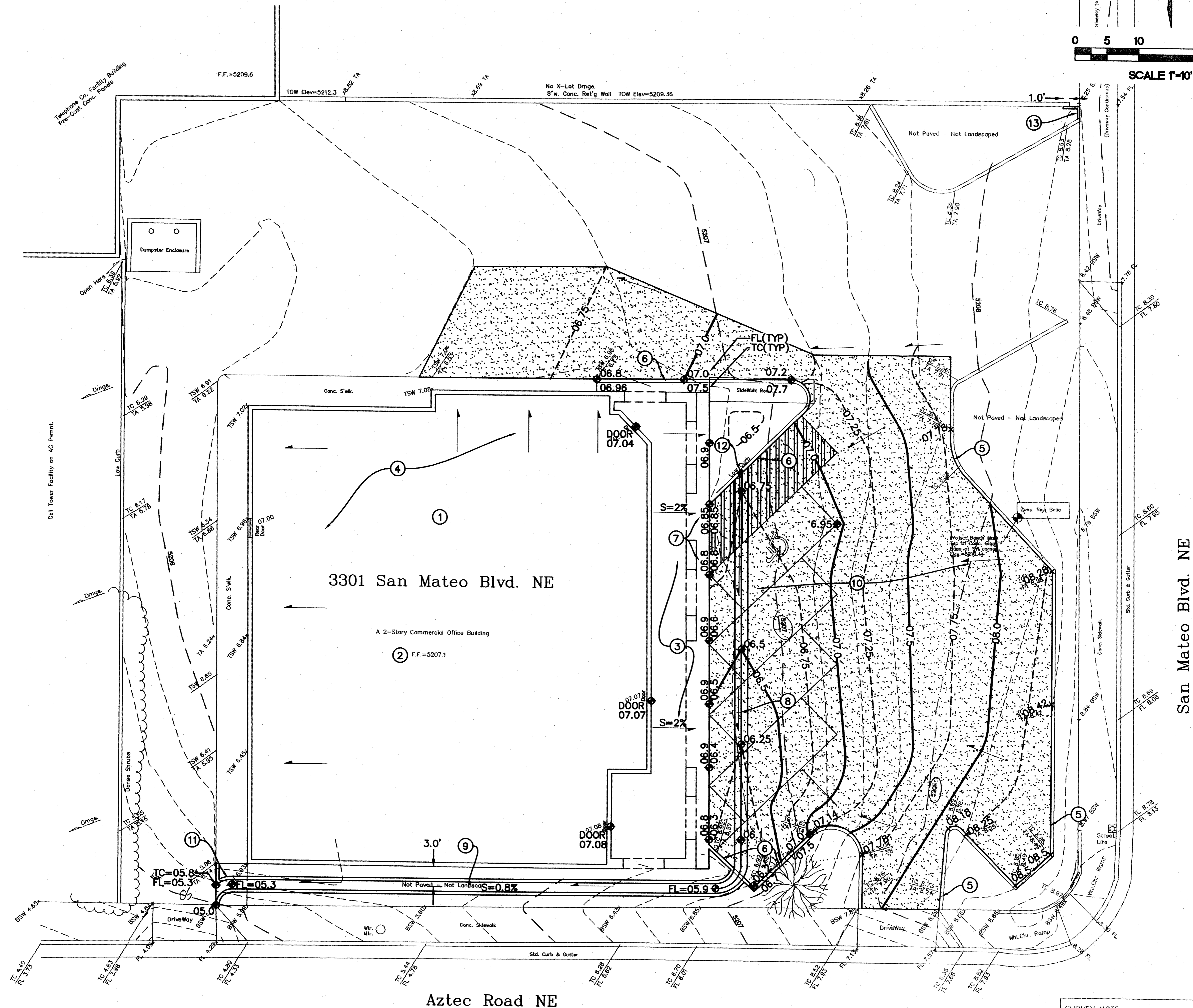
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2' 5' 10' 15' 20'

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1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. REQUIRES FULL FORM ON ALL FACES.
3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
4. 1/2" EXPANSION JOINTS AT 24' O.C.

HEADER CURB

SCALE: N.T.S.

1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
3. 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.
4. EDGE OF ASPHALT PAVING TO BE 1/4" ABOVE EDGE OF CONCRETE (TYP).

CONCRETE ALLEY GUTTER

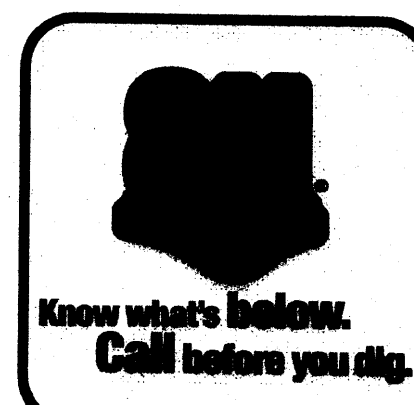
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'U' SHAPED CONC. CHANNEL

SCALE: N.T.S.

SURVEY NOTE
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.



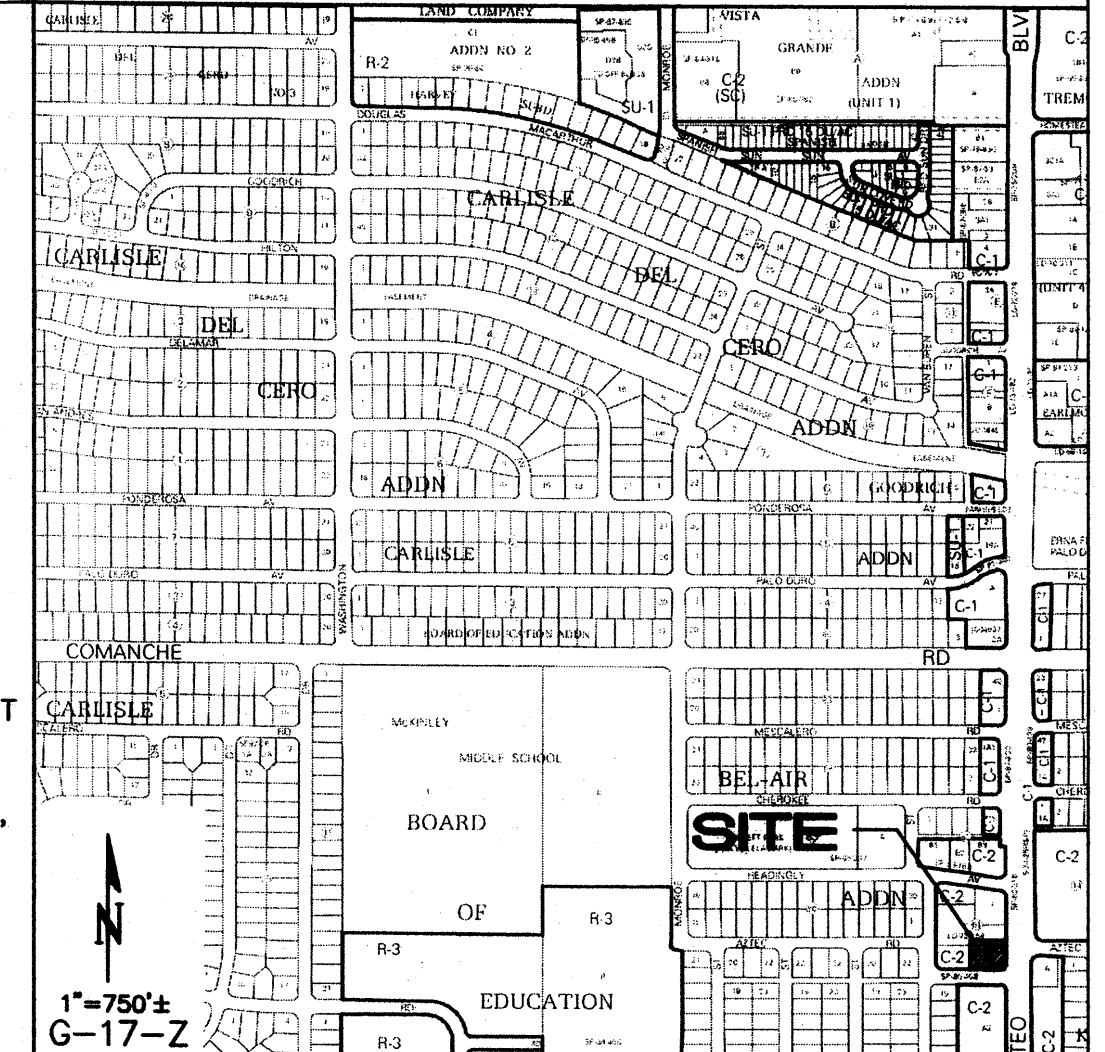
GENERAL NOTES

- COORDINATE WORK WITH ARCHITECTURAL SITE PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
- FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER CITY OF ALBUQUERQUE SPECIFICATIONS.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED..
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

KEYED NOTES

- EXISTING BUILDING UNDER RENOVATION.
- EXISTING F.F. ELEVATION PER SURVEY.
- CONSTRUCT NEW PAVED WALKWAY WITH MIN. 1% SLOPE / MAX. 2% SLOPE AWAY FROM BUILDING.
- EXISTING BUILDING ROOF DISCHARGE DIRECTION.
- EXISTING CURB TO REMAIN UNLESS NOTED.
- REMOVE AND REPLACE CURB THIS AREA TO ACHIEVE PROPOSED GRADES.
- FLUSH TRANSITION FOR ADA ACCESS THIS AREA. TRANSITION PAVEMENT FROM FLUSH TO 6" HIGH OVER LENGTH OF WALK AS SHOWN.
- GRADE SWALE WITHIN ASPHALT PAVEMENT TO ELEVATIONS SHOWN. OWNER'S OPTION: CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER TO DEFINE SWALE AS SHOWN.
- CONSTRUCT 18" WIDE (BOTTOM WIDTH) X 6" HIGH CONCRETE 'U' SHAPED CHANNEL AT FLOWLINE ELEVATIONS SHOWN TO ACCEPT AND ROUTE EAST PARKING AREA DISCHARGE.
- SEE SITE PLAN FOR PAVING DETAILS INCLUDING WALKS, PARKING BUMPERS, STRIPING, SIGNAGE, PAVING SECTIONS, ETC.
- SAWCUT AND REMOVE EXISTING WALK FROM BLDG. TO PUBLIC WALK. REPLACE WITH 6" CURB AND CHANNEL OUTFALL AS SHOWN.
- DEPRESS LANDSCAPING THIS AREA. PROVIDE 1' WIDE CURB CUT TO RELEASE EXCESS FLOW.
- CONSTRUCT HEADER CURB TO PREVENT OFF-SITE FLOW FROM PASSING TO PROPERTY. SEE DETAIL THIS SHEET.

VICINITY MAP



PROJECT DATA

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-17. THE SITE IS BOUND TO THE EAST BY SAN MATEO BLVD., TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY AZTEC RD.

LEGAL DESCRIPTION: TRACT G, BLOCK 61 OF BEL AIR ADDN.

SITE AREA: 0.43 ACRES

ADDRESS: 3301 SAN MATEO BLVD. N.E.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #35001C0352H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: IMPROVEMENTS INCLUDE REGRADING OF THE EAST PARKING AREA AND THE CONSTRUCTION OF A CONCRETE RUNDOWN TO CORRECT SIGNIFICANT DRAINAGE PROBLEMS WHICH HAVE RESULTED IN SIGNIFICANT BUILDING FLOODING DURING PAST STORM EVENTS. NO CHANGE TO OVERALL DISCHARGE IS EXPECTED. ALL SITE DISCHARGE WILL CONTINUE TO PASS TO AZTEC ROAD.

ENGINEER: FRED C. ARFMAN, PE
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: REX J. VOGLER, NM PS #10466
RIO GRANDE SURVEYING CO., P.C.
PHONE: (505) 764-8891

BENCHMARK: STA. 'NM_367_6', A NM SHC BRASS CAP IN C.I. OF SAN MATEO MEDIAN NORTH OF ARVILLA AVE.
ELEV. = 5209.956

LEGEND

- 34.4 PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR (0.5' INCREMENTS)
- - - PROPOSED CONTOUR (0.25' INCREMENTS)
- EXISTING SPOT ELEVATION
- FLOW ARROW
- TC TOP OF CURB ELEVATION
- FL FLOWLINE ELEVATION
- F.F. FINISH FLOOR ELEVATION
- EXTENT OF NEW PAVEMENT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
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Ph. 505-268-8828 www.iaa.com

2056 CG-101_1_1_B120.dwg May 29, 2014

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Fadduol Law Office
3301 San Mateo Blvd NE

GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
05-29-14			2056
Drawn By:			CG-101
BJB			
Ckd By:			SH OF
FCA			