

TO: JOB FILE

SHEET

A1
OF: 3

REVISIONS:
A3-28-07
A4-4-07
A4-11-07

BUILDING PERMIT NUMBER:

SCALE:

PLOT DATE:
APR. 11, 2007

FILENAME:
SITE

DRAWN BY:
L. KUENN

STORAGE/OFFICE ADDITION

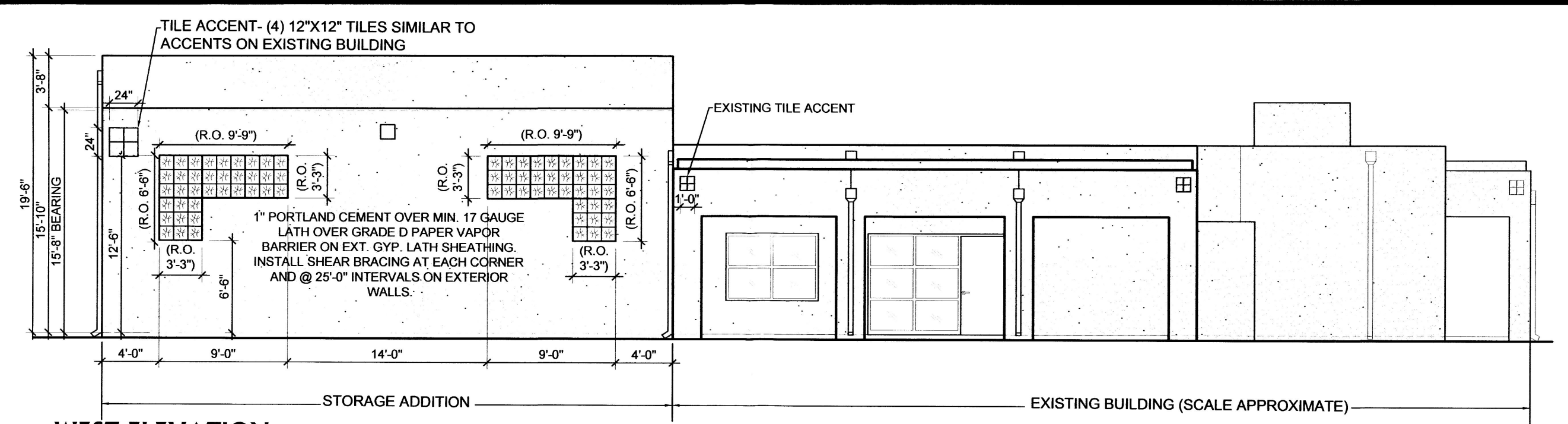
KINESIO TAPING

3901 GEORGIA NE, BLDG F

ALBUQUERQUE, NEW MEXICO

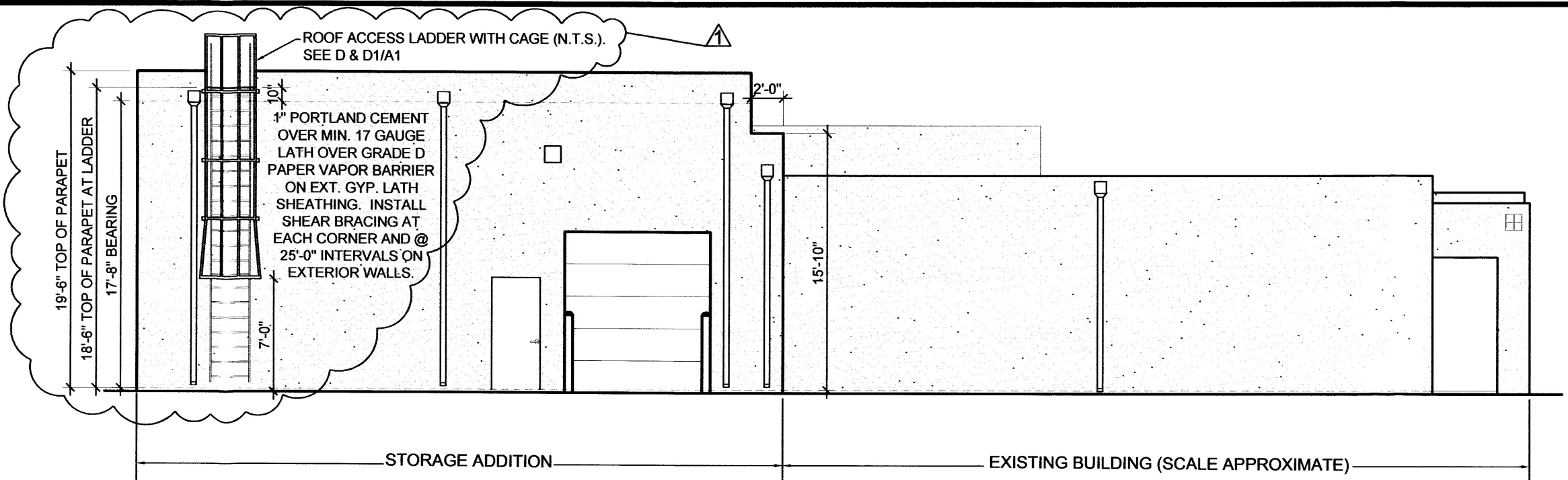
MECHENBER
CONSTRUCTION INC.

8800 WASHINGTON ST. NE SUITE A
ALBUQUERQUE, NM 87110
TEL: (505) 344-7797
WWW.MECHENBER.COM



WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

TRAFFIC CIRCULATION CONCEPT

TRAFFIC WILL CONTINUE TO ENTER AT THE SOUTHWESTERN EDGE OF THE PROPERTY. TRAFFIC FLOW IS TWO-WAY THROUGHOUT SITE. A 20 FT. WIDE OPENING WILL BE CREATED IN THE FENCE ON THE NORTH PROPERTY LINE TO ALLOW DELIVERY VEHICLES TO EXIT VIA THE ALLEY TO THE NORTH. AFTER UNLOADING PRODUCT AT THE NEW STORAGE AREA. PRODUCT DELIVERY IS INFREQUENT, APPROXIMATELY ONCE PER MONTH.

PROJECT DATA:

3901 GEORGIA STREET N.E.
ALBUQUERQUE NM

LEGAL DESCRIPTION: TRACT A, PHASE 1, ALTAMONT, UNIT 6, BLOCK K, LOT 1, PROJECTED SECTION 1, T. 10 N., R. 3 E., N.M.P.M.

PROJECT DESCRIPTION:

STORAGE/OFFICE ADDITION TO EXISTING OFFICE BUILDING

CODE INTERPRETATION:

BUILDING CODE: INTERNATIONAL BUSINESS CODE 2003
ZONING:

OCCUPANCY GROUPS (NONSEPARATED):

B(OFFICE) - EXISTING
S-2 (LOW HAZARD STORAGE) - NEW STORAGE/OFFICE - THIS
TENANT IMPROVEMENT - OFFICE & MINIMAL
STORAGE OF BOXES OF ATHLETIC TAPING, ON
PALLETS

NONSEPARATED USE PER IBC 302.3.1: FIRE SEPARATIONS ARE NOT REQUIRED BETWEEN USES EXCEPT AS REQUIRED BY OTHER PROVISIONS

CONSTRUCTION TYPE:

EXISTING OFFICE - VB
NEW STORAGE/OFFICE - VB

OCCUPANT LOAD FACTOR

EXISTING OFFICE(B): ONE PERSON PER 100 S.F.
= 3,768/100 = 38
NEW STORAGE (S-2): ONE PERSON PER 500 S.F.
= 1600/500 = 3
TOTAL OCCUPANT LOAD = 41

PARKING:

REQUIRED PARKING:
EXIST'G/OFFICE 3768SF/200 19
NEW STORAGE 1311SF/200 7
NEW OFFICE 289/200 1
TOTAL 27
36

PARKING PROVIDED:

HANDICAP PARKING REQUIRED: 2
HANDICAP PARKING PROVIDED (EXST'G): 2

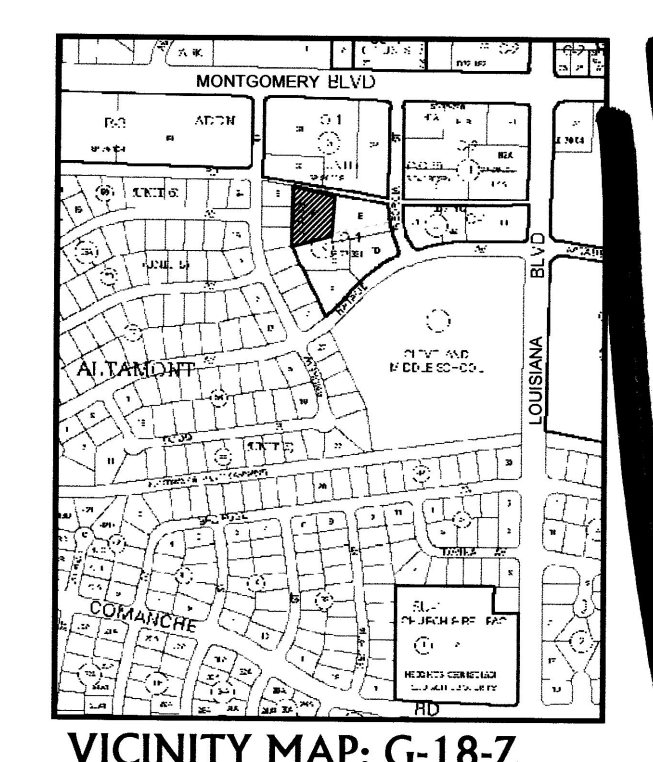
ROOM FINISH SCHEDULE

ROOM	ROOM NAME	CEILING MATERIAL	FLOORING MATERIAL	WALL FINISH	CEILING HEIGHT
101	A				
9	R				

CEILING MATERIALS:
G - GYP BOARD
A - ACOUSTICAL TILE
P - PAINT EXPOSED STRUCTURE
X - EXPOSED STRUCTURE

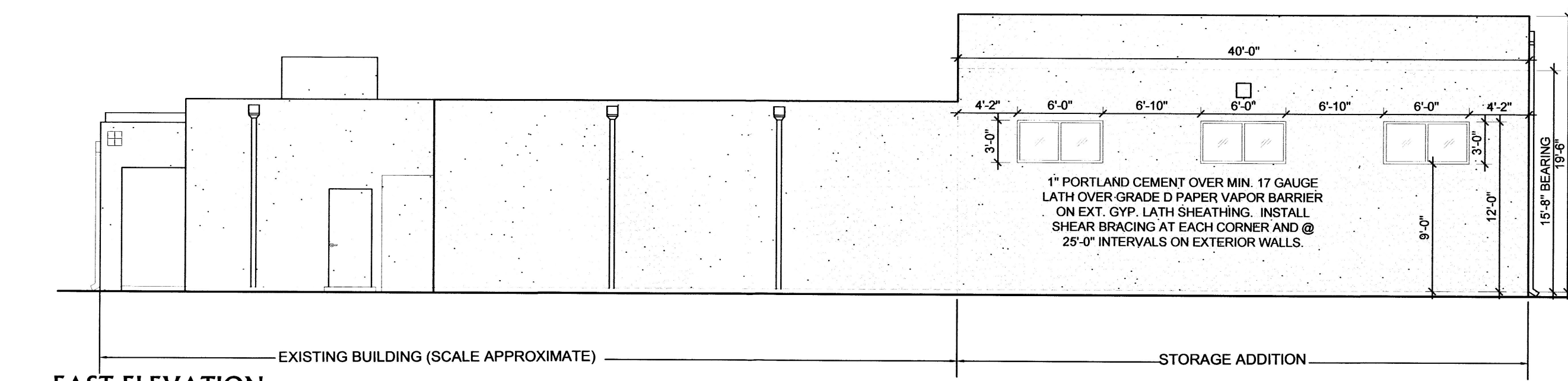
FLOORING TYPE:
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P - EPOXY PAINTED CONC.
T - CERAMIC TILE
V - VINYL COMPOSITION TILE
X - SEALED CONCRETE

WALL FINISHES:
P - PAINTED



VICINITY MAP: G-18-Z

SCALE: N.T.S.

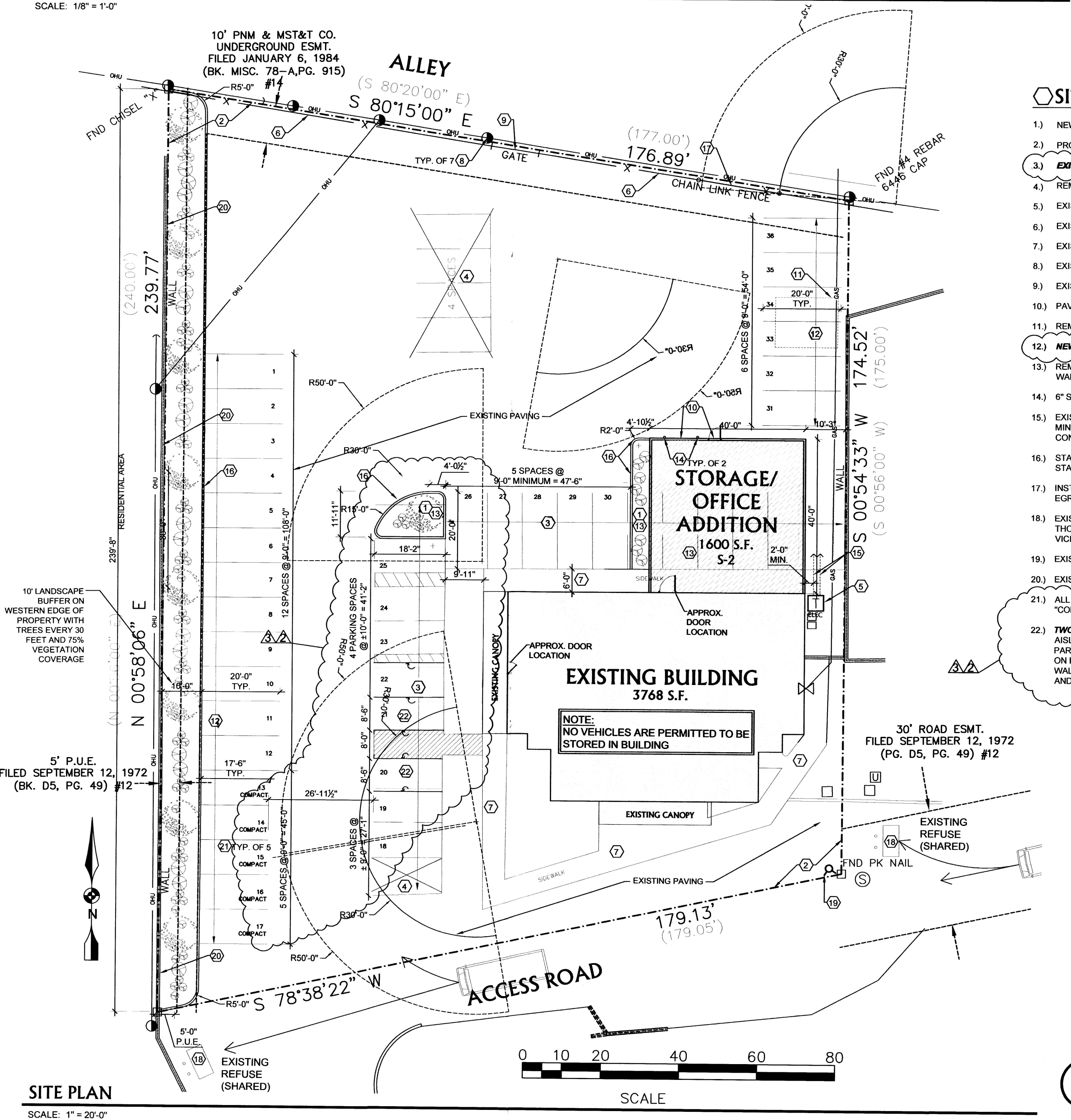
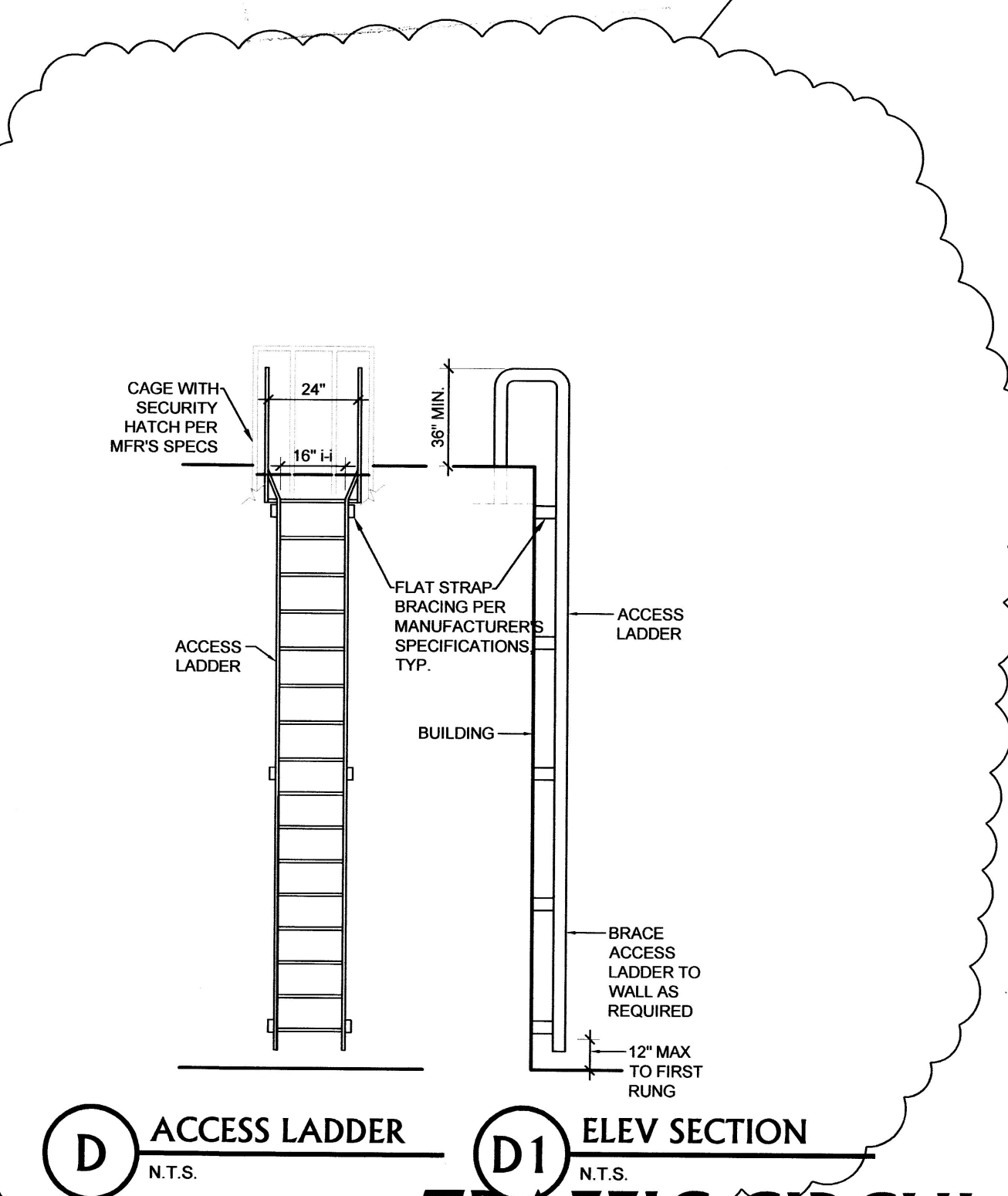
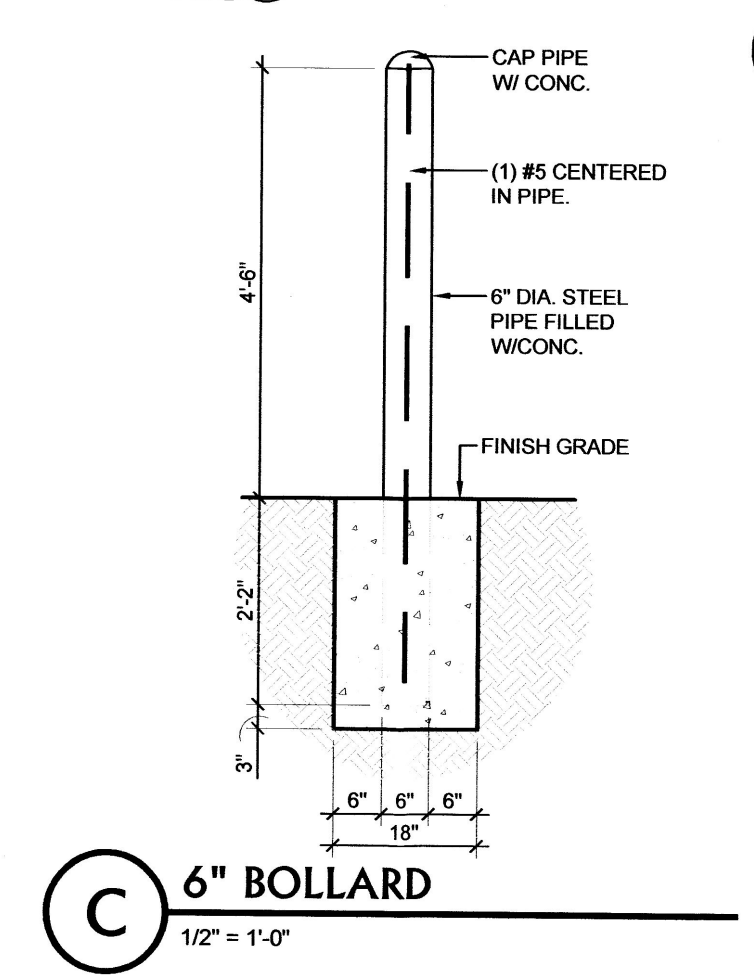


EAST ELEVATION

SCALE: 1/8" = 1'-0"

SITE PLAN KEYED NOTES:

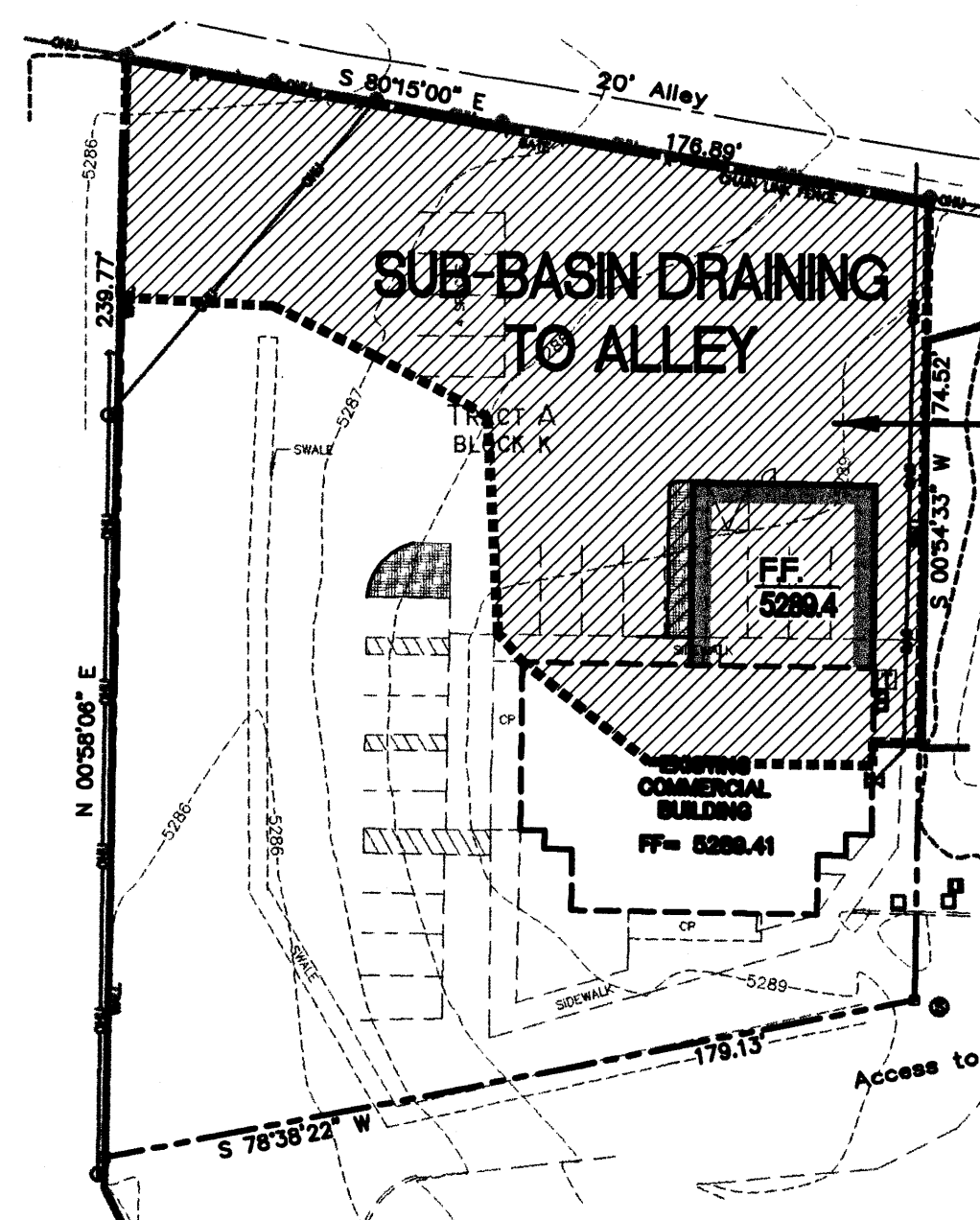
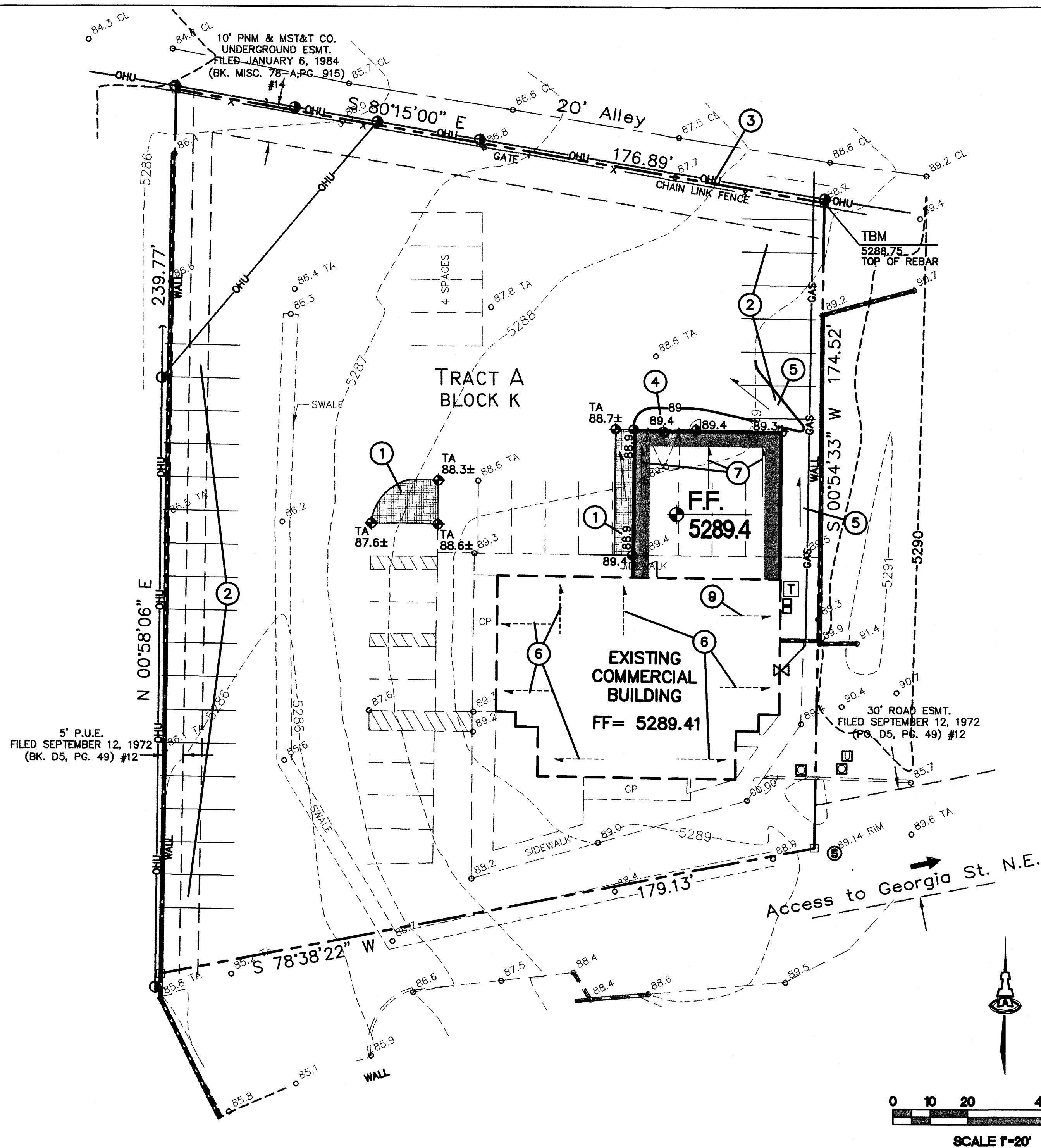
- NEW LANDSCAPED AREA.
- PROPERTY LINE.
- EXISTING PARKING WITH STALL STRIPING.
- REMOVE EXISTING PARKING.
- EXISTING TRANSFORMER LOCATION.
- EXISTING CHAIN LINK FENCE.
- EXISTING SIDEWALK.
- EXISTING OVERHEAD UTILITY POLE.
- EXISTING GATE.
- PAVING TO MATCH ALL DOOR SILL ELEVATIONS.
- REMOVE EXISTING WROUGHT IRON CANOPY.
- NEW PARKING STALL STRIPING.
- REMOVE EXISTING WALK AND ASPHALT PAVING AT NEW WAREHOUSE AND NEW LANDSCAPED AREAS.
- 6" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL C/A1.
- EXISTING UNDERGROUND ELECTRIC SERVICE. MAINTAIN A MINIMUM DISTANCE OF 2'-0" BETWEEN UNDERGROUND POWER CONDUIT AND NEW CONSTRUCTION.
- STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- INSTALL NEW 20'-0" OPENING IN EXISTING FENCE FOR TRUCK EGRESS.
- EXISTING REFUSE CONTAINER, NON/VISIBLE FROM PUBLIC THOROUGHFARES AND SHARED WITH OTHER PROPERTIES IN THE VICINITY.
- EXISTING FIRE HYDRANT.
- EXISTING 6' HIGH WALL.
- ALL COMPACT SPACES (NEW) TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
- TWO EXISTING HANDICAP PARKING SPACES. ENLARGE EXISTING ASBLE TO 8'-0" FOR VAN ACCESSIBILITY. RESTRIPE EXISTING PARKING STALLS AS SHOWN ON PLAN. PAINT HANDICAP SYMBOL ON PAVEMENT AND INSTALL TWO HANDICAP PARKING SIGNS. WALL MOUNTED OR FREE STANDING, NO SMALLER THAN 12"x18" AND WITH ITS LOWER EDGE NO LESS THAN 4'-0" ABOVE GRADE.



SITE PLAN

SCALE: 1" = 20'-0"

TRAFFIC CIRCULATION LAYOUT SITE PLAN



CALCULATIONS: KINESIO ADDITION : March 13, 2007
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA OF SUB-BASIN	16070 SF = 0.4 Ac.
HISTORIC FLOWS:	DEVELOPED FLOWS:
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 0 SF	Area b = 0 SF
Area c = 0 SF	Area c = 165 SF
Area d = 16070 SF	Area d = 15905 SF
Total Area = 16070 SF	Total Area = 16070 SF
EXCESS PRECIP:	
Precip. Zone 3	Ea = 0.66
	Eb = 0.92
	Ec = 1.29
	Ed = 2.36
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E =	$\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$
Historic E = 2.36 in.	Developed E = 2.35 in.
On-Site Volume of Runoff: V360 = E*A / 12	
Historic V360 = 3160 CF	Developed V360 = 3146 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560	
For Precipitation Zone 3	
Qpa = 1.87	Qpc = 3.45
Qpb = 2.60	Qpd = 5.02
Historic Qp = 1.9 CFS	Developed Qp = 1.8 CFS

GENERAL NOTES

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

GENERAL INFORMATION

LEGAL: TRACT A, PHASE I, ALTAMONT, UNIT 6, BLOCK K, LOT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ADDRESS: 3901 GEORGIA STREET N.E.

BENCHMARK: THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 13-G19, THE PUBLISHED ELEVATION OF WHICH IS 5312.49. BENCHMARK IS LOCATED IN THE EAST SOUTHEAST QUADRANT OF THE INTERSECTION OF MONTGOMERY BLVD. & LOUISIANA BLVD. ON THE NORTHEAST CORNER OF A CONCRETE LIGHT BASE.

SURVEYOR: SURVEYS SOUTHWEST, LTD.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #139, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

PROJECT SCOPE

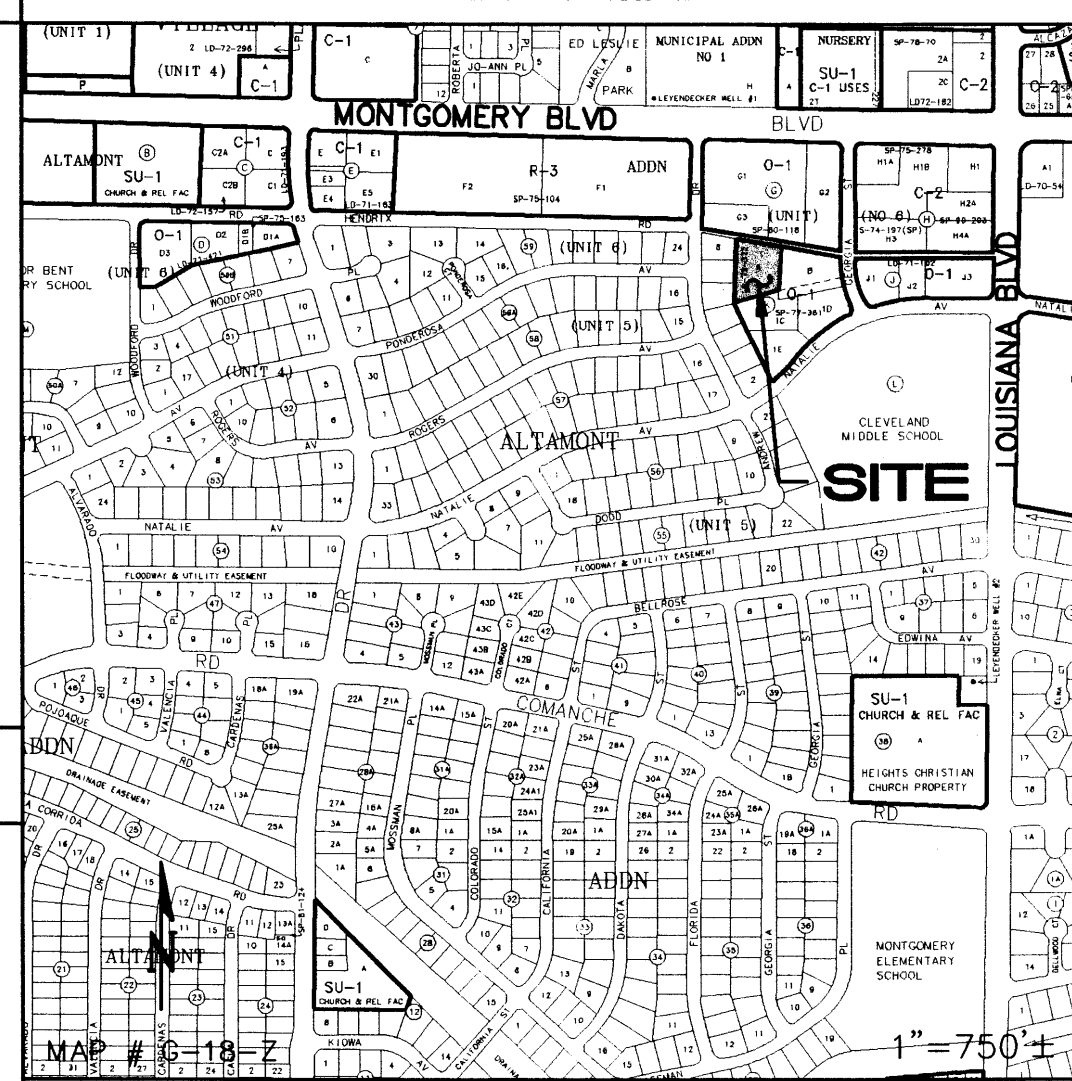
THE PROPOSED IMPROVEMENTS INCLUDE A 1600 SF BUILDING ADDITION WITH ASSOCIATED PARKING AND LANDSCAPING IMPROVEMENTS.

THE SITE IS WITHIN C.O.A. VICINITY MAP G-18. THE SITE IS BOUND TO THE NORTH BY A 20' WIDE ALLEY, TO THE EAST BY A DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY DEVELOPED RESIDENTIAL PROPERTIES AND TO THE SOUTH BY AN ACCESS EASEMENT TO GEORGIA ST. N.E.

DRAINAGE PLAN CONCEPT:

THE PROPOSED BUILDING WILL REPLACE EXISTING ASPHALT. TWO NEW LANDSCAPED AREAS WILL PROVIDE A MINOR REDUCTION IN OVERALL DISCHARGE FROM THE SITE. THIS AREA WILL CONTINUE TO DRAIN TO THE NORTH ALLEY TO FOLLOW THE HISTORIC FLOWPATH.

VICINITY MAP

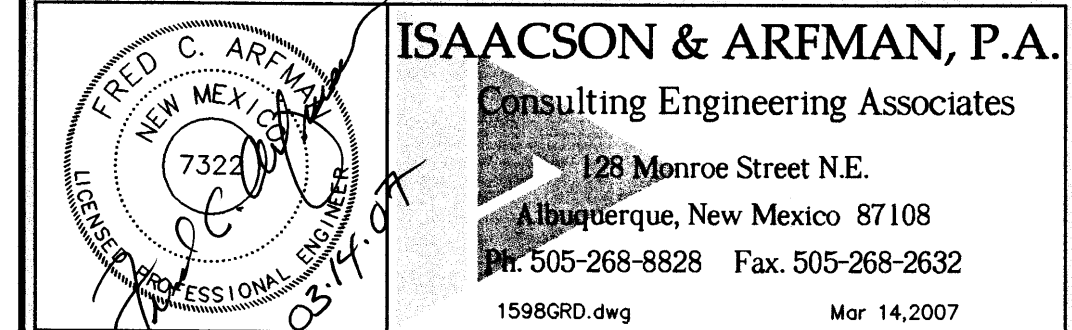


KEYED NOTES

- SEE ARCHITECTURAL FOR EXTENTS OF CONSTRUCTION
- SAWCUT / REMOVE ASPHALT FOR NEW BUILDING AND LANDSCAPED AREAS.
 - NEW PAVEMENT STRIPING.
 - NEW GATE IN EXISTING FENCE FOR TRUCK EGRESS.
 - NEW ASPHALT PAVING THIS AREA TO TRANSITION BETWEEN EXISTING PAVEMENT AND NEW BUILDING ELEVATIONS.
 - REMOVE EXISTING CONCRETE AND ASPHALT AND REGRADE AS REQUIRED TO ENSURE POSITIVE DRAINAGE. NO BIRDBATHS.
 - EXISTING BUILDING ROOF DISCHARGE
 - PROPOSED BUILDING ROOF DISCHARGE
 - ELIMINATE ALL ROOF DISCHARGE TO NORTHEAST SIDE OF BUILDING. RE-ROUTE EXISTING ROOF DOWNSPOUT TO DISCHARGE AT NORTHEAST CORNER OF NEW BUILDING ADDITION.

LEGEND

- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FINISH FLOOR ELEVATION
- FF = XXXX

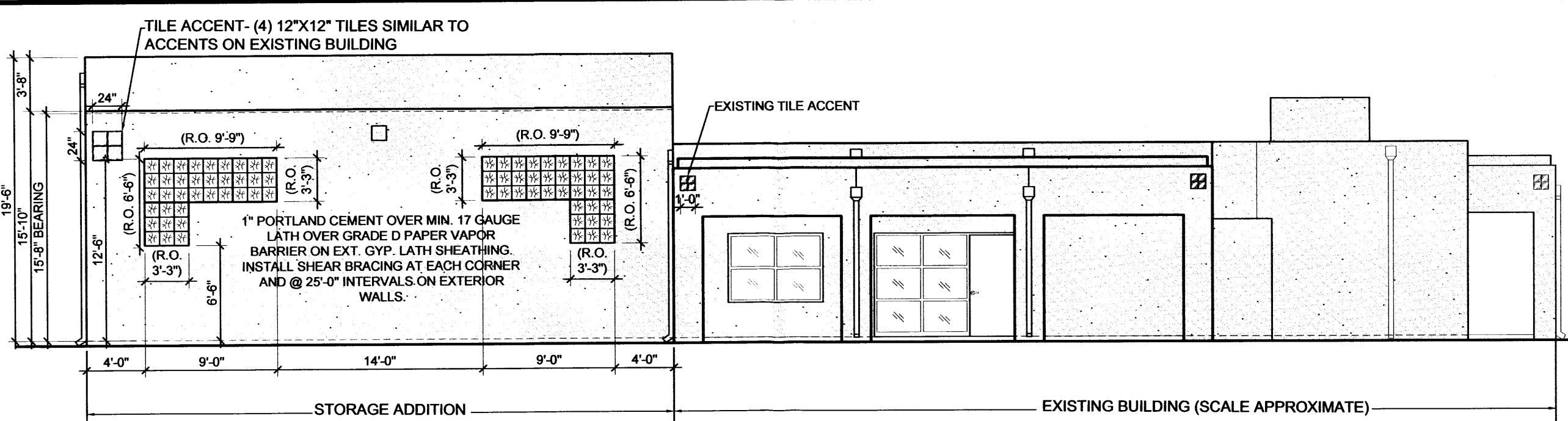
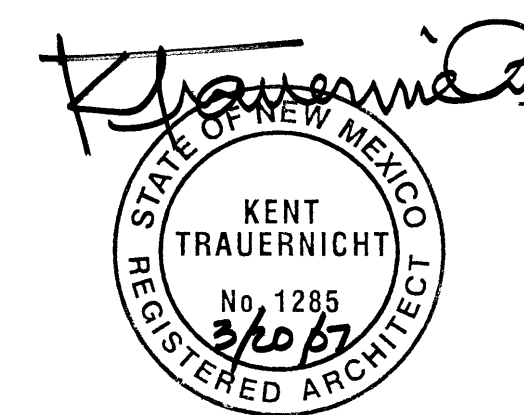


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Kinesio Taping Building Addition
Mechenbier Const.

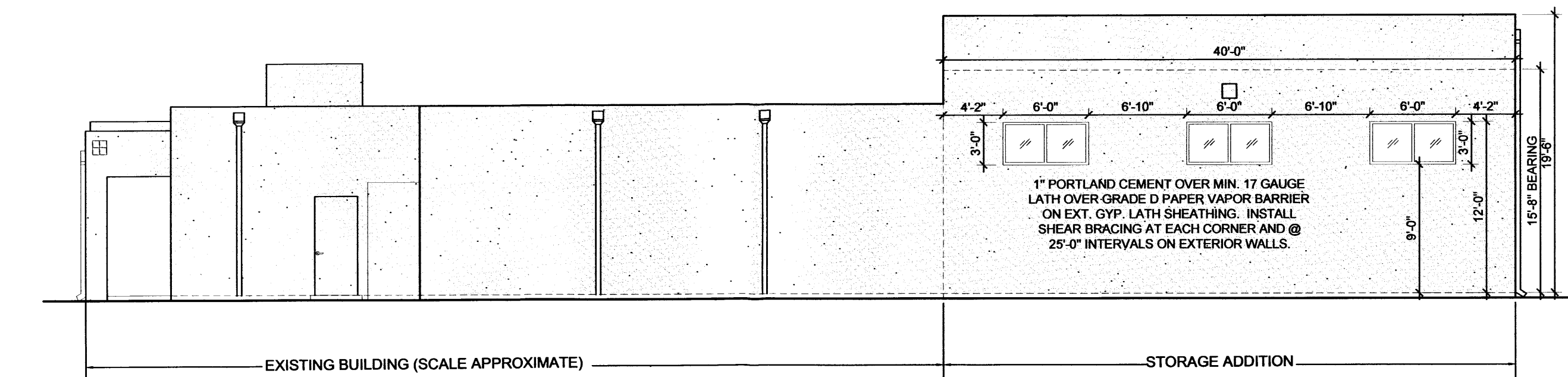
GRADING AND DRAINAGE PLAN

Date: 03-08-07	No. 03	Revision	Date	Job No. 1598
Drawn By: BJB				C11
Ckd By: FCA				91 OF



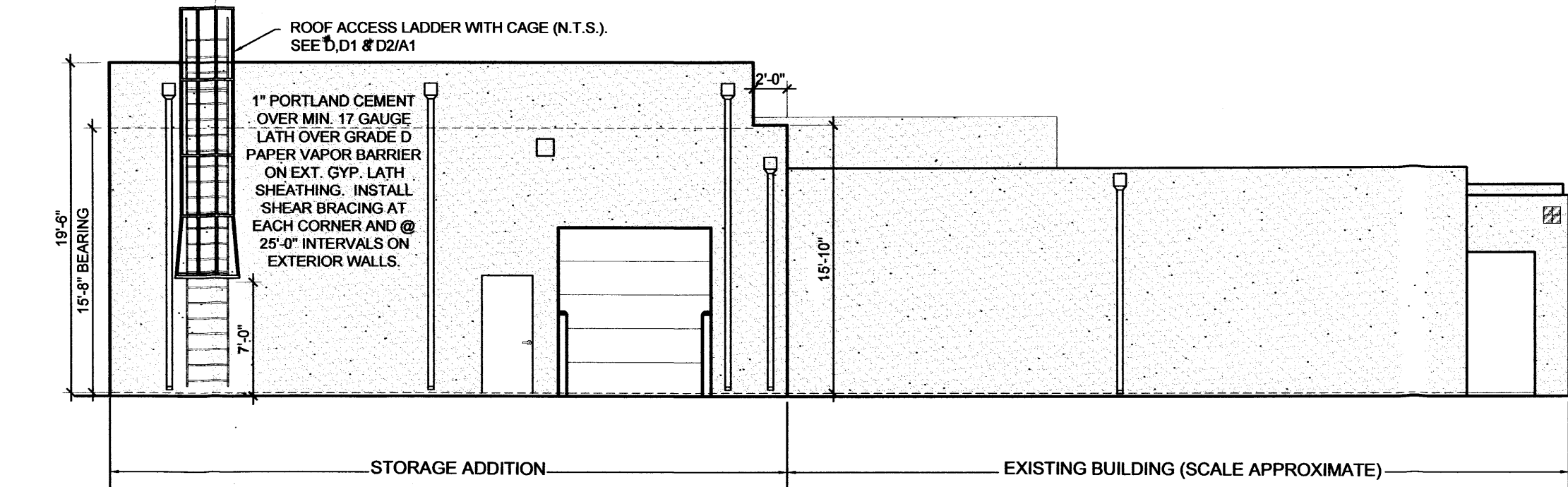
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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PROJECT DATA:

3901 GEORGIA STREET N.E.
ALBUQUERQUE NM

LEGAL DESCRIPTION: TRACT A, PHASE 1, ALTAMONT, UNIT 6,
BLOCK K, LOT 1, PROJECTED SECTION 1, T. 10 N., R. 3 E., N.M.P.M.

PROJECT DESCRIPTION:

STORAGE/OFFICE ADDITION TO EXISTING OFFICE BUILDING

CODE INTERPRETATION:

BUILDING CODE: INTERNATIONAL BUSINESS CODE 2003

ZONING:

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B(OFFICE) - EXISTING

S-2 (LOW HAZARD STORAGE) - NEW STORAGE/OFFICE - THIS
TENANT IMPROVEMENT - OFFICE & MINIMAL
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PALLETS

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CONSTRUCTION TYPE:
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NEW STORAGE/OFFICE - VB
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= 3,768/100 = 38
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= 1600/500 = 3
TOTAL OCCUPANT LOAD = 41

PARKING:

REQUIRED PARKING:		
EXIST'G OFFICE	3768SF/200	= 19
NEW STORAGE	1311SF/200	= 7
NEW OFFICE	289/200	= 1
		27
PARKING PROVIDED:		36

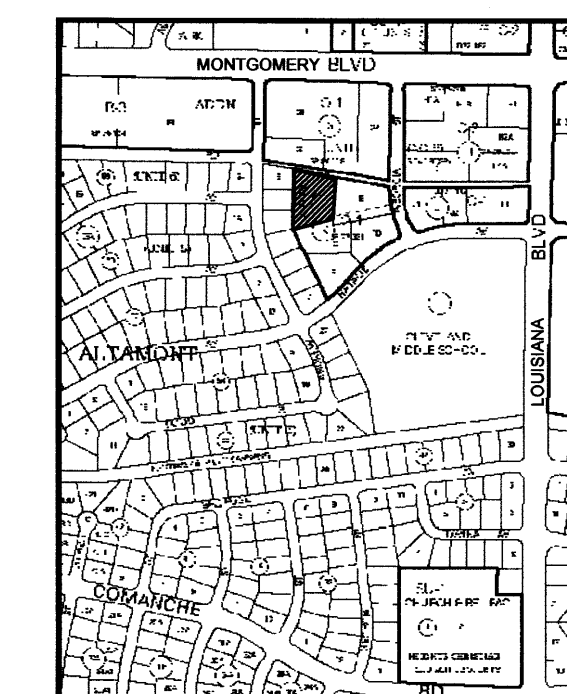
ROOM FINISH SCHEDULE

OFFICE	ROOM NAME	ROOM ID #
101	A	
9'-0"	R	
	T	
		FLOORING MATERIAL
		WALL FINISH
		CEILING HEIGHT

CEILING MATERIALS:
G - GYP BOARD
A - ACOUSTICAL TILE
P - PAINT EXPOSED STRUCTURE
X - EXPOSED STRUCTURE

FLOORING TYPE:
C - CARPET
P - EPOXY PAINTED CONC.
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V - VINYL COMPOSITION TILE
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WALL FINISHES:
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VICINITY MAP: G-18-Z

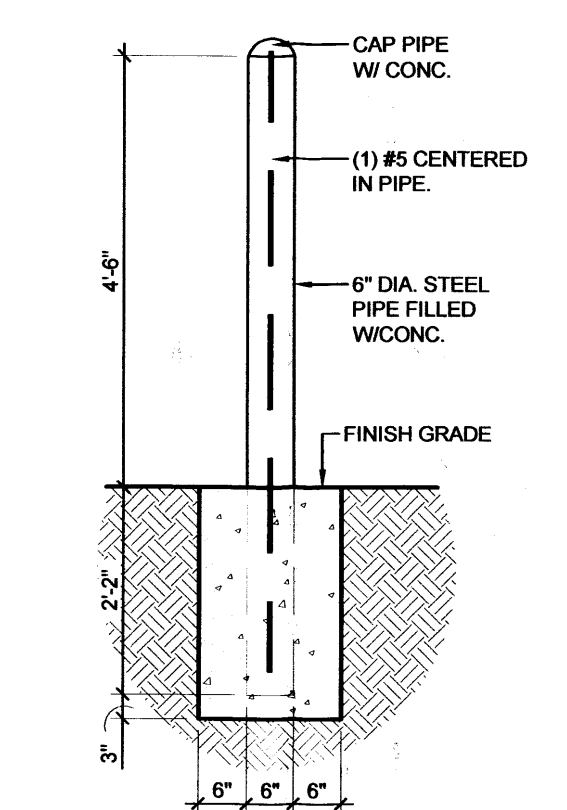
SCALE: N.T.S.



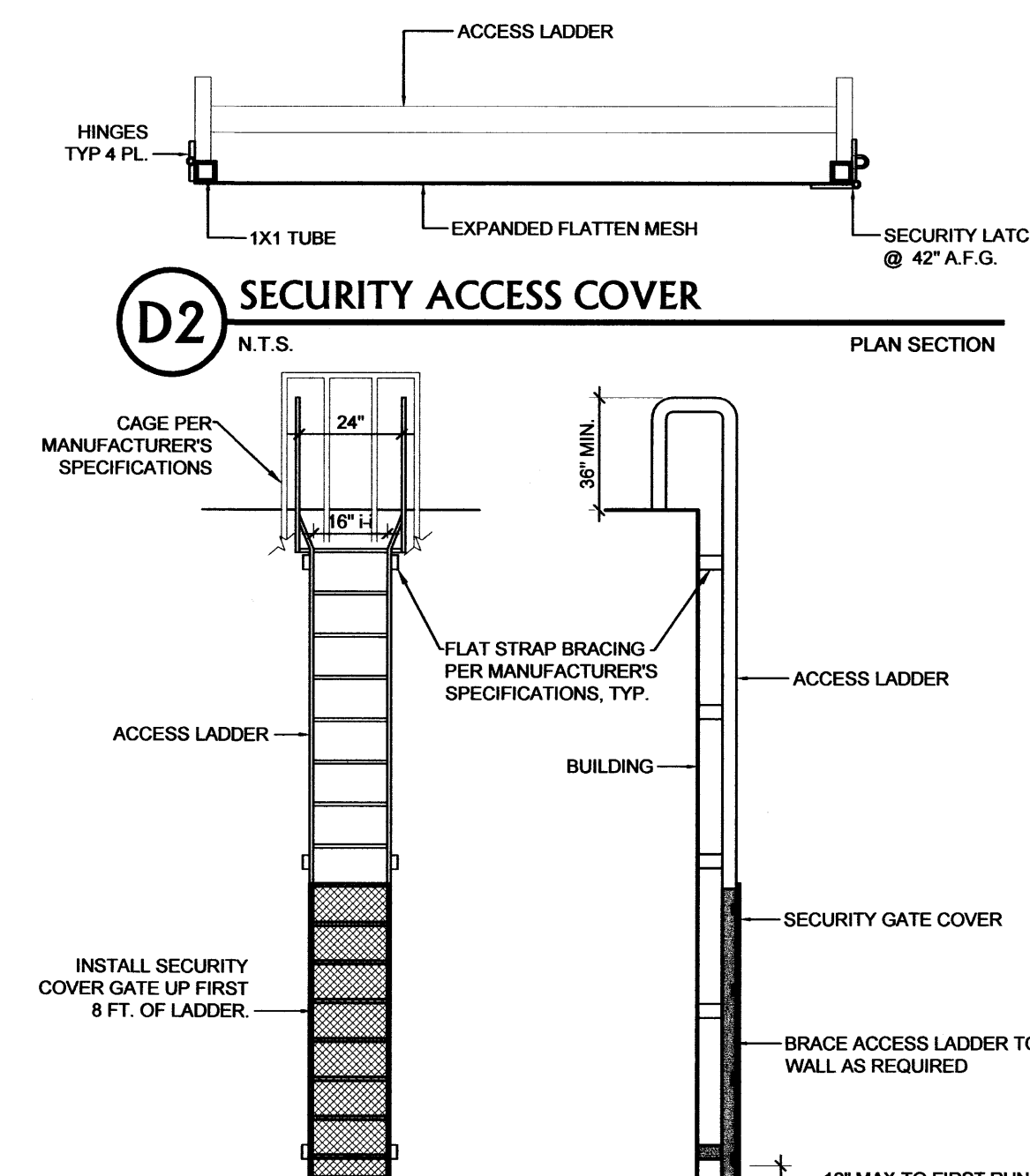
○ SITE PLAN KEYED NOTES:

- NEW LANDSCAPED AREA.
- PROPERTY LINE.
- EXISTING PARKING WITH STALL STRIPING.
- REMOVE EXISTING PARKING.
- EXISTING TRANSFORMER LOCATION.
- EXISTING CHAIN LINK FENCE.
- EXISTING SIDEWALK.
- EXISTING OVERHEAD UTILITY POLE.
- EXISTING GATE.
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- 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL C01.
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- EXISTING FIRE HYDRANT.
- EXISTING 6' HIGH WALL.

R-15' min



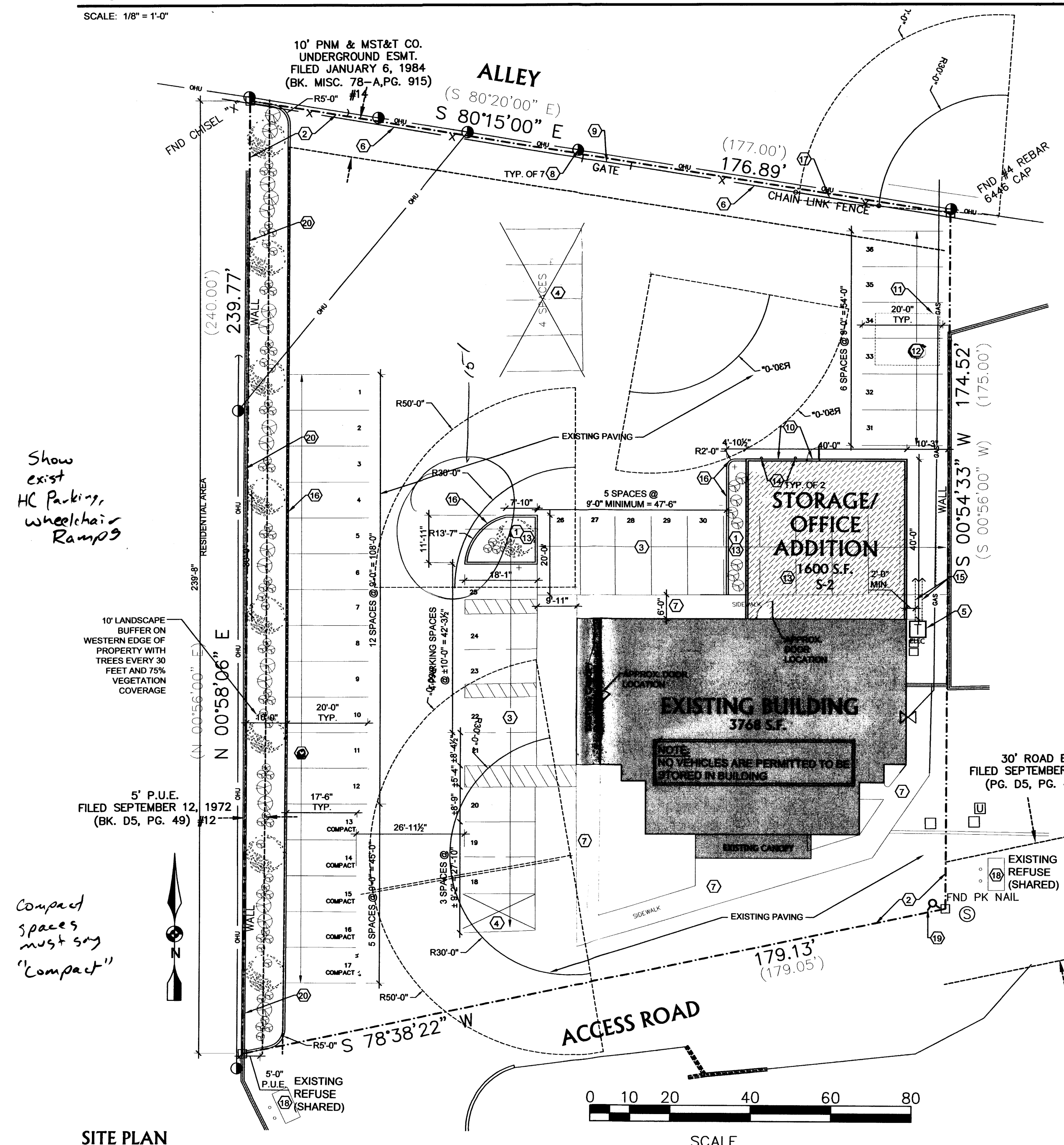
(C) 6" BOLLARD
1/2" = 1'-0"



(D) ACCESS LADDER
N.T.S.

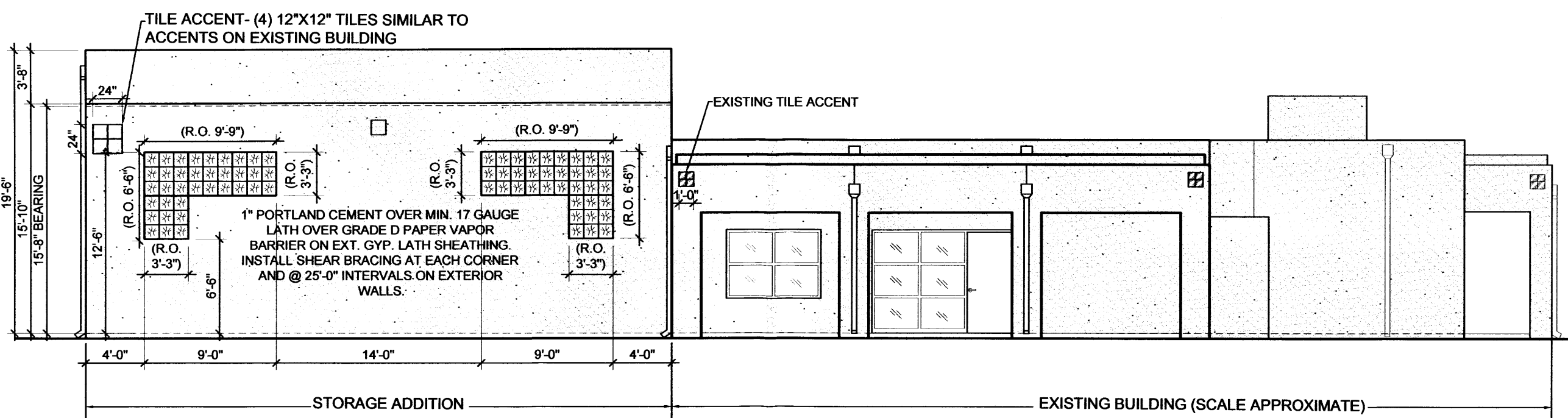
(D1) ELEV SECTION
N.T.S.

TRAFFIC CIRCULATION LAYOUT SITE PLAN



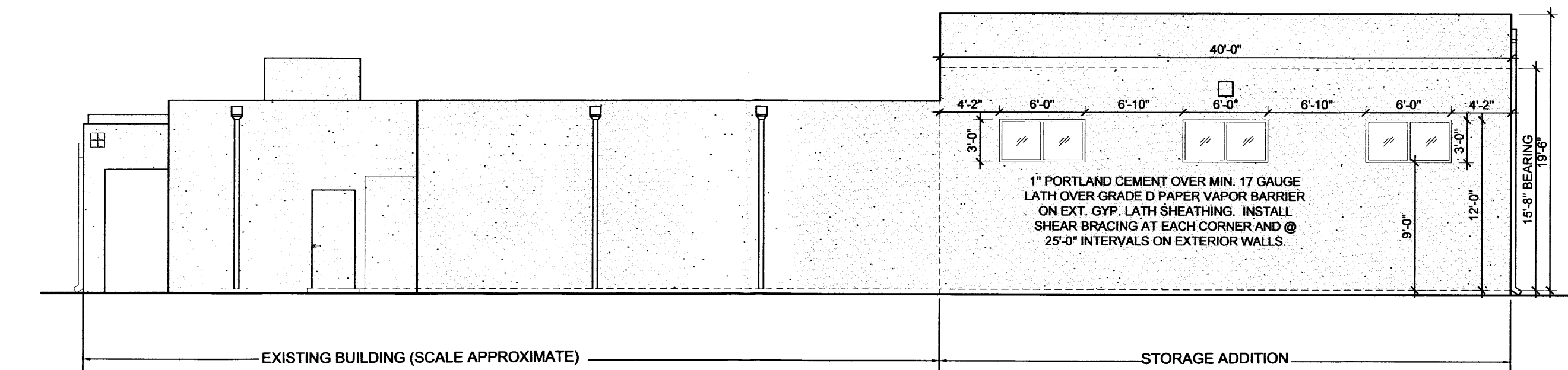
SITE PLAN

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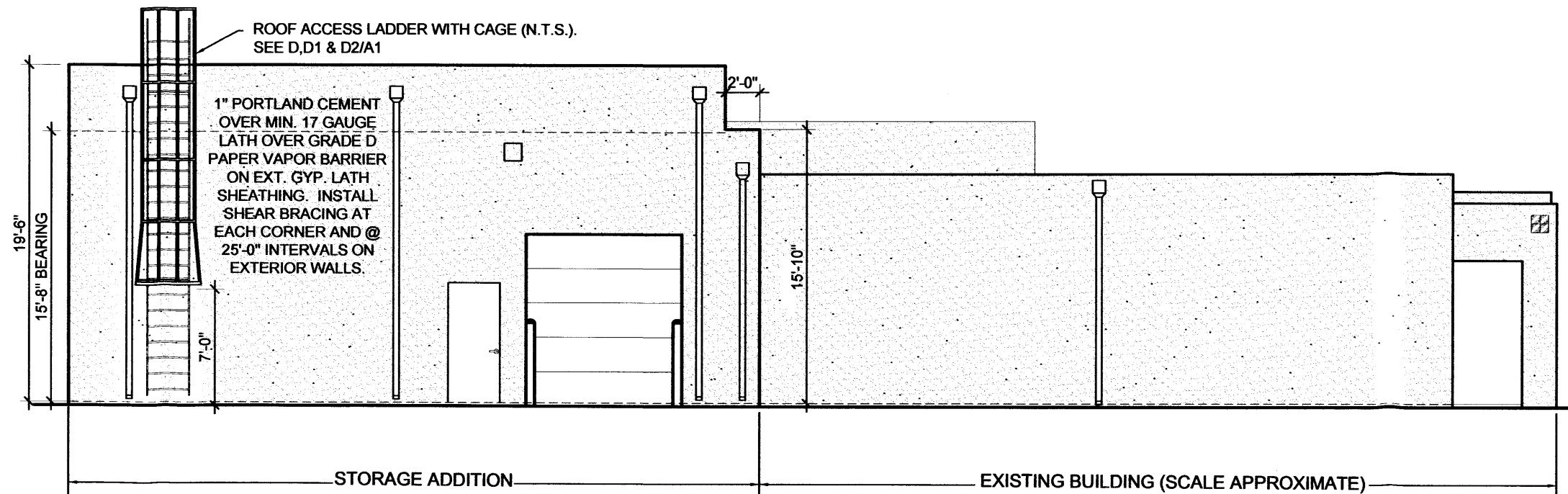
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NEW OFFICE 289/200 = 1

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PARKING PROVIDED:

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ROOM FINISH SCHEDULE

OFFICE

ROOM NAME	ROOM ID #
101' A	1
9'-0" R T	2

CEILING MATERIAL
FLOORING MATERIAL
WALL FINISH
CEILING HEIGHT

CEILING MATERIALS:
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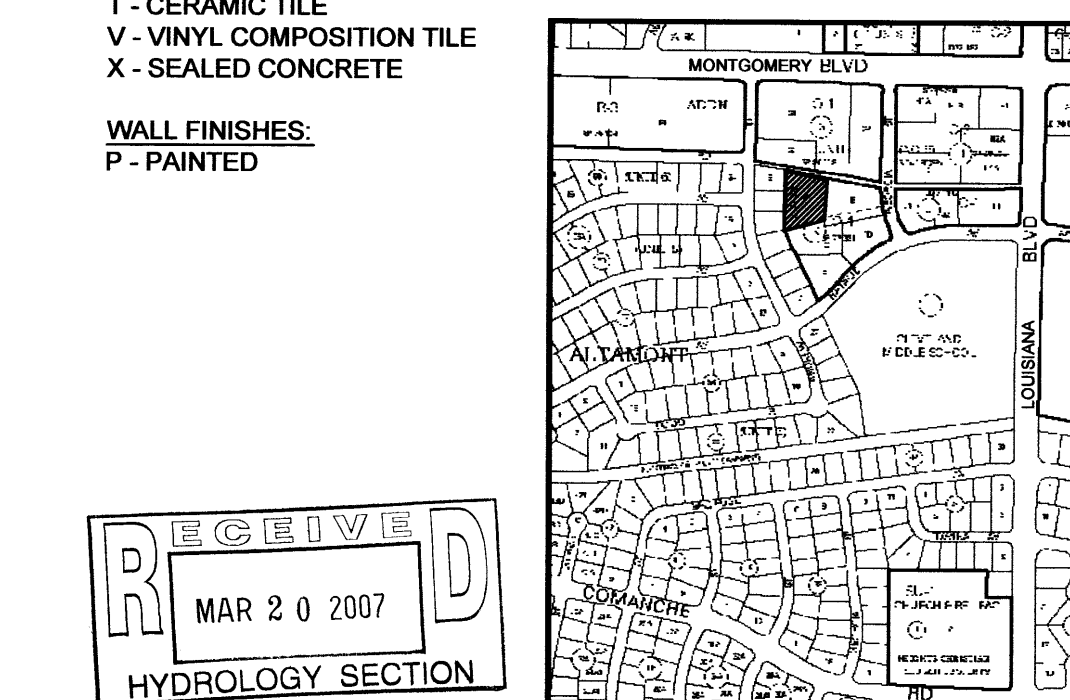
T - CERAMIC TILE

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WALL FINISHES:

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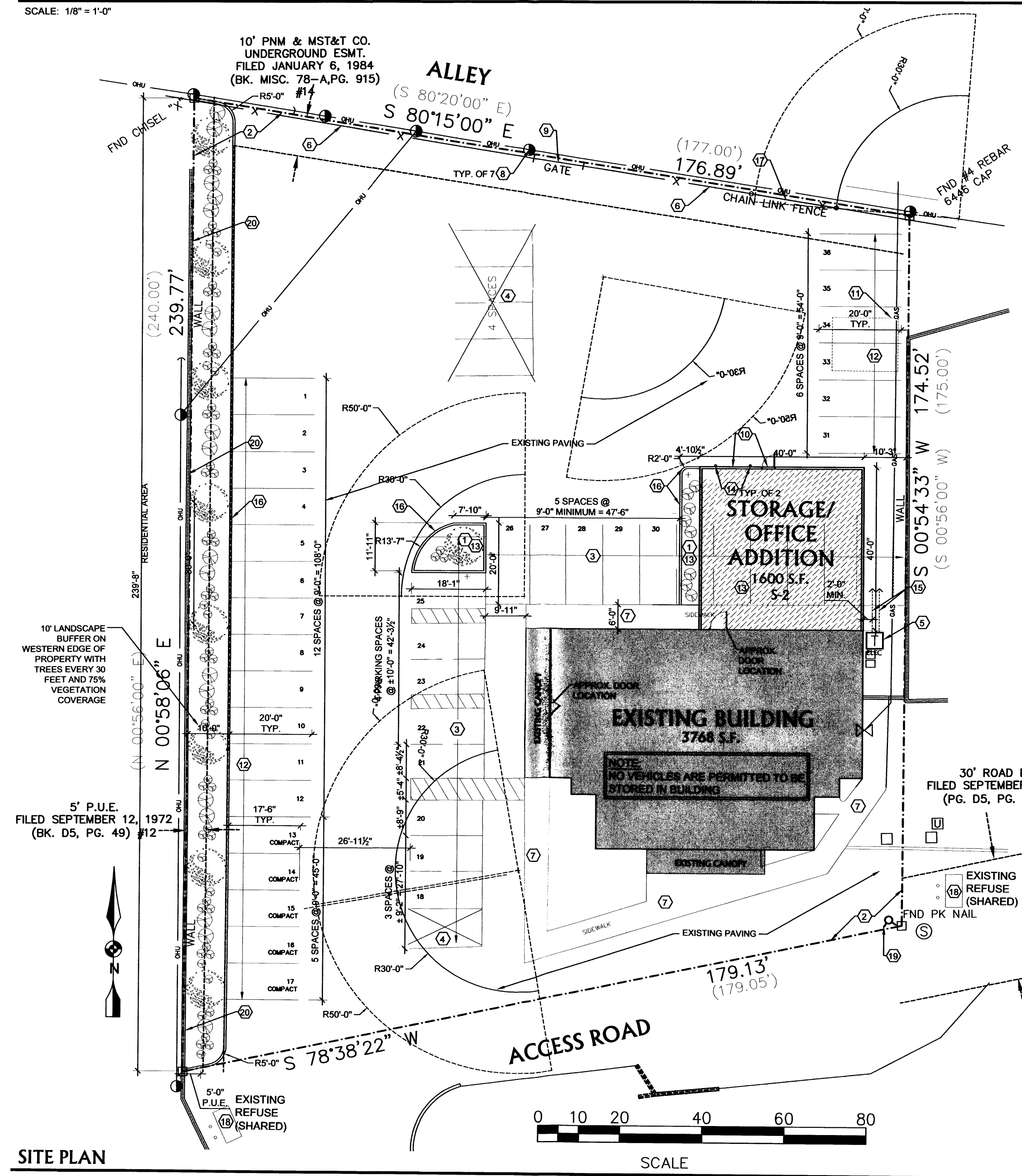
VICINITY MAP: G-18-Z

SCALE: N.T.S.



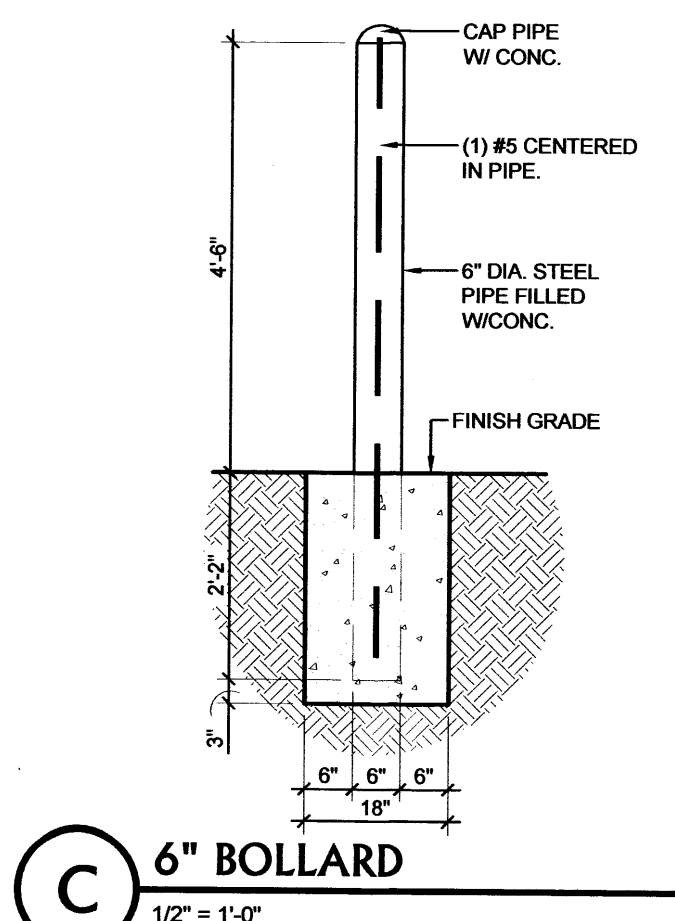
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- 2) PROPERTY LINE.
- 3) EXISTING PARKING WITH STALL STRIPING.
- 4) REMOVE EXISTING PARKING.
- 5) EXISTING TRANSFORMER LOCATION.
- 6) EXISTING CHAIN LINK FENCE.
- 7) EXISTING SIDEWALK.
- 8) EXISTING OVER-HEAD UTILITY POLE.
- 9) EXISTING GATE.
- 10) PAVING TO MATCH ALL DOOR SILL ELEVATIONS.
- 11) REMOVE EXISTING WROUGHT IRON CANOPY.
- 12) NEW PARKING STALL STRIPING.
- 13) REMOVE EXISTING WALK AND ASPHALT PAVING AT NEW WAREHOUSE AND NEW LANDSCAPED AREAS.
- 14) 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL C1A1.
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- 20) EXISTING 6" HIGH WALL.



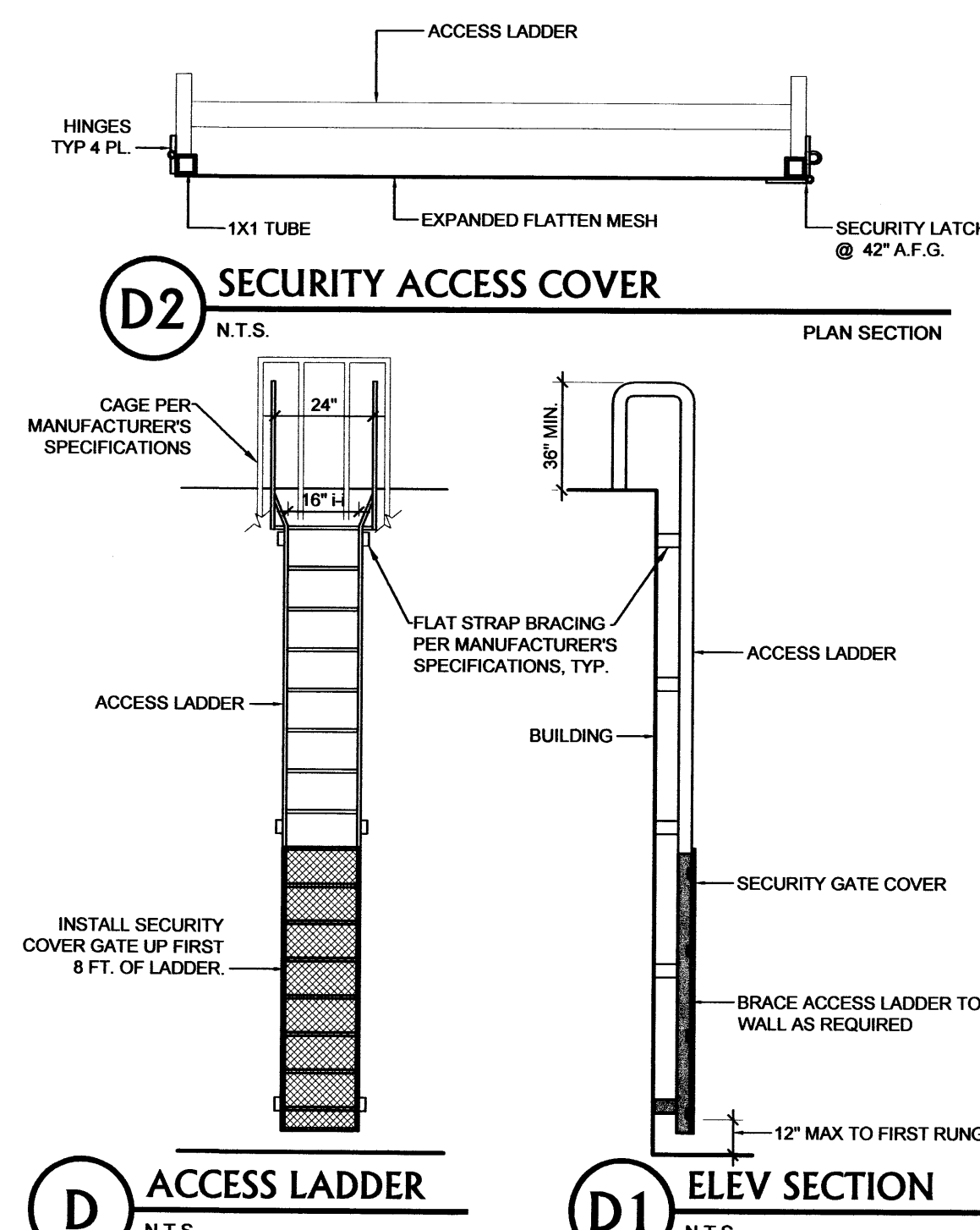
SITE PLAN

SCALE: 1" = 20'-0"



C 6" BOLLARD

1/2" = 1'-0"



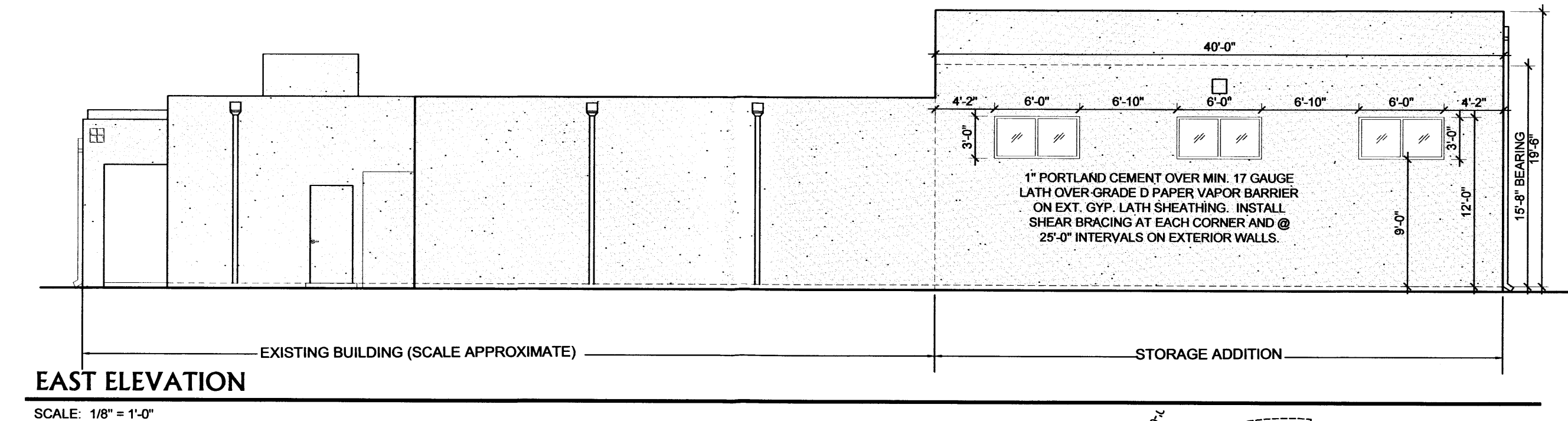
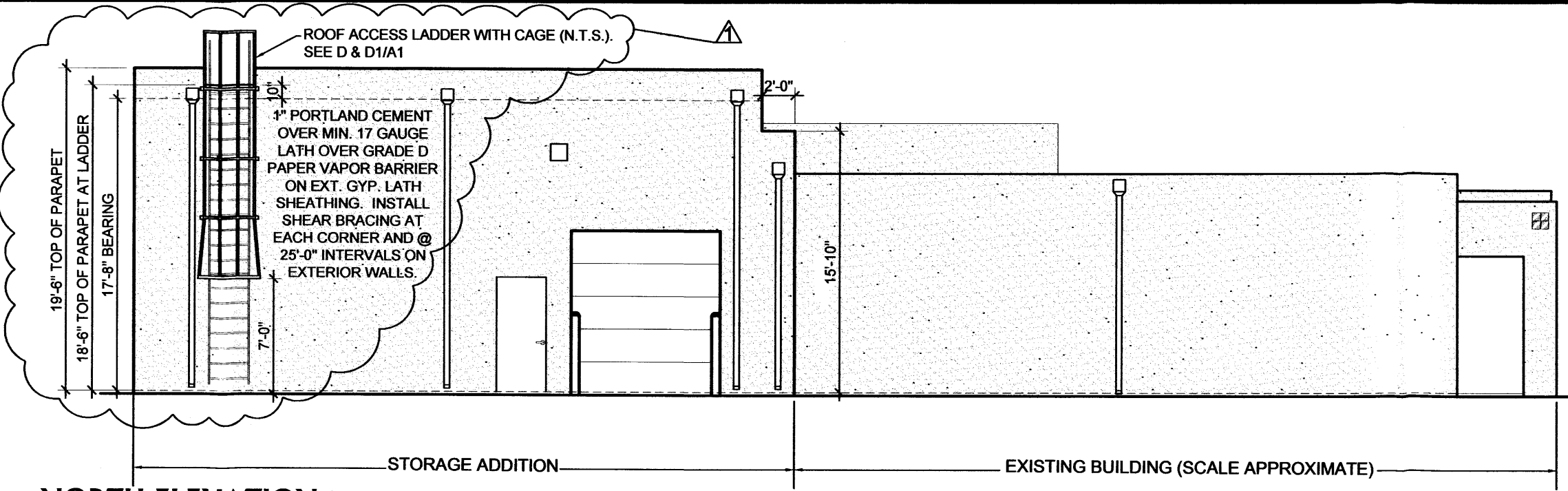
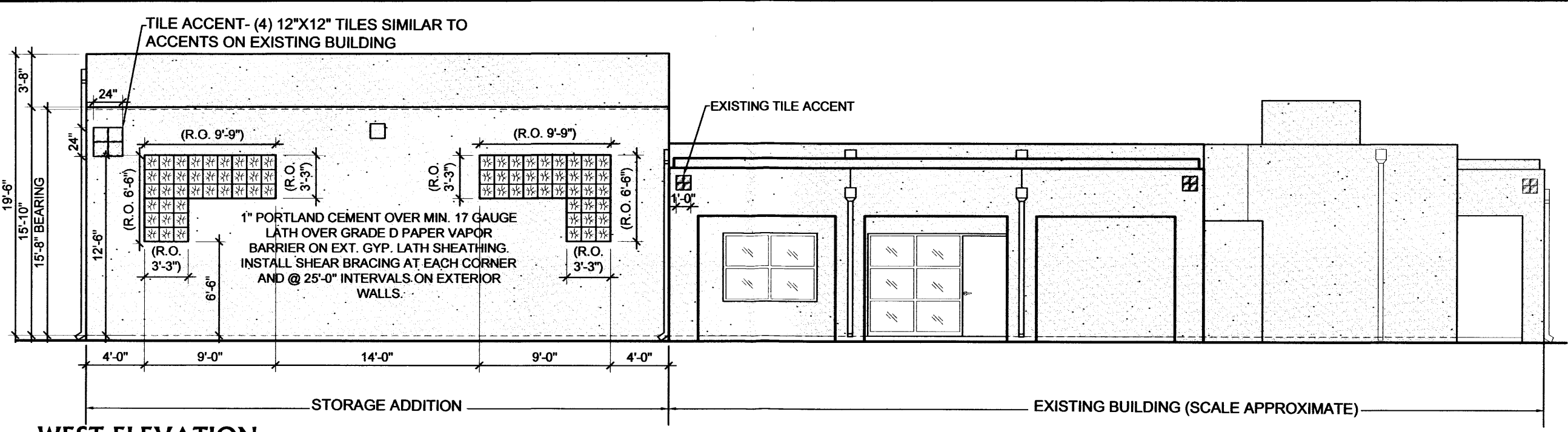
D ACCESS LADDER

N.T.S.

D1 ELEV SECTION

N.T.S.

TRAFFIC CIRCULATION LAYOUT SITE PLAN



TRAFFIC CIRCULATION CONCEPT

TRAFFIC WILL CONTINUE TO ENTER AT THE SOUTHWESTERN EDGE OF THE PROPERTY. TRAFFIC FLOW IS TWO-WAY THROUGHOUT SITE. A 20 FT. WIDE OPENING WILL BE CREATED IN THE FENCE ON THE NORTH PROPERTY LINE TO ALLOW DELIVERY VEHICLES TO EXIT VIA THE ALLEY TO THE NORTH, AFTER UNLOADING PRODUCT AT THE NEW STORAGE AREA. PRODUCT DELIVERY IS INFREQUENT, APPROXIMATELY ONCE PER MONTH.

PROJECT DATA:

3901 GEORGIA STREET N.E.
ALBUQUERQUE NM
LEGAL DESCRIPTION: TRACT A, PHASE 1, ALTAMONT, UNIT 6, BLOCK K, LOT 1, PROJECTED SECTION 1, T. 10 N., R. 3 E., N.M.P.M.

PROJECT DESCRIPTION:

STORAGE/OFFICE ADDITION TO EXISTING OFFICE BUILDING

CODE INTERPRETATION:

BUILDING CODE: INTERNATIONAL BUSINESS CODE 2003
ZONING:
OCCUPANCY GROUPS (NONSEPARATED):
B(OFFICE) - EXISTING
S-2 (LOW HAZARD STORAGE) - NEW STORAGE/OFFICE- THIS TENANT IMPROVEMENT - OFFICE & MINIMAL STORAGE OF BOXES OF ATHLETIC TAPING, ON PALLETS

NONSEPARATED USE PER IBC 302.3.1: FIRE SEPARATIONS ARE NOT REQUIRED BETWEEN USES EXCEPT AS REQUIRED BY OTHER PROVISIONS

CONSTRUCTION TYPE:
EXISTING OFFICE - VB
NEW STORAGE/OFFICE - VB
OCCUPANT LOAD FACTOR
EXISTING OFFICE(B): ONE PERSON PER 100 S.F.
= 3,768/100 = 38
NEW STORAGE (S-2): ONE PERSON PER 500 S.F.
= 1600/500 = 3
TOTAL OCCUPANT LOAD = 41

PARKING:

REQUIRED PARKING:		
EXIST'G OFFICE	3768SF/200	19
NEW STORAGE	1311SF/200	7
NEW OFFICE	289/200	1
		27
		36

PARKING PROVIDED:
HANDICAP PARKING REQUIRED: 2
HANDICAP PARKING PROVIDED (EXST'G): 2

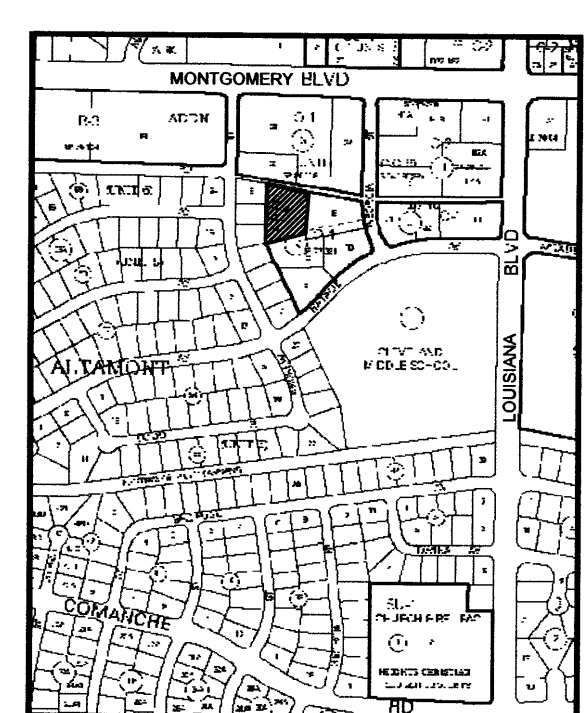
ROOM FINISH SCHEDULE

OFFICE	ROOM NAME
101' A	ROOM 101
9'-0" P	CEILING MATERIAL
	FLOORING MATERIAL
	WALL FINISH
	CEILING HEIGHT

CEILING MATERIALS:
G - GYP BOARD
A - ACOUSTICAL TILE
P - PAINT EXPOSED STRUCTURE
X - EXPOSED STRUCTURE

FLOORING TYPE:
C - CARPET
P - EPOXY PAINTED CONC.
T - CERAMIC TILE
V - VINYL COMPOSITION TILE
X - SEALED CONCRETE

WALL FINISHES:
P - PAINTED

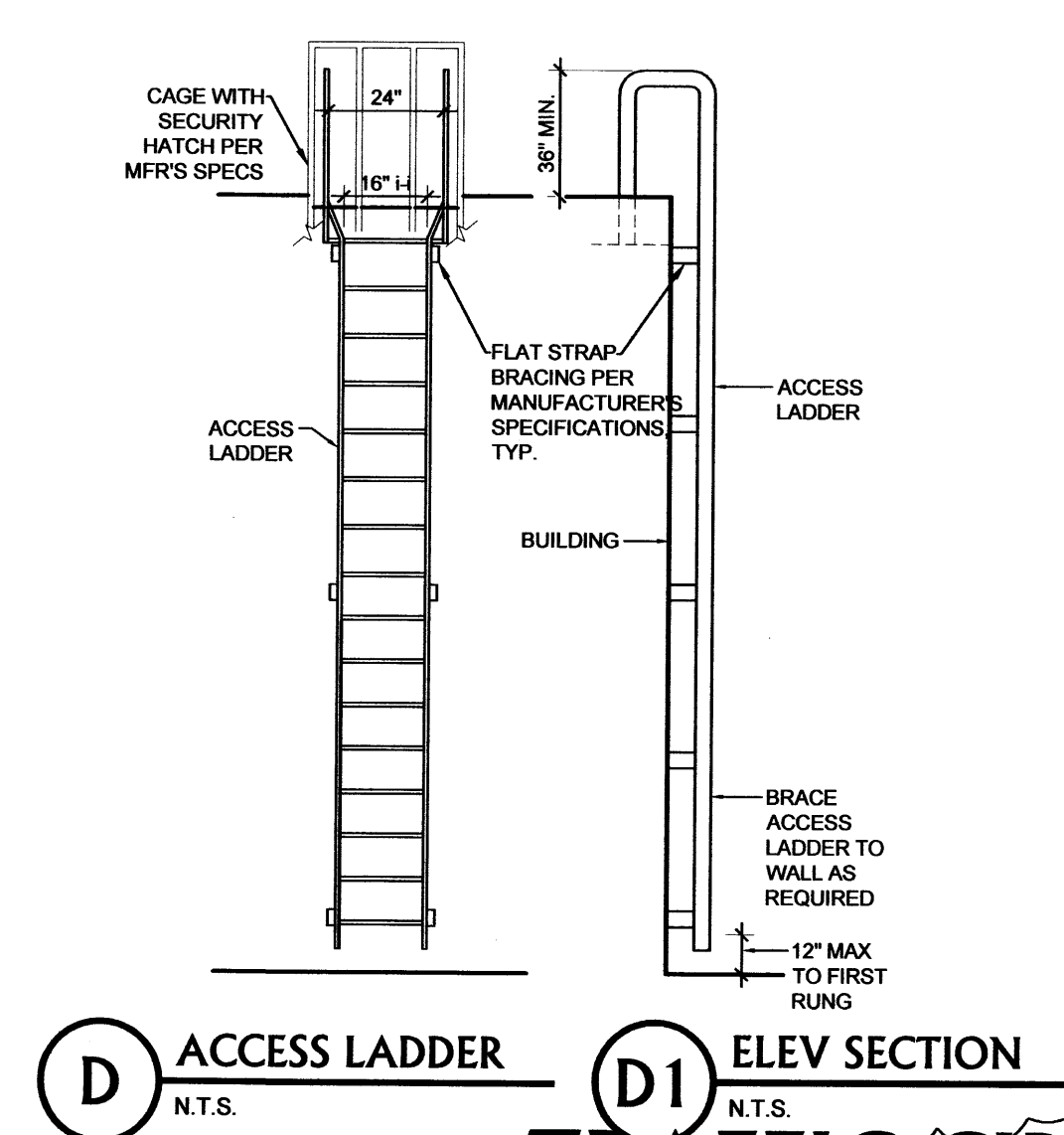
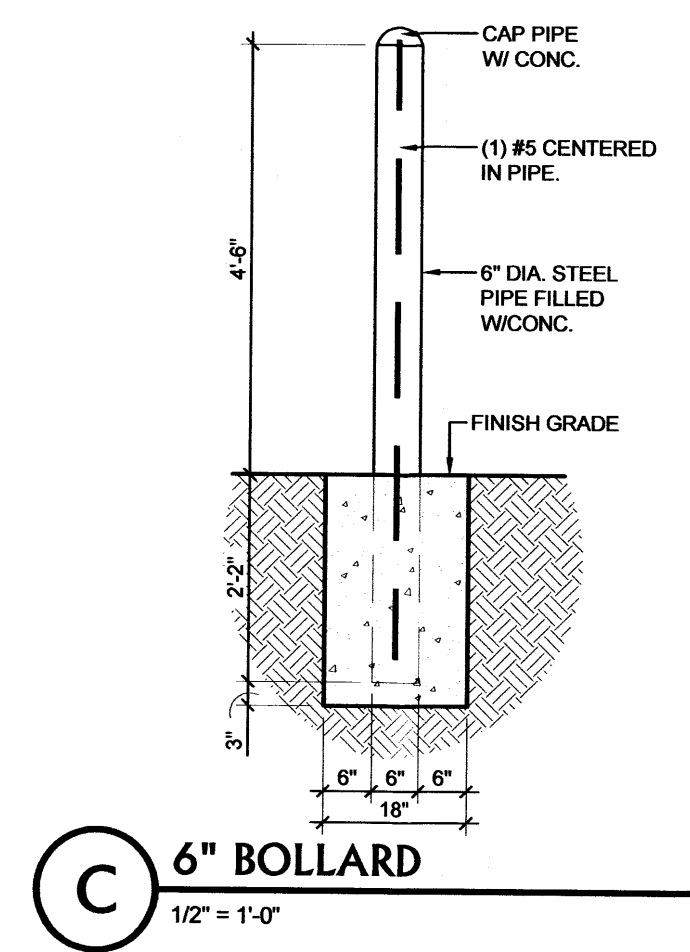
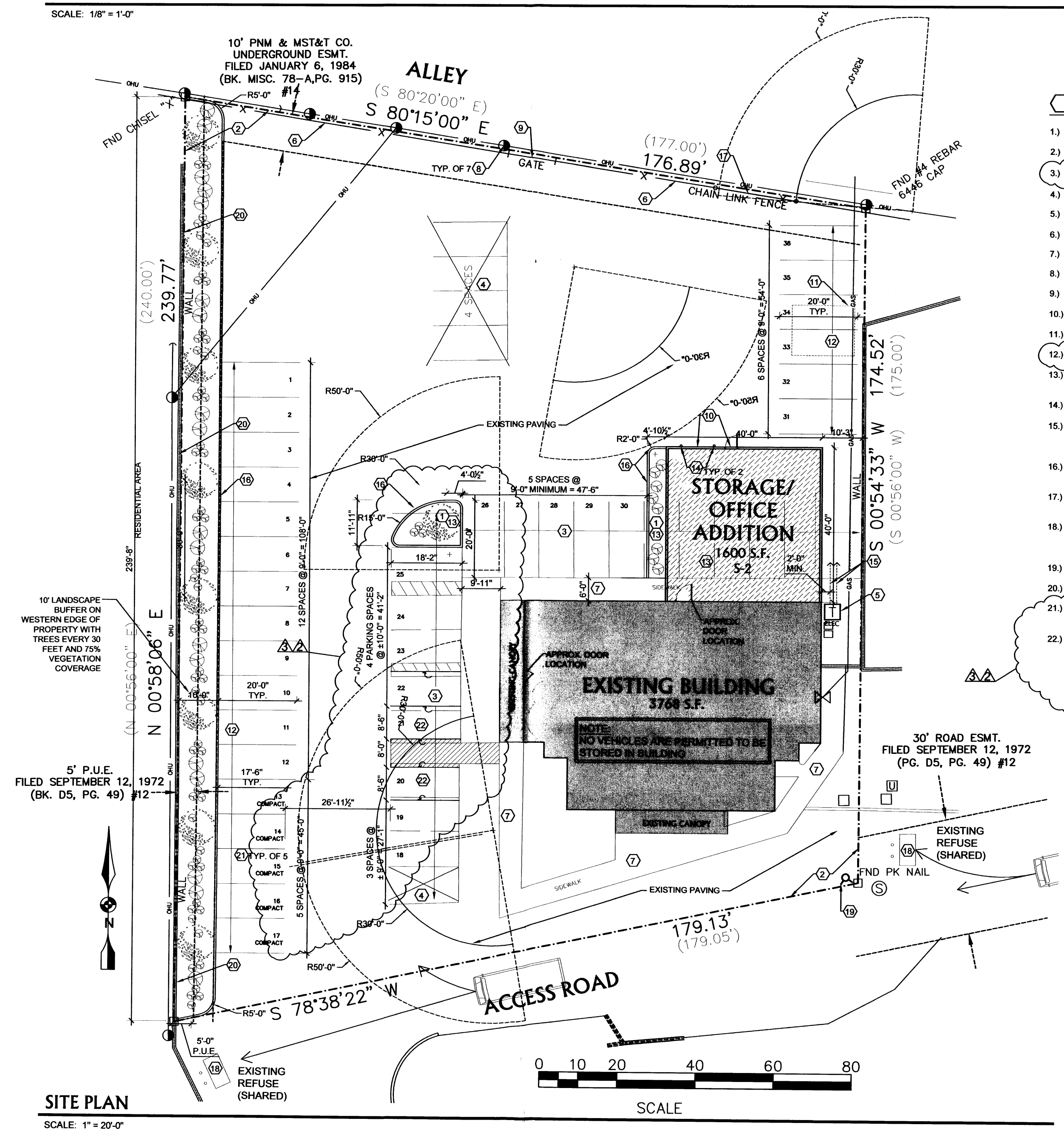
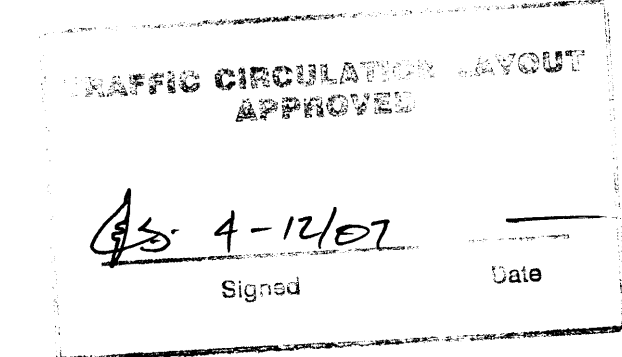


VICINITY MAP: G-18-Z
SCALE: N.T.S.

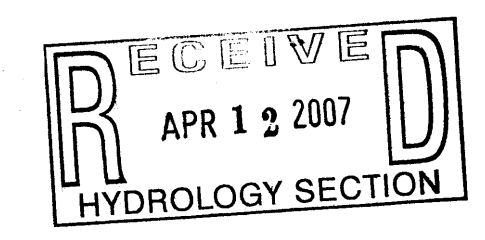


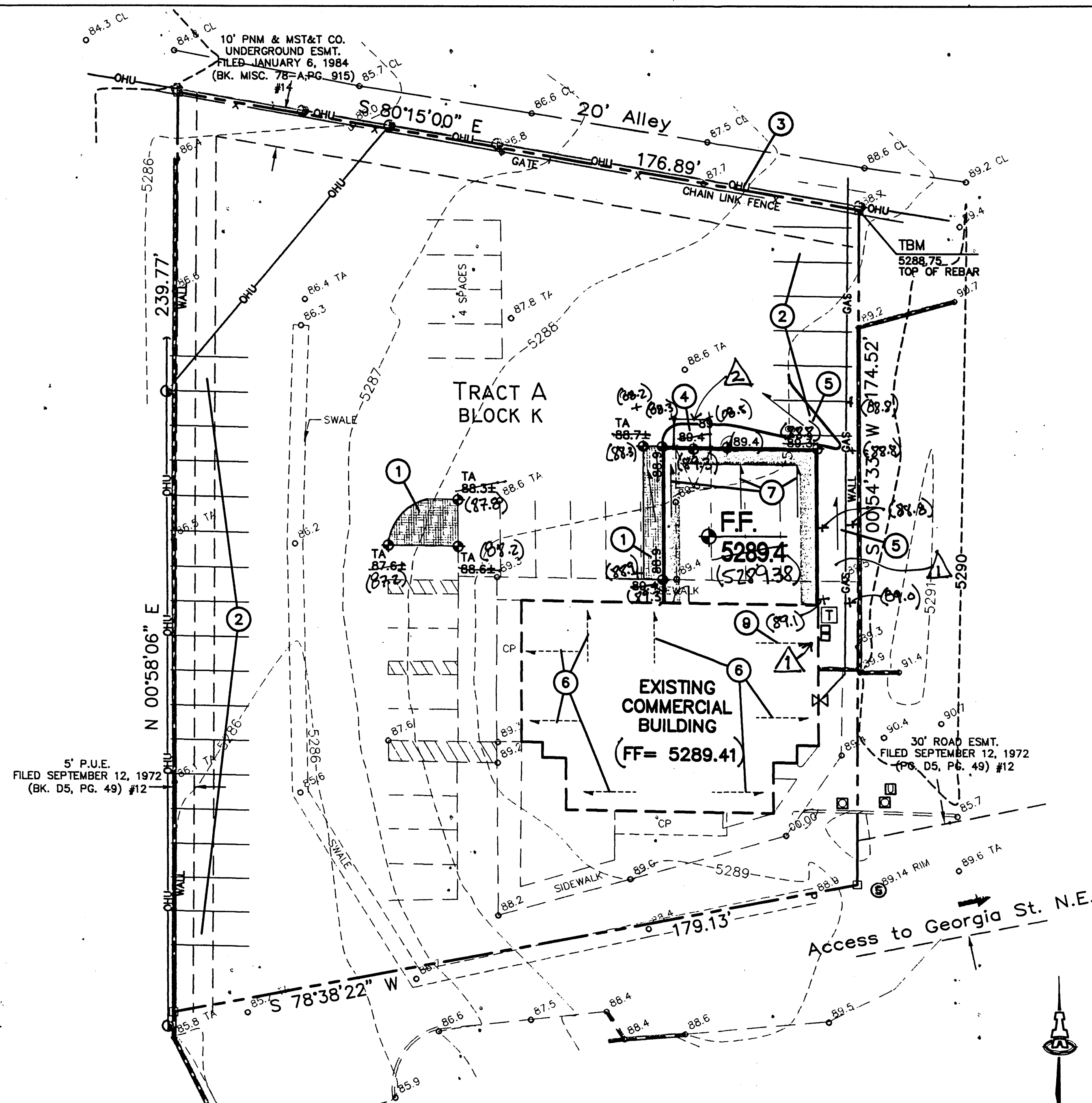
SITE PLAN KEYED NOTES:

- NEW LANDSCAPED AREA.
- PROPERTY LINE.
- EXISTING PARKING WITH STALL STRIPING.
- REMOVE EXISTING PARKING.
- EXISTING TRANSFORMER LOCATION.
- EXISTING CHAIN LINK FENCE.
- EXISTING SIDEWALK.
- EXISTING OVERHEAD UTILITY POLE.
- EXISTING GATE.
- PAVING TO MATCH ALL DOOR SILL ELEVATIONS.
- REMOVE EXISTING WROUGHT IRON CANOPY.
- NEW PARKING STALL STRIPING.
- REMOVE EXISTING WALK AND ASPHALT PAVING AT NEW WAREHOUSE AND NEW LANDSCAPED AREAS.
- 6" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL C1A1.
- EXISTING UNDERGROUND ELECTRIC SERVICE. MAINTAIN A MINIMUM DISTANCE OF 2'-0" BETWEEN UNDERGROUND POWER CONDUIT AND NEW CONSTRUCTION.
- STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- INSTALL NEW 20'-0" OPENING IN EXISTING FENCE FOR TRUCK EGRESS.
- EXISTING REFUSE CONTAINER, NONVISIBLE FROM PUBLIC THOROUGHFARES AND SHARED WITH OTHER PROPERTIES IN THE VICINITY.
- EXISTING FIRE HYDRANT.
- EXISTING 6" HIGH WALL.
- ALL COMPACT SPACES (NEW) TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
- TWO EXISTING HANDICAP PARKING SPACES. ENLARGE EXISTING PARKING SPACES AS SHOWN ON PLAN. PAINT HANDICAP SYMBOL ON PAVEMENT AND INSTALL TWO HANDICAP PARKING SIGNS, WALL MOUNTED OR FREE STANDING, NO SMALLER THAN 12"x18" AND WITH ITS LOWER EDGE NO LESS THAN 4'-0" ABOVE GRADE.



TRAFFIC CIRCULATION LAYOUT SITE PLAN





I, Fred C. Arfman, NMPE No. 7322 of the firm Isaacson & Arfman, P.A. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 03-14-07. The record information edited onto the original design document has been obtained by Ron Forstbauer, NMPS #6126 of the firm Forstbauer Surveying. I further certify that I or a member of my firm under my direct supervision visited the project site on 9-6-07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

AREAS OF MODIFICATION BETWEEN APPROVED DRAINAGE GRADING PLAN AND ACTUAL AS-BUILT

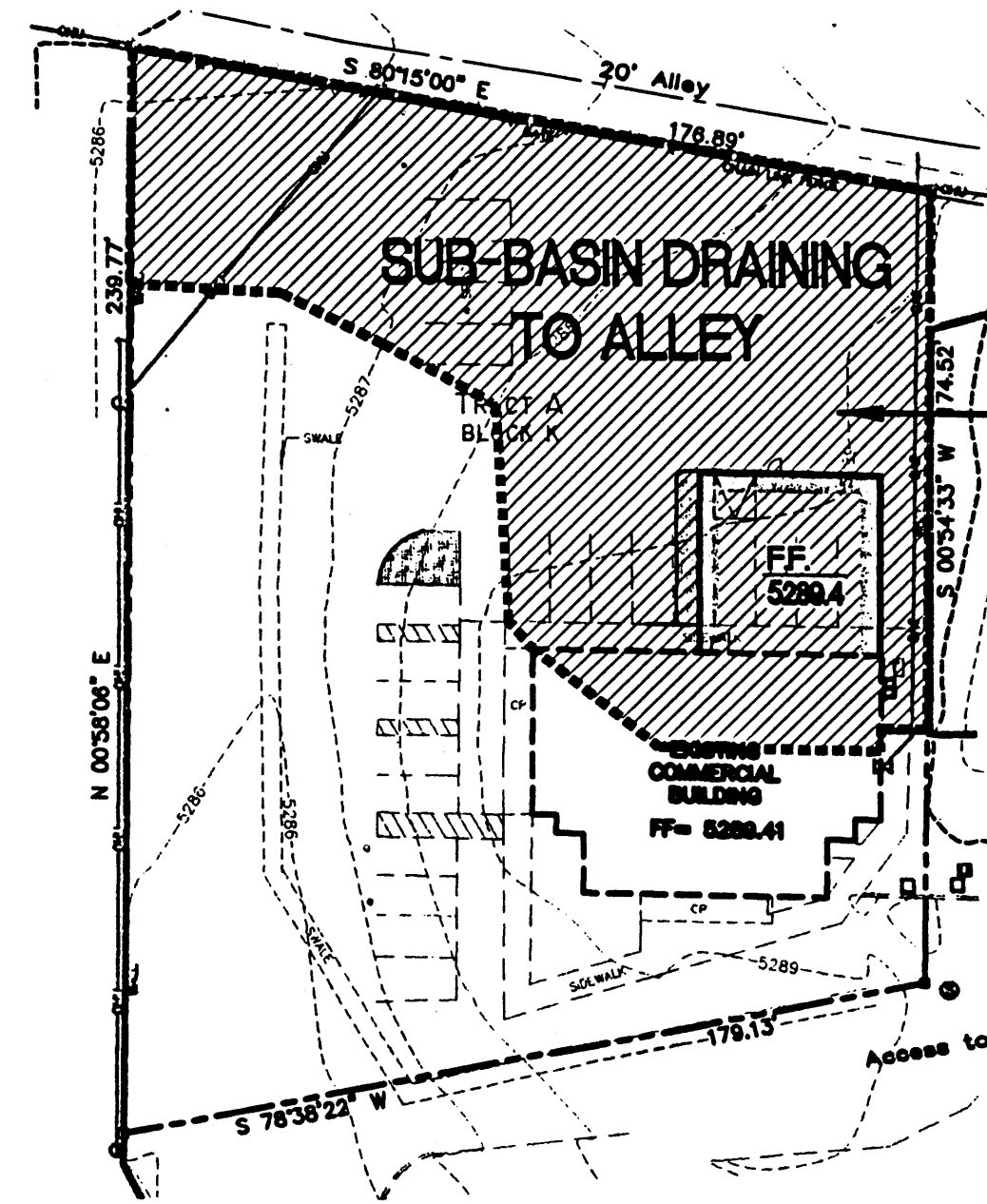
- Minor birdbaths (0.1' ±) may occur within pavement this area. OK
- Concrete ramp added for access at overhead door. OK

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



FRED C. ARFMAN, NMPE #7322

DATE 10.01.07



CALCULATIONS: KINESIO ADDITION : March 13, 2007			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol. 2, dated Jan., 1993			
ON-SITE			
AREA OF SUB-BASIN	16070	SF	= 0.4 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition	Area a = 0	SF	
	Area b = 0	SF	
	Area c = 0	SF	
	Area d = 16070	SF	
Total Area	= 16070	SF	
DEVELOPED FLOWS:			
On-Site Developed Land Condition	Area a = 0	SF	
	Area b = 0	SF	
	Area c = 165	SF	
	Area d = 15905	SF	
Total Area	= 16070	SF	
EXCESS PRECIP:			
Precip. Zone	3		
Ea	= 0.66		
Eb	= 0.92		
Ec	= 1.29		
Ed	= 2.36		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E	= EaAa + EbAb + EcAc + EdAd		
	= Aa + Ab + Ac + Ad		
Historic E	= 2.36 in.	Developed E	= 2.35 in.
On-Site Volume of Runoff: V360 = E*A / 12			
Historic V360	= 3160	CF	Developed V360 = 3146
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560			
For Precipitation Zone 3			
Qpa	= 1.87		Qpc = 3.45
Qpb	= 2.60		Qpd = 5.02
Historic Qp	= 1.9	CFS	Developed Qp = 1.8
			CFS

GENERAL NOTES

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION, REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

GENERAL INFORMATION

LEGAL: TRACT A, PHASE I, ALTAMONT, UNIT 6, BLOCK K, LOT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ADDRESS: 3901 GEORGIA STREET N.E.

BENCHMARK: THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 13-G19, THE PUBLISHED ELEVATION OF WHICH IS 5312.49. BENCHMARK IS LOCATED IN THE EAST SOUTHEAST QUADRANT OF THE INTERSECTION OF MONTGOMERY BLVD. & LOUISIANA BLVD. ON THE NORTHEAST CORNER OF A CONCRETE LIGHT BASE.

SURVEYOR: SURVEYS SOUTHWEST, LTD.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #139, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

PROJECT SCOPE

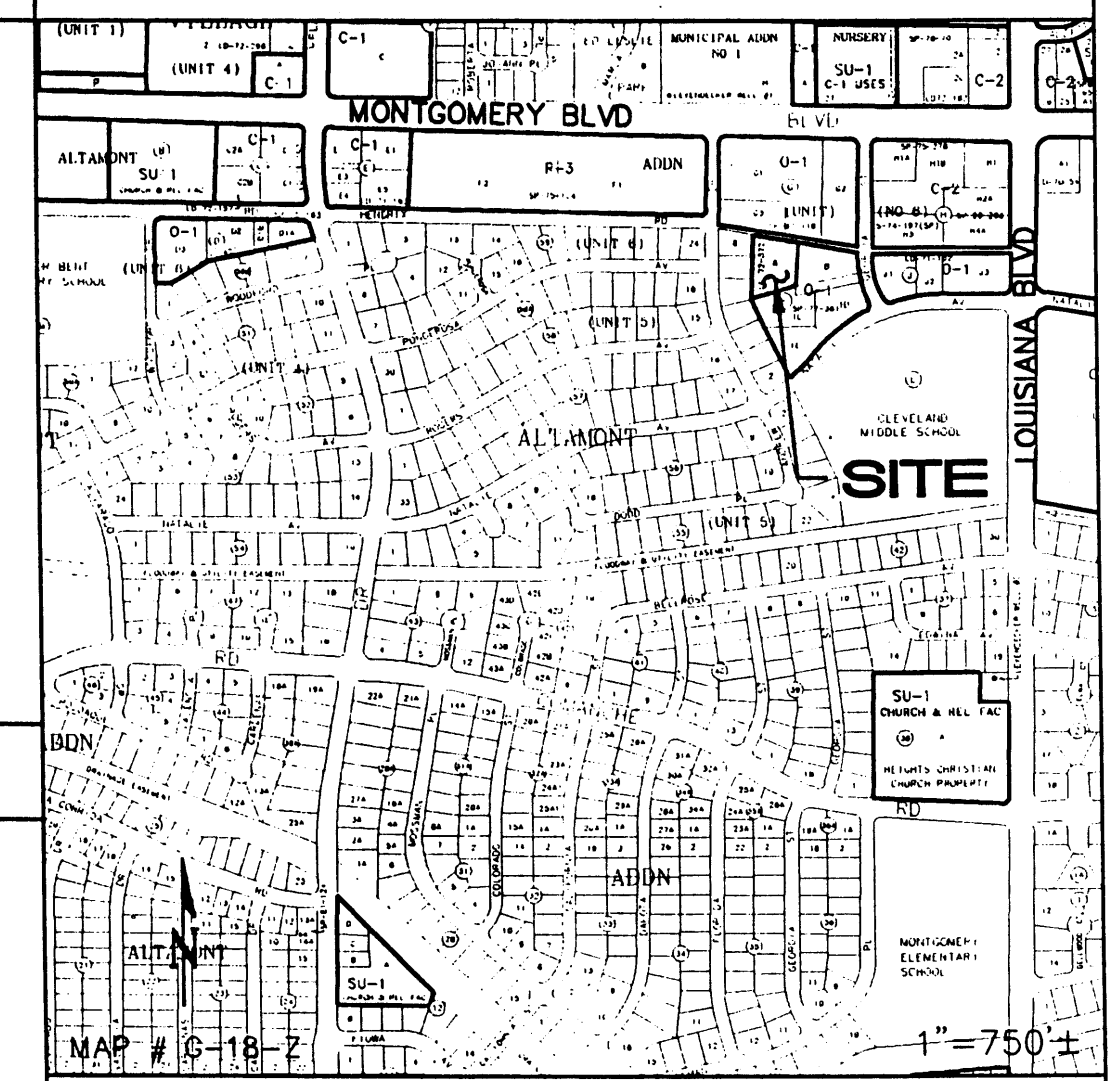
THE PROPOSED IMPROVEMENTS INCLUDE A 1600 SF BUILDING ADDITION WITH ASSOCIATED PARKING AND LANDSCAPING IMPROVEMENTS.

THE SITE IS WITHIN C.O.A. VICINITY MAP G-18. THE SITE IS BOUND TO THE NORTH BY A 20' WIDE ALLEY, TO THE EAST BY A DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY DEVELOPED RESIDENTIAL PROPERTIES AND TO THE SOUTH BY AN ACCESS EASEMENT TO GEORGIA ST. N.E.

DRAINAGE PLAN CONCEPT:

THE PROPOSED BUILDING WILL REPLACE EXISTING ASPHALT. TWO NEW LANDSCAPED AREAS WILL PROVIDE A MINOR REDUCTION IN OVERALL DISCHARGE FROM THE SITE. THIS AREA WILL CONTINUE TO DRAIN TO THE NORTH ALLEY TO FOLLOW THE HISTORIC FLOWPATH.

VICINITY MAP

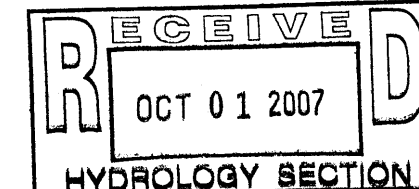


KEYED NOTES

- SEE ARCHITECTURAL FOR EXTENTS OF CONSTRUCTION
- SAWCUT / REMOVE ASPHALT FOR NEW BUILDING AND LANDSCAPED AREAS.
 - NEW PAVEMENT STRIPING.
 - NEW GATE IN EXISTING FENCE FOR TRUCK EGRESS.
 - NEW ASPHALT PAVING THIS AREA TO TRANSITION BETWEEN EXISTING PAVEMENT AND NEW BUILDING ELEVATIONS.
 - REMOVE EXISTING CONCRETE AND ASPHALT AND REGRADE AS REQUIRED TO ENSURE POSITIVE DRAINAGE. NO BIRDBATHS.
 - EXISTING BUILDING ROOF DISCHARGE
 - PROPOSED BUILDING ROOF DISCHARGE
 - ELIMINATE ALL ROOF DISCHARGE TO NORTHEAST SIDE OF BUILDING. RE-ROUTE EXISTING ROOF DOWNSPOUT TO DISCHARGE AT NORTHEAST CORNER OF NEW BUILDING ADDITION.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- AS-BUILT ELEVATION



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Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico, 87108
Ph: 505-268-8828 Fax: 505-268-2632
1559GRD.dwg Mar 14, 2007

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Kinesio Taping Building Addition			
Mechenbier Const.			
GRADING AND DRAINAGE PLAN			
Date:	No. Revision	Date	Job No.
03-08-07			1598
Drawn By:			C11
BJB			
Ckd By:			SL OF
FCA			