

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 7, 2023

Tim Kehoe
X Factor Church
6444 Esther Ave. NE
Albuquerque, NM 87109

Re: X Factor PreFab Structure/ 3023 Montclair Dr. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 01-13-2022 (G17-D089)
Certification dated 02-06-23

Dear Mr. Kehoe,

Based upon the information provided in your submittal received 01-26-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,


Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, Ron Burstein, NMRA NUMBER 2057, OF THE FIRM Studio Southwest Architects Inc., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED March 14, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Ron Burstein OF THE FIRM Studio Southwest Architects, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON February 4, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

 Digitally signed by Ron Burstein
DN: C=US,
E=rburstein@studioswarch.com,
O=Studio Southwest Architects Inc.,
CN=Ron Burstein
Date: 2023.02.06 17:57:46-07'00'

Signature of Architect

February 6, 2023

Date



File: x:\2134 x factor church storage\70-files transferred\files sent\owner\2023-02-06 traffic certification\2134 traffic certification.docx

REVISED
LOCATION OF
MC PARKING
SIGN TO HERE

CITY OF ALBUQUERQUE
PLANNING

These plans have been reviewed
for code compliance and are

APPROVED

The Approval of these plans shall not
be construed to be a permit for any
violations of any code or ordinance
of this city.

PERMIT # BP-2021-46465

Existing
Assembly
Area
DATE: 04/06/22

A printed copy of these plans shall be on the job site for all
requested inspections.

Valverde Dr NE

Existing
Paved
Parking
Area

Temporary
Structure Will
Not Change or
Impede Existing
Drainage
Pattern

Existing
Sign

Existing
Church

CMU Wall

Drainage Easement

HC

HC

Existing
Paved
Parking
Area

Existing Trash
Enclosure to
Remain

Montclair Dr NE

GENERAL NOTE

All broken or cracked sidewalk must be replaced with sidewalk and
curb and gutter per standard drawing number 2415A, 2415B and
6-5-5-14

KEYED NOTES

1. Recovered Parking Spaces lost by New Structure
2. Pre-Engineered DoD Surplus Portable Structure
3. Wall mounted ADA parking sign per 66-7-352.4C NMSA 1978
"Violators are Subject to a Fine and/or Towing".
4. See revised ADA parking striping this sheet
5. Pole mounted Motorcycle parking sign per standard drawings
6. "NO PARKING" shall be in capital letters, each of which shall be
at least one foot high and at least two inches wide, placed at the rear
of the parking space so as to be close to where an adjacent vehicle's
rear tire would be placed (66-1-4.1.B NMSA 1978)
7. Van Accessible space (18'0" long by 8'6" wide)
8. 6 foot wide ADA accessible pedestrian pathway from ADA parking
stall access aisles to building entrances per IDO and DPM
9. 8 foot wide van accessible aisle
10. 5 foot wide accessible aisle

CODE DATA

Existing Church Building (IBC 2015)

Assumed Occupancy: Group A-3

Assumed Construction Type: IIIB

Allowable Area: 9,500 SF (without area
increase calculation)

Actual Area: 5,900 SF

New Storage Building (IBC 2015)

Occupancy: Group S-2

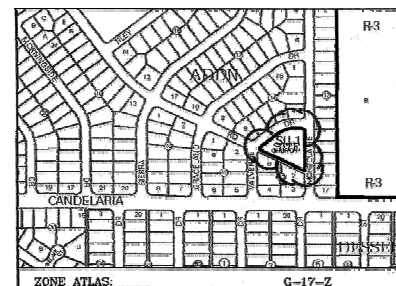
Construction Type: VB

Allowable Area: 13,500 SF (without area
increase calculation)

Actual Area: 1,280 SF

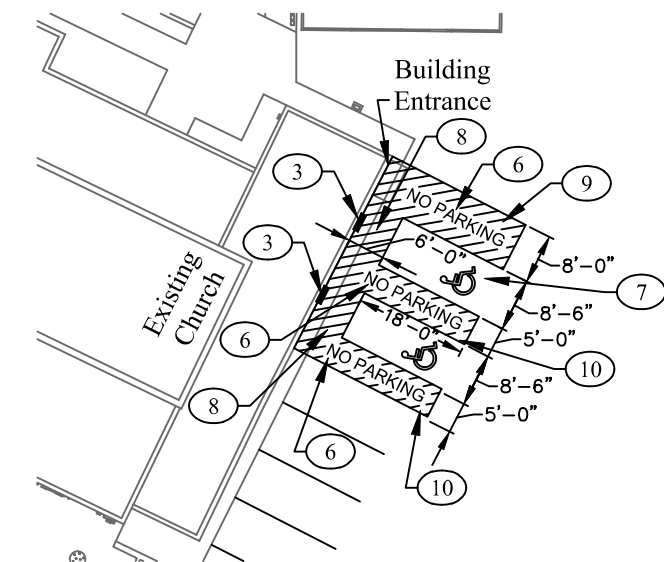
SITE DATA

Total Site Acreage	0.6887 Acres +
Existing Site Zoning	R-1C for Church
Existing Site Use	Church
Required Parking	28 Spaces (1 Space per 4 Seats at 104 Seats)
Provided Parking	34 Spaces (4 Small Car)
Required HC Pkg	2 Spaces
Provided HC Pkg	2 Spaces
Motorcycle Parking Required	1 Space
Motorcycle Parking Provided	1 Space
Required Bicycle Parking	3 Spaces
Provided Bicycle Parking	3 Spaces



LEGAL DESCRIPTION

Lot 1, Blk 13, Carlisle Plaza Addition

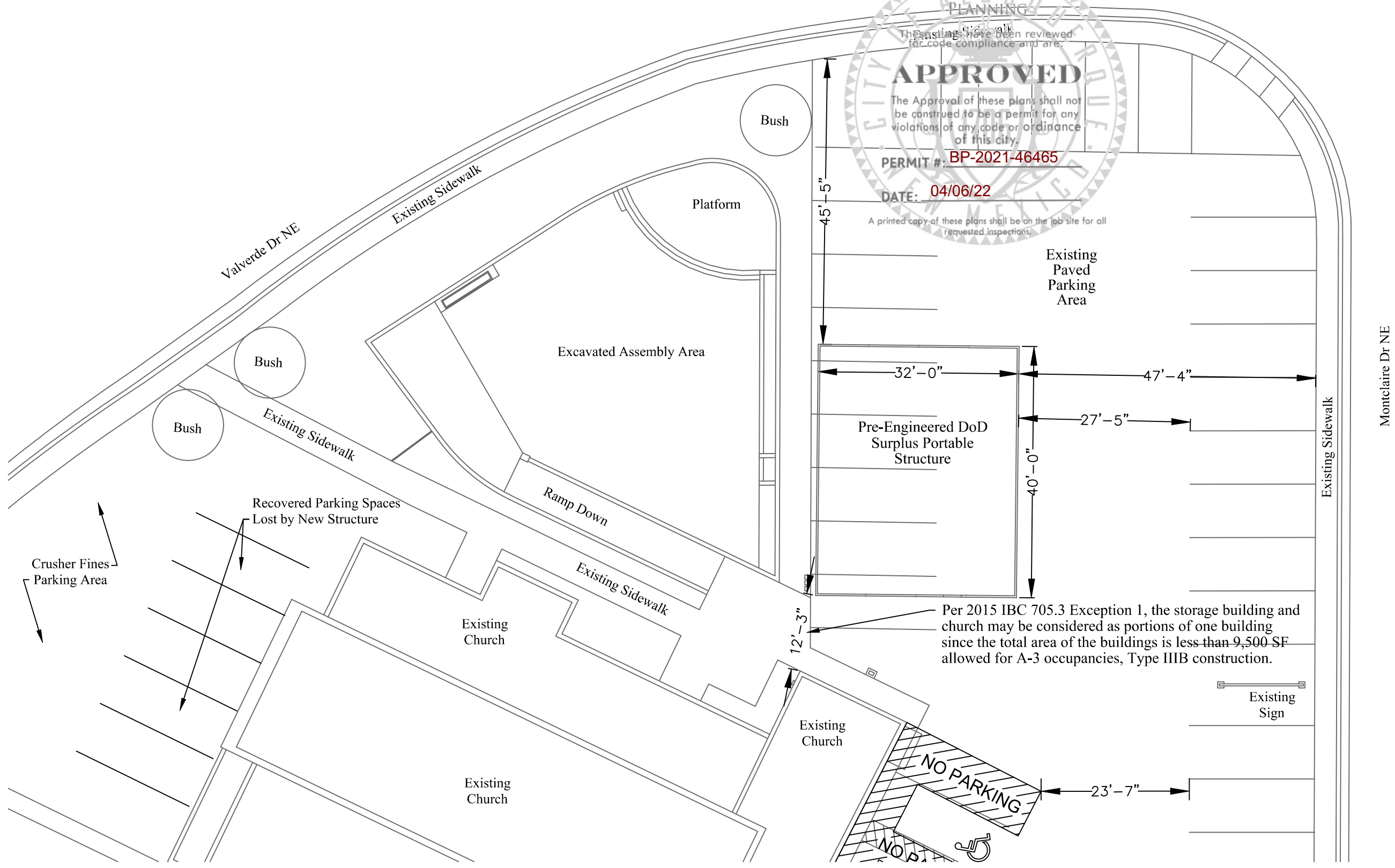


ADA PARKING
Scale: 1" = 30'-0"

OVERALL SITE PLAN
Scale: 1" = 30'-0"

Revised Mar. 14, 2022 to Incorporate City Comments

	STUDIO SW ARCHITECTS	2101 Mountain Road NW Suite B Albuquerque NM 87104 505-843-9639 www.studioswarch.com	DwnBy twk	ProjNo X-TS01	ProjName Temp. Stg Structure	ShtName Overall Site Plan	Sheet No. C1r Sheet 1 of 6 Sheets
			ChkdBy rb	Date 10/24/21	Location Alb, NM	Owner X Factor Church	

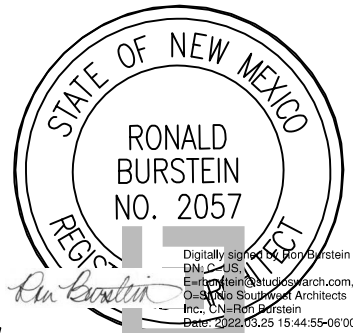


Per 2015 IBC 705.3 Exception 1, the storage building and church may be considered as portions of one building since the total area of the buildings is less than 9,500-SF allowed for A-3 occupancies, Type IIIB construction.



SITE DIMENSION PLAN

Scale: 1/16" = 1'-0"



Revised Mar. 14, 2022 to Incorporate City Comments

STUDIO SW ARCHITECTS	2101 Mountain Road NW Suite B Albuquerque NM 87104 505-843-9639 www.studioswarch.com	DwnBy <i>twk</i>	ProjNo X-TS01	ProjName Temp. Stg Structure	ShtName Site Dimension Plan	Sheet No. C2r Sheet 2 of 6 Sheets
		ChkdBy <i>rb</i>	Date 10/24/21	Location Alb, NM	Owner X Factor Church	

ADMINISTRATIVE AMENDMENT

FILE #: SI-2021-02047

PROJECT #: PR-2021-006295

Addition of a 1,500 sq ft Locate Pre-engineered, Pre-fabricated, Site Assembled

Structure in parking area on the east side of the site. No other changes.



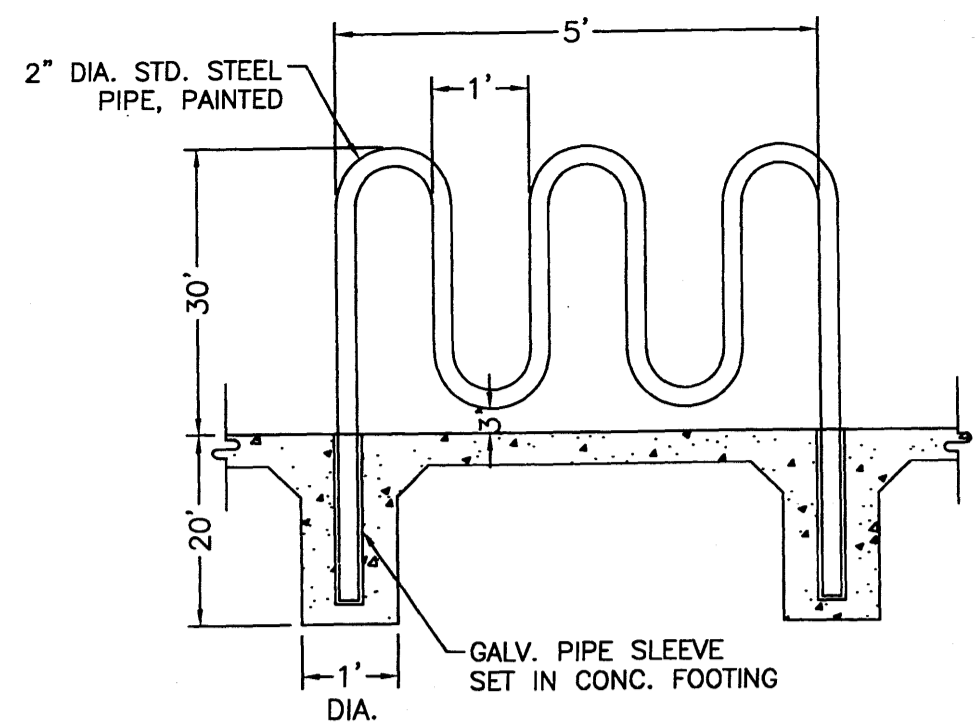
Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.03.14 11:38:51 -06'00'

1/13/2022

APPROVED BY

DATE





BIKE RACK DETAIL
NTS

SHEET INDEX

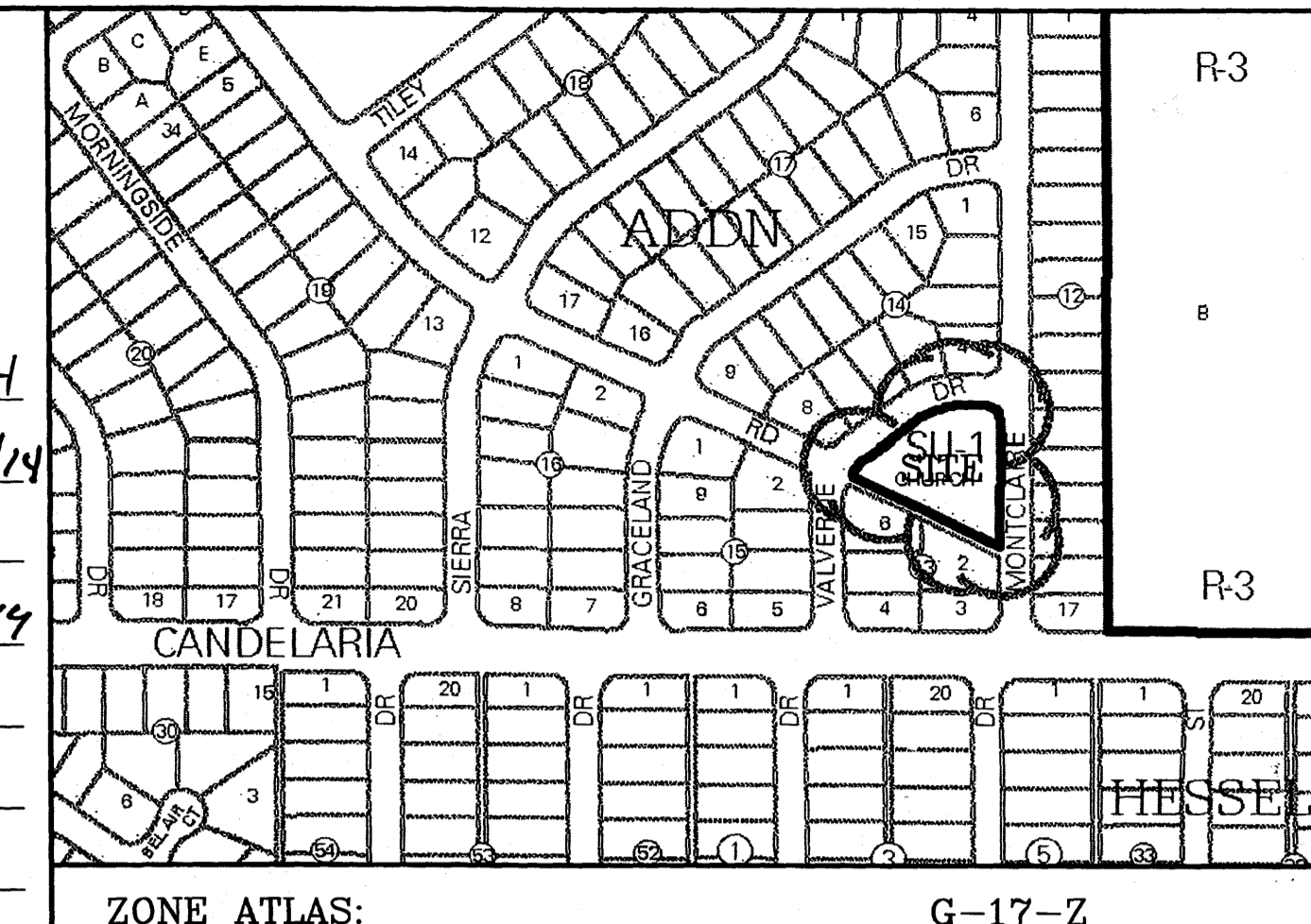
1. AMENDED SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATIONS
5. MASTER UTILITY PLAN
6. EXISTING APPROVED SITE PLAN FOR BUILDING PERMIT

PROJECT NUMBER: 1009923
APPLICATION NUMBER: 13ER40158

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	04-16-14
Utilities Development	04-16-14
Parks & Recreation Department	4-16-14
City Engineer	4-16-14
Environmental Health Department (conditional)	
Solid Waste Management	4-16-14
DRB Chairperson, Planning Department	



LEGAL DESCRIPTION:

LOT 1, BLK 13, CARLISLE PLAZA ADDITION

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. NO ACCESS NEW SHALL BE PROVIDED FROM VALVERDE.
4. Landscaping, fencing and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

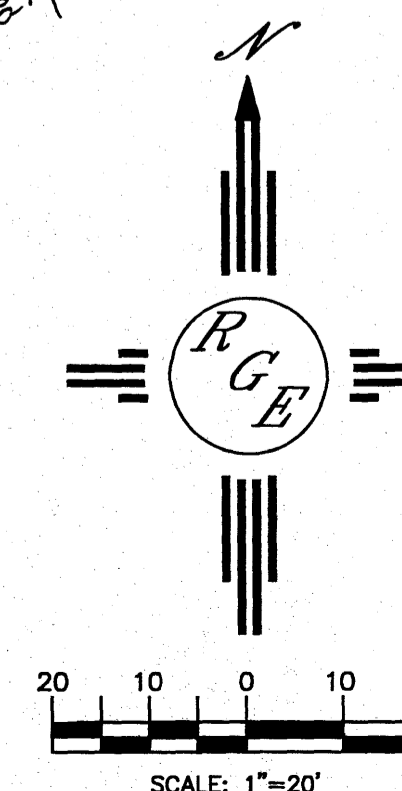
LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED BUILDING
- EXISTING BUILDING
- EXISTING PERIMETER WALL

SITE DATA

TOTAL ACREAGE:	0.7074 AC±
EXISTING ZONING:	SU-1 FOR CHURCH
EXISTING USE:	CHURCH
EXISTING BLDG SF:	5800 SF
PROPOSED BLDG SF:	1500 SF
REQUIRED PARKING:	26 SPACES (1 SPACE PER 4 SEATS @ 104 SEATS)
PROVIDED PARKING:	33 SPACES (2 SMALL CAR)
HC REQUIRED PARKING:	2 SPACES
HC PROVIDED PARKING:	2 SPACES
MOTORCYCLE REQUIRED PARKING:	1 SPACES
MOTORCYCLE PROVIDED PARKING:	1 SPACES
BICYCLE REQUIRED PARKING:	3 SPACES
BICYCLE PROVIDED PARKING:	3 SPACES

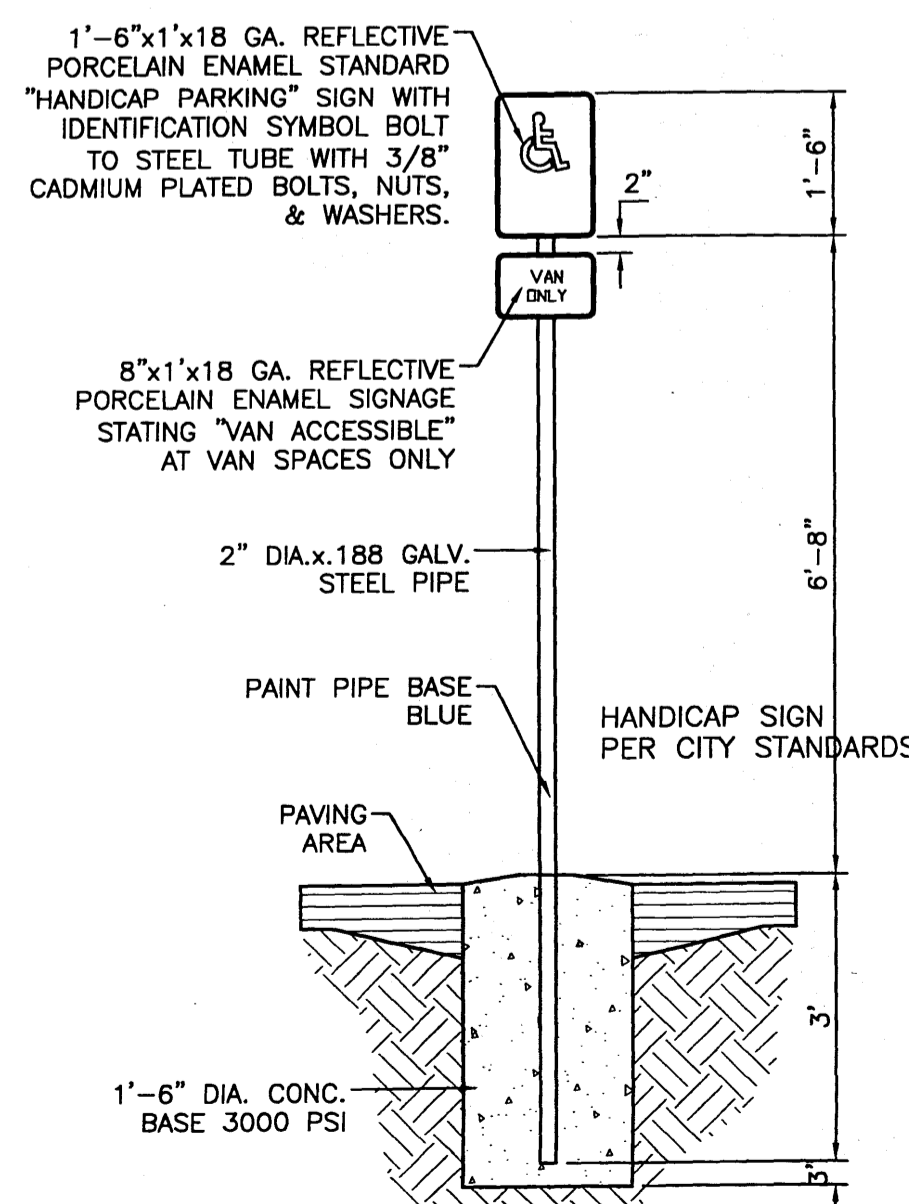
CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED
Jee who 4-23-14



ENGINEER'S SEAL	X-FACTOR	DRAWN BY WCVJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	AMENDED SITE PLAN FOR BUILDING PERMIT	DATE 2-26-14
DAVID SOULE P.E. #14522	Rio Grande Engineering 1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21350-LAYOUT-12-01-13
		SHEET # 1
		JOB # 21350

I David Soule certify this hydrant is shown correctly. It is within 450 of furthest corner of new building. DMM 4/3/14

AFD PLANS CHECKING OFFICE
924-2611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE 04-02-14



HANDICAP SIGN
NTS

