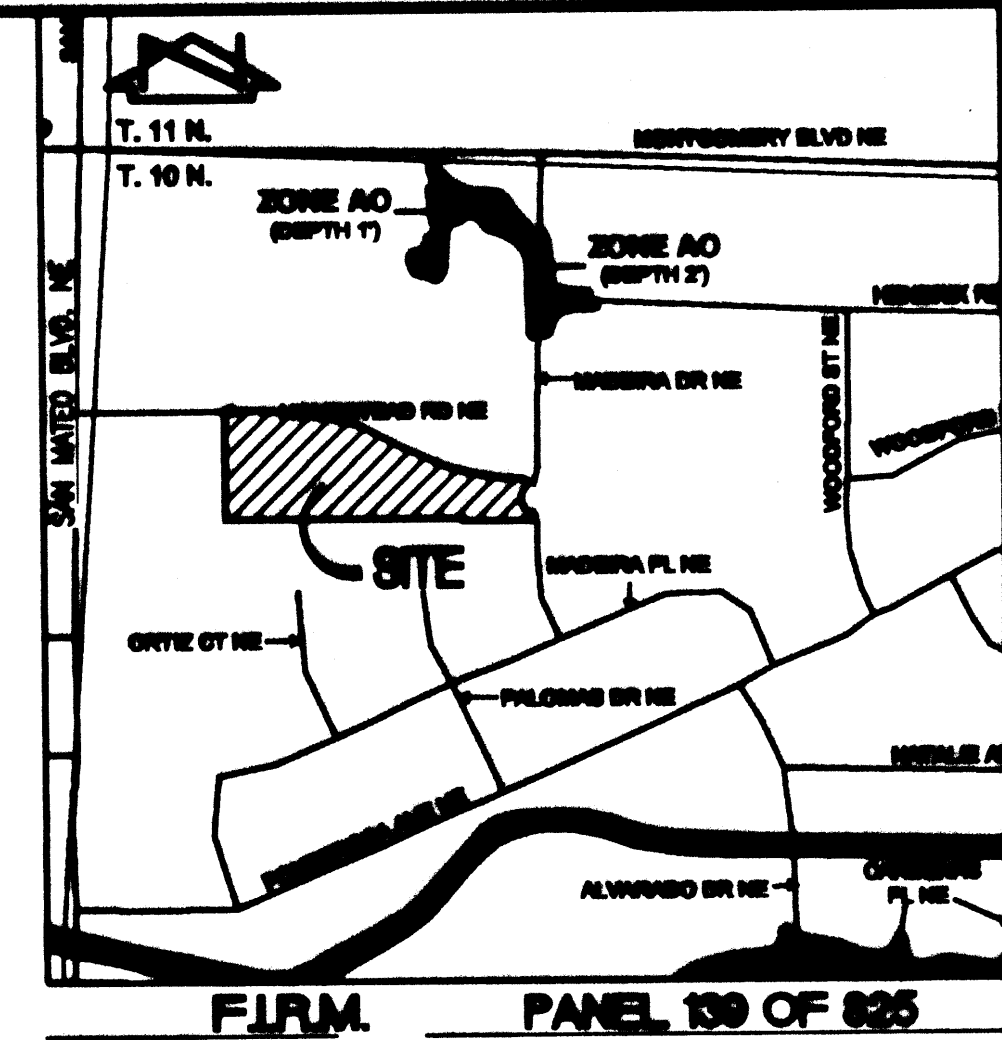


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 88°58'36" W	18.75'
L2	S 00°18'33" W	4.83'

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD
C3	704.82'	389.08'	30°00'06"	S73°58'36" E 364.86'
C4	734.82'	380.39'	30°00'06"	S73°58'36" E 380.39'
C5	45.00'	384.77'	128°14'07"	S00°11'47" E 80.97'
C6	25.00'	28.20'	64°37'28"	S32°00'09" E 26.73'



SCALE: 1" = 500'

LEGAL DESCRIPTION:  
TRACT B, FEDERAL PLAZA

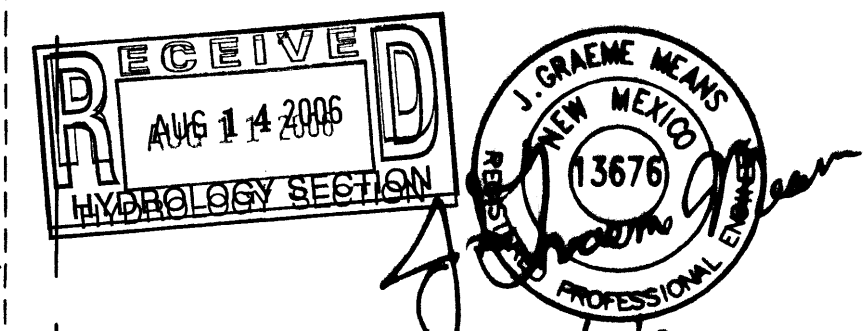
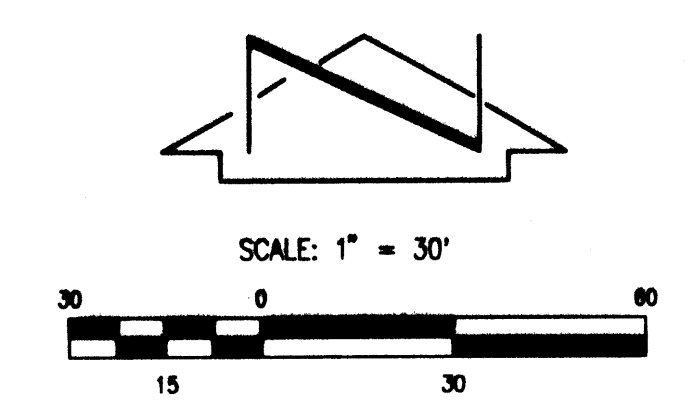
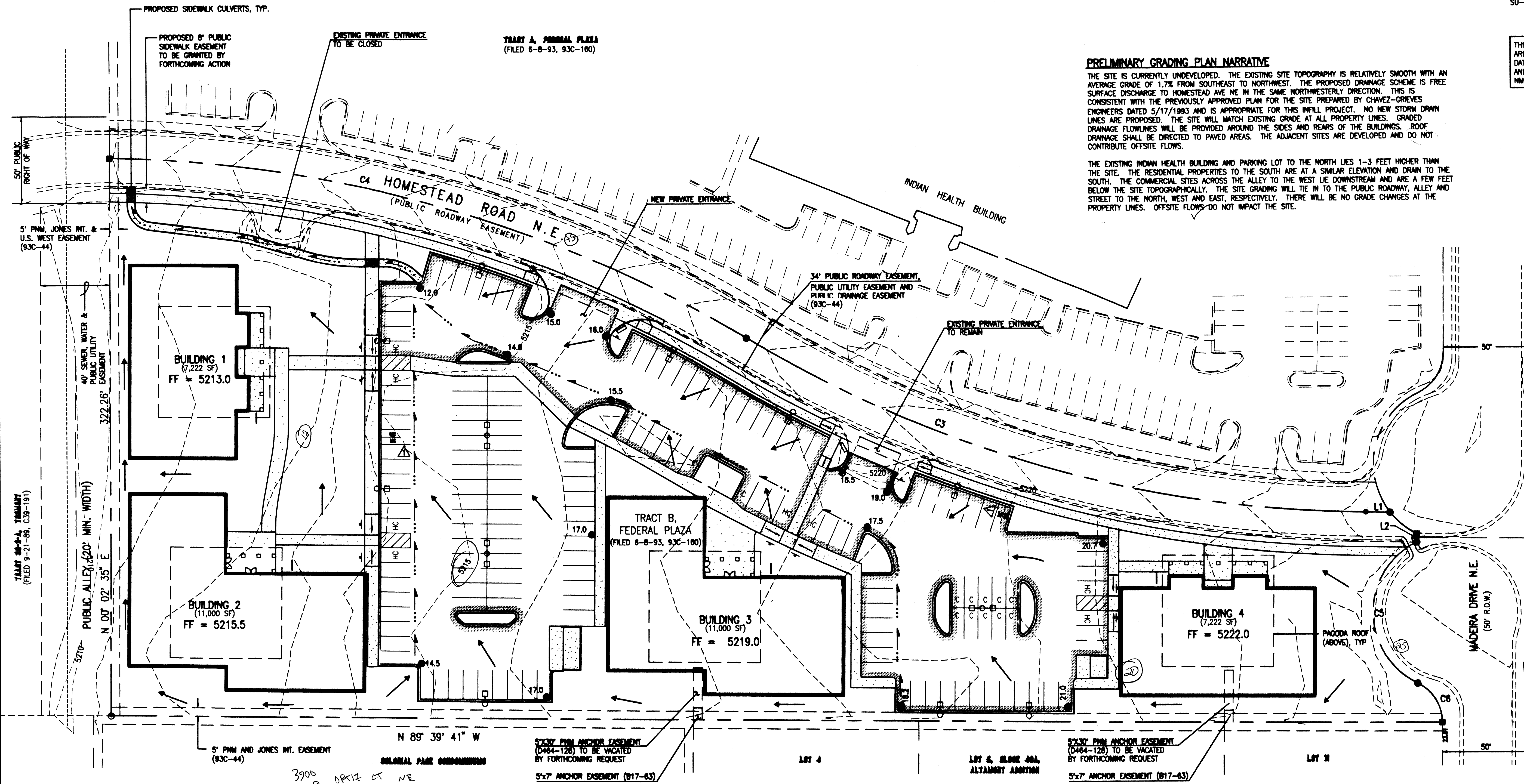
ZONING:  
SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184.

### PRELIMINARY GRADING PLAN NARRATIVE

THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TOPOGRAPHY IS RELATIVELY SMOOTH WITH AN AVERAGE GRADE OF 1.7% FROM SOUTHEAST TO NORTHWEST. THE PROPOSED DRAINAGE SCHEME IS FREE SURFACE DISCHARGE TO HOMESTEAD AVE. NE IN THE SAME NORTHWESTERLY DIRECTION. THIS IS CONSISTENT WITH THE PREVIOUSLY APPROVED PLAN FOR THE SITE PREPARED BY CHAVEZ-GRIEVES ENGINEERS DATED 5/17/1993 AND IS APPROPRIATE FOR THIS INFILL PROJECT. NO NEW STORM DRAIN LINES ARE PROPOSED. THE SITE WILL MATCH EXISTING GRADE AT ALL PROPERTY LINES. GRADED DRAINAGE FLOWLINES WILL BE PROVIDED AROUND THE SIDES AND REARS OF THE BUILDINGS. ROOF DRAINAGE SHALL BE DIRECTED TO PAVED AREAS. THE ADJACENT SITES ARE DEVELOPED AND DO NOT CONTRIBUTE OFFSITE FLOWS.

THE EXISTING INDIAN HEALTH BUILDING AND PARKING LOT TO THE NORTH LIES 1-3 FEET HIGHER THAN THE SITE. THE RESIDENTIAL PROPERTIES TO THE SOUTH ARE AT A SIMILAR ELEVATION AND DRAIN TO THE SOUTH. THE COMMERCIAL SITES ACROSS THE ALLEY TO THE WEST LIE DOWNSTREAM AND ARE A FEW FEET BELOW THE SITE TOPOGRAPHICALLY. THE SITE GRADING WILL TIE IN TO THE PUBLIC ROADWAY, ALLEY AND STREET TO THE NORTH, WEST AND EAST, RESPECTIVELY. THERE WILL BE NO GRADE CHANGES AT THE PROPERTY LINES. OFFSITE FLOWS DO NOT IMPACT THE SITE.



5/30/2006  
6/07/2006  
8/11/2006



JEFF HORTENSHEN & ASSOCIATES, INC.  
6810-S RIVINGTON PARK BLVD. N.E.  
ALBUQUERQUE, NM 87109  
ENGINEERS & SURVEYORS (CNO) 343-4259  
FAX: 305 343-4254 • ESTABLISHED 1977

## PRELIMINARY GRADING PLAN HOMESTEAD OFFICE PARK

DESIGNED BY	CHK	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	REV	6/05	G.M.	ADD MOTORCYCLE PARKING	2006.026.1
APPROVED BY	GR				DATE 06-2006
					SHEET 3 OF 7



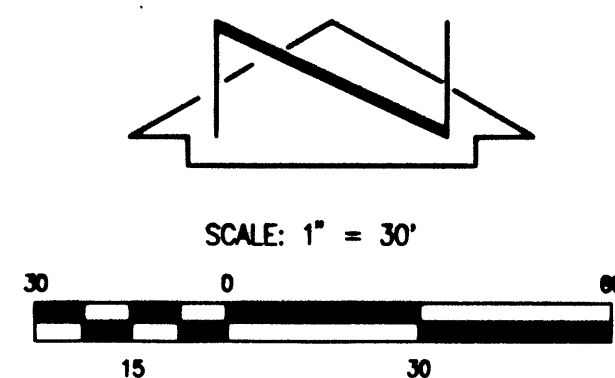
LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N 0°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 0°18'57" W	4.63'

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
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C3	45.00'	19.98'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.99'	125°17'56"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"

**PROJECT BENCHMARK**  
THE STATION IS A STANDARD N.M.S.H.C. BRASS TABLET, STAMPED "N.M. 367-4, 1989" SET IN CONCRETE POST FLUSH WITH THE GROUND IN THE MEDIAN OF SAN MATEO N.E. APPROXIMATELY 272' NORTH OF THE INTERSECTION OF DOUGLAS McARTHUR ROAD AND SAN MATEO. ELEVATION = 5202.464 FEET (MVD 1929)

**T.B.M. #1**  
CHISELED SQUARE AT BACK OF CURB, AS SHOWN ON THIS SHEET. ELEVATION = 5209.17 FEET (MVD 1929)

**T.B.M. #2**  
SPIKE WITH JMA RED CAP, AS SHOWN ON THIS SHEET. ELEVATION = 5222.50 FEET (MVD 1929)

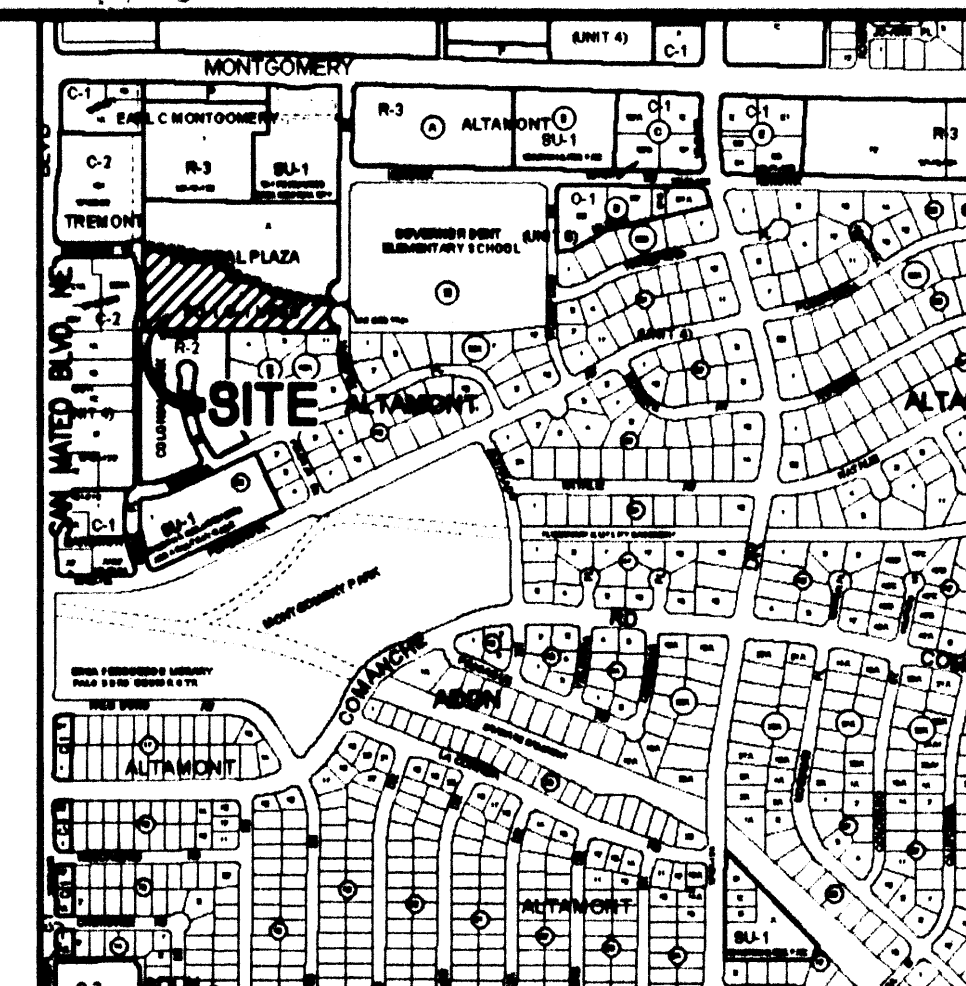


# LEGEND

C	COMMUNICATION	STD	STANDARD
C&G	CURB AND GUTTER	SV	SPRINKLER VALVE
CB	CONCRETE BRICK	SW	SIDEWALK
CGP	CONCRETE GUARD POST	TA	TOP OF ASPHALT
CI	CAST IRON	TB	TELEPHONE VAULT BOX
CMU	CONCRETE MASONRY UNIT	TC	TOP OF CURB
CND	CONDUIT	TCO	TOP OF CONCRETE
CONC	CONCRETE	TS	TRAFFIC SIGN
E	ELECTRIC	TW	TOP OF WALL
EPB	ELECTRIC PULLBOX	TYP	TYPICAL
ET	ELECTRIC TRANSFORMER	VCP	VITRIFIED CLAY PIPE
FL	FLOWLINE	VG	VALLEY GUTTER
G	GUY WIRE	W	WATER
MGP	METAL GUARD POST	WL	WATERLINE
MH	MANHOLE	WM	WATER METER
MP	METAL POST	WPP	WOOD POWER POLE
OH	OVERHEAD	WS	WOOD SIGN
PATT	PATTERN	WV	WATER VALVE
PM	BY PAINT MARK	*	DECIDUOUS TREE
PVC	POLY VINYL CHLORIDE	*	PAINTED UTILITY MARK
RCP	REINFORCED CONCRETE PIPE		PROPOSED ASPHALT PAVING
SAS	SANITARY SEWER		PROPOSED CONCRETE
SF	STEEL FENCE		

# KEYED NOTES

1. CONSTRUCT TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET C-107
2. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET C-107
3. CONCRETE FLATWALK TO BE CONCURRENT WITH BUILDING CONSTRUCTION. REFER TO ARCHITECTURAL PLAN FOR CONSTRUCTION DETAILS.
4. LIGHT POLE, REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
5. CONSTRUCT 18" CURB OPENING FOR DRAINAGE
6. CONSTRUCT 6" CURB AND GUTTER PER TYPICAL SECTION, SHEET C-107
7. CONSTRUCT 4" CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET C-107
8. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET C-107
9. CONSTRUCT 2-24" SIDEWALK CULVERTS PER TYPICAL SECTION, SHEET 107
10. CONSTRUCT CONCRETE CROSSWALK PER TYPICAL SECTION, SHEET C-107
11. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
12. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
13. NEATLY SAWCUT, REMOVE AND DISPOSE EXISTING VALLEY GUTTER AND PAVEMENT.
14. NEATLY SAWCUT, REMOVE AND DISPOSE OF EXISTING ASPHALT CONCRETE
15. CONSTRUCT STANDARD 8" CURB AND GUTTER PER COA STD. DWG. 2415.
16. INSTALL 4" WHITE PAINTED PAVEMENT STRIPE, TYP.
17. CONSTRUCT ASPHALT CONCRETE DRIVE ASLE PAVEMENT PER TYPICAL SECTION, SHEET C-107
18. CONSTRUCT ASPHALT CONCRETE PARKING PAVEMENT PER TYPICAL SECTION, SHEET C-107
19. CONSTRUCT ACCESSIBLE PARKING AREA PER DETAIL, SHEET C-107
20. CONSTRUCT 12" SIDEWALK CULVERT PER COA STD. DWG. 2236 (SO #19 PERMIT REQUIRED).
21. LANDSCAPING - REFER TO LANDSCAPING PLAN
22. STENCIL "COMPACT" DESIGNATION ON ALL SPACES DESIGNATED WITH THE LETTER 'C', TYPICAL
23. CONSTRUCT ACCESS RAMP TYPE "A" PER DETAIL, SHEET C-107
24. CONSTRUCT ACCESS RAMP TYPE "B" PER DETAIL, SHEET C-107
25. INSTALL BICYCLE RACK - SEE ARCHITECTURAL PLANS FOR DETAILS
26. INSTALL STOP SIGN (R1-1) AND POST
27. CONSTRUCT PRIVATE ENTRANCE PER COA STD. DWG. 2426
28. CONSTRUCT 2-24" SIDEWALK CULVERTS PER COA STD. DEG. 2238 (SO #19 PERMIT REQUIRED).
29. MONUMENT SIGN - SEE ARCHITECTURAL PLANS FOR ELEVATION AND DETAILS
30. ROOF DRAIN/WATER RETENTION AND INFILTRATION DEVICE-SEE SHEET C-108 FOR SPECIFICATIONS AND ELEVATIONS.
31. CONSTRUCT WHEELCHAIR ACCESS RAMPS PER COA STD DWG 2426
32. PAINT MOTORCYCLE PAVEMENT MARKING ON ALL SPACES DESIGNATED WITH THE LETTERS "MC", TYPICAL
33. CONSTRUCT 2'-0" CONCRETE RUNDOWN PER DETAIL, SHEET C-109 AND SECTION, SHEET C-107.
34. ROOF DRAIN WITH UNDERGROUND PIPING (NO STORAGE CHAMBER).

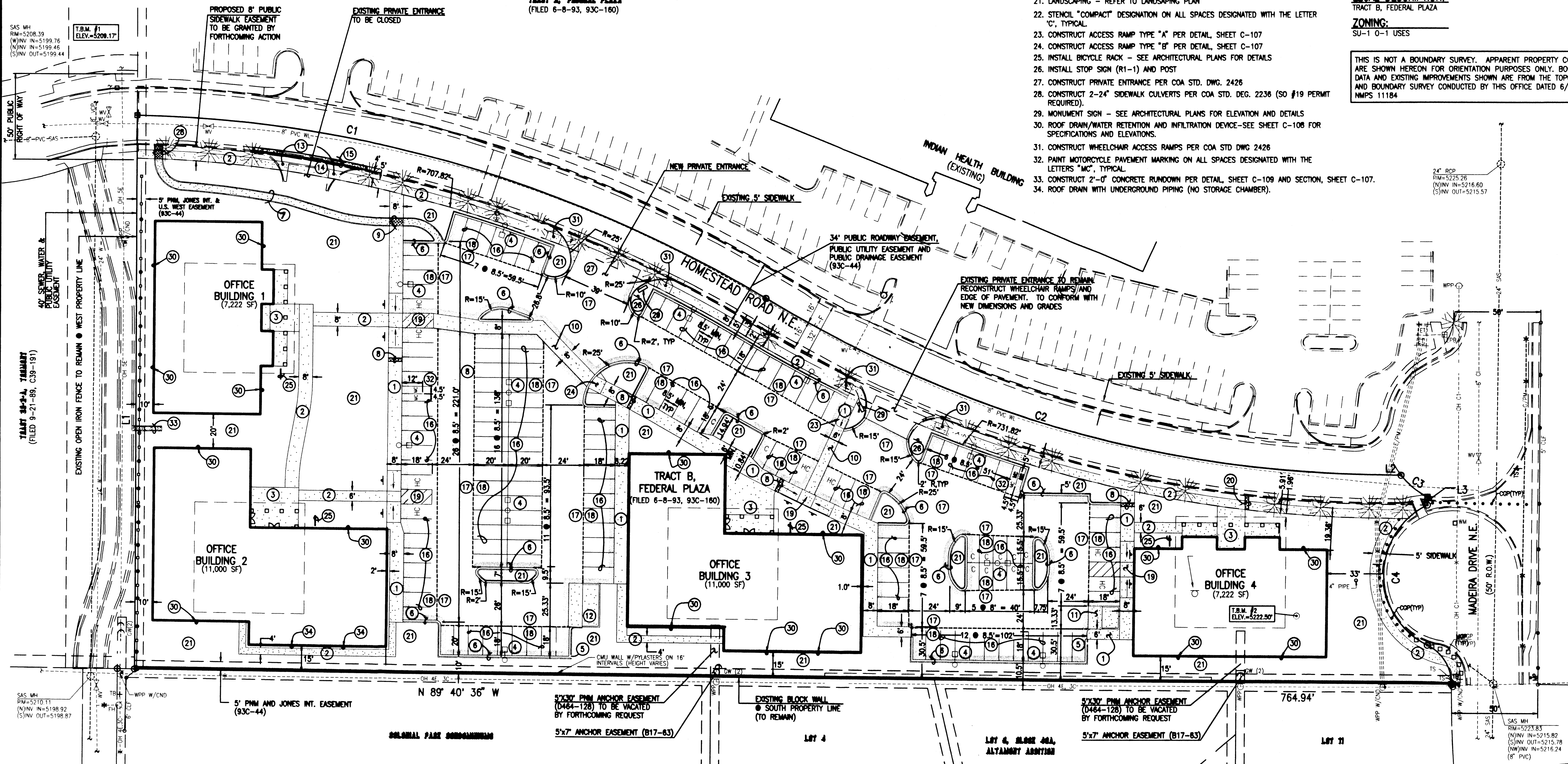


**VICINITY MAP**  
SCALE: 1" = 750'

**LEGAL DESCRIPTION:**  
TRACT B, FEDERAL PLAZA

**ZONING:**  
SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184



DEL NORTE OFFICE PARK  
5310 HOMESTEAD NE  
ALBUQUERQUE, NEW MEXICO

CHERRY / SEE / REAMES ARCHITECTS, LLP  
220 A GOLD AVE. SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

TITLE OF SHEET  
PAVING SITE PLAN

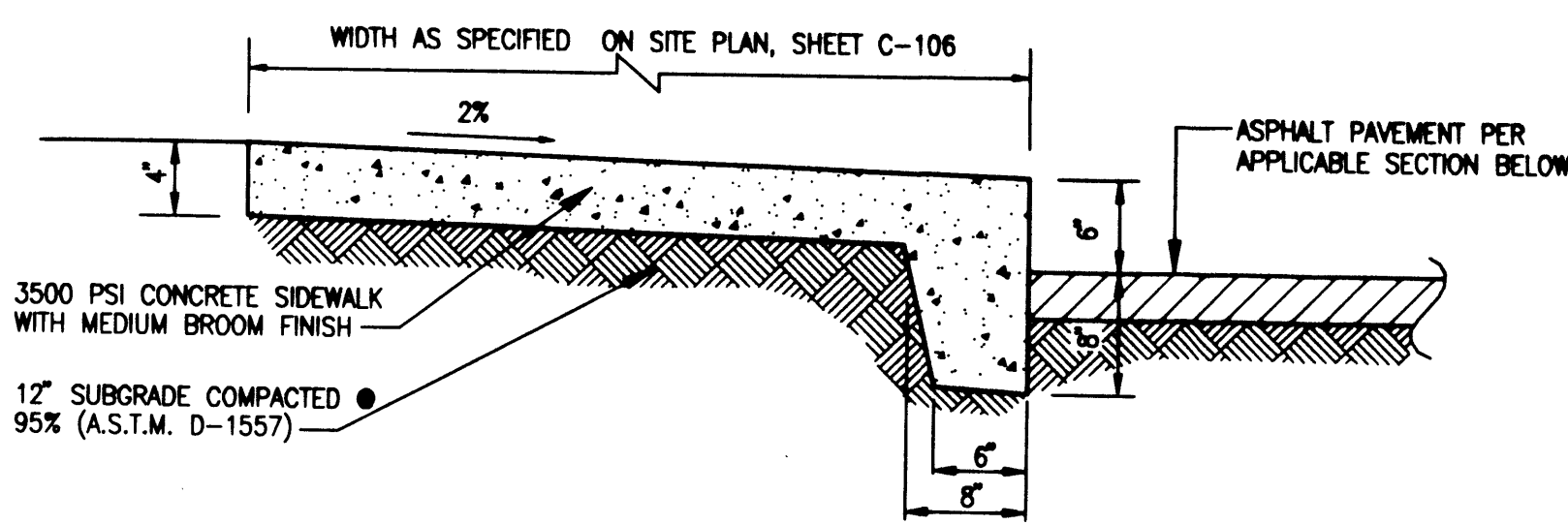
DATE  
10/24/06  
REVISIONS  
SHEET NUMBER  
C-106  
OF

2006.026.3

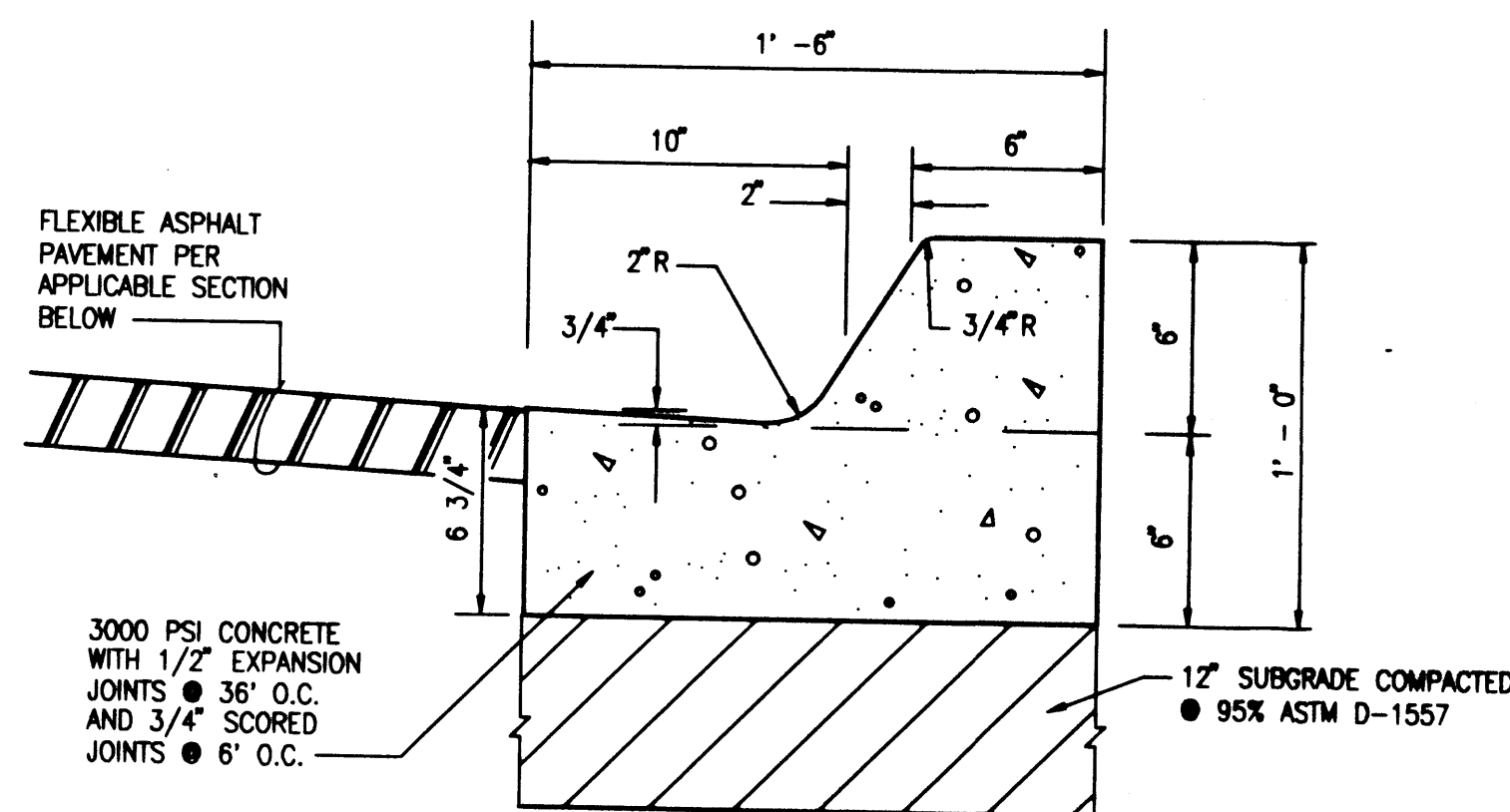


JEFF MORTENSON & ASSOCIATES, INC.  
600-B MIDWAY PARK BLVD. N.E.  
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ENGINEERS & SURVEYORS (CDS) 345-4250  
FAX: 505 345-4254 © ESTABLISHED 1977

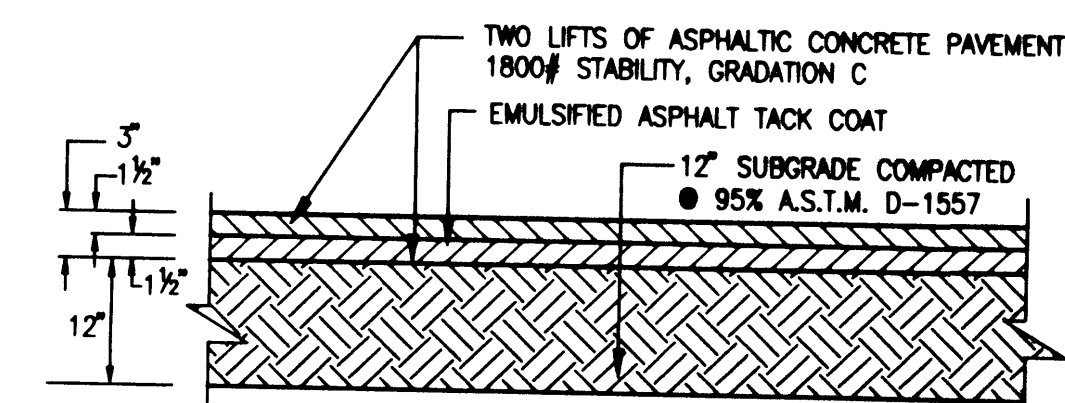




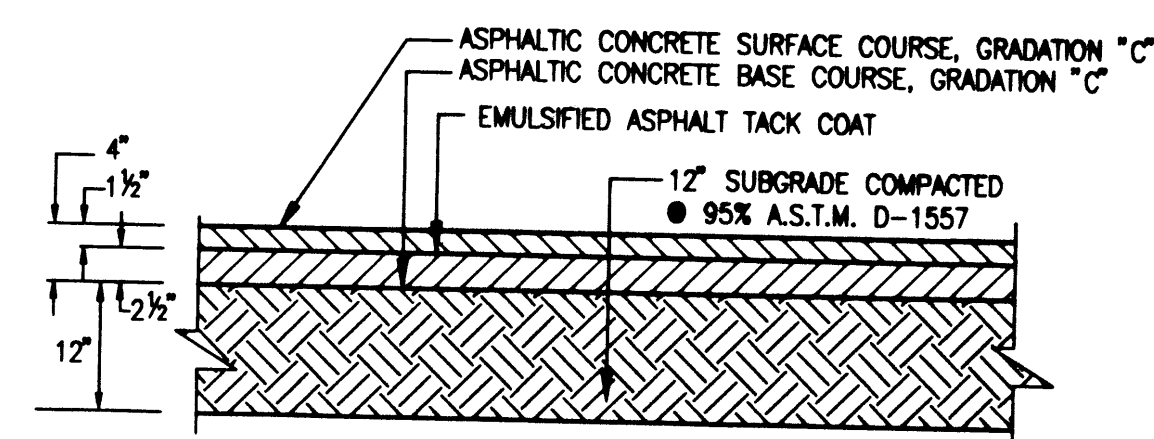
TYPICAL TURNDOWN SIDEWALK SECTION  
SCALE: 1" = 1'-0"



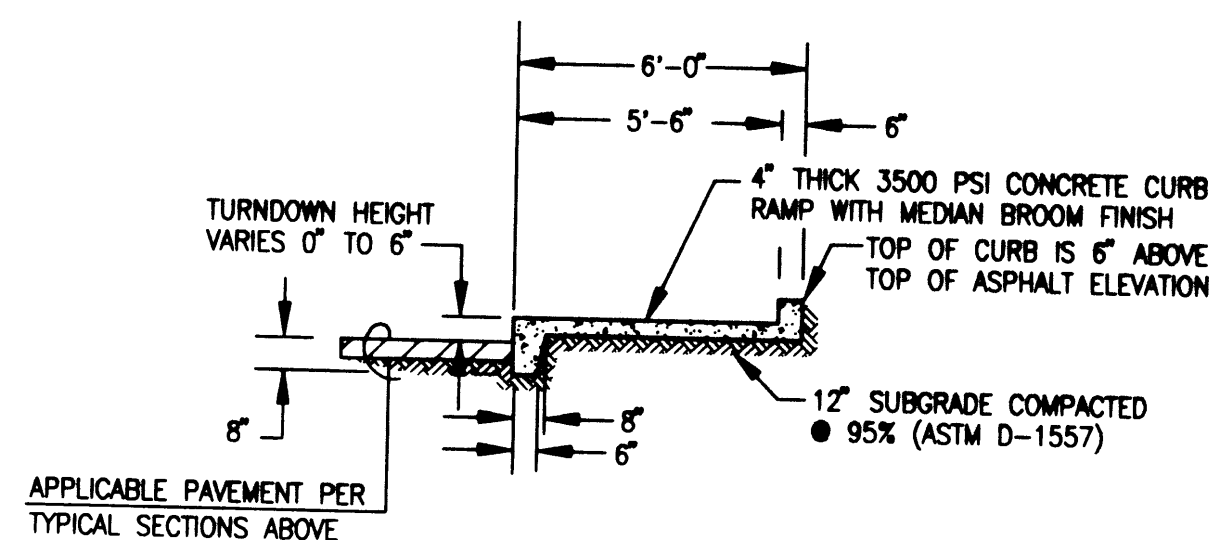
TYPICAL SIX-INCH CURB & GUTTER  
SCALE: 1" = 0'-6"



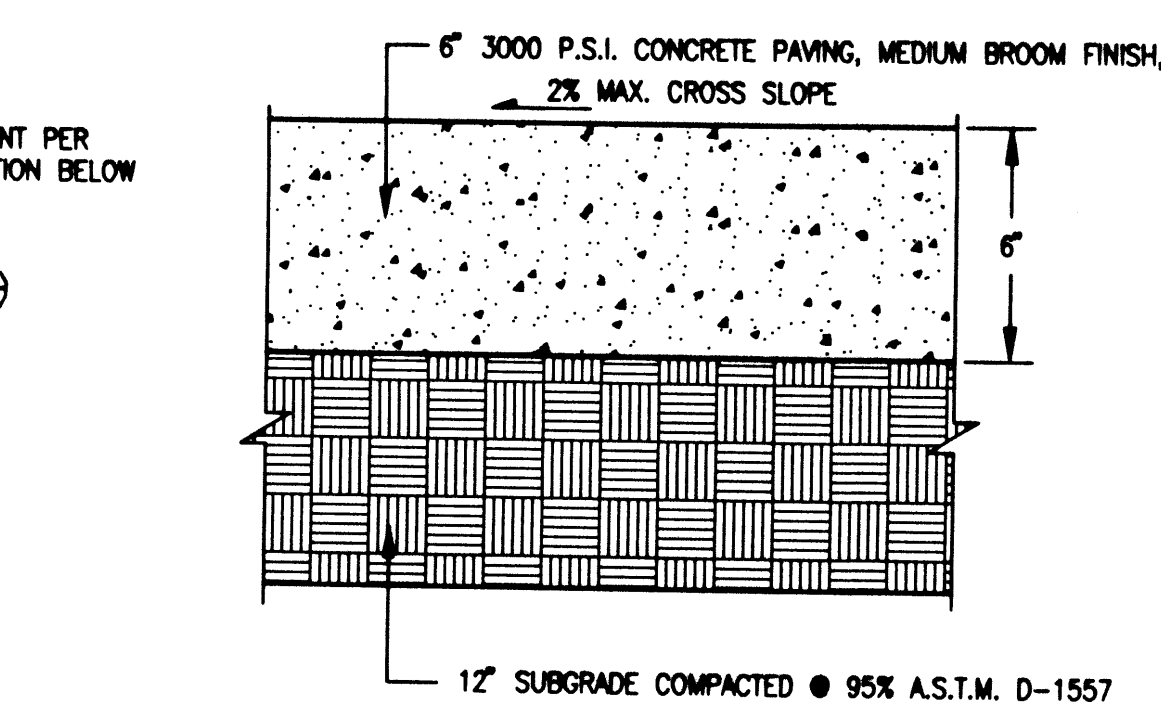
TYPICAL PARKING (3') PAVEMENT SECTION  
SCALE: 1" = 1'-0"



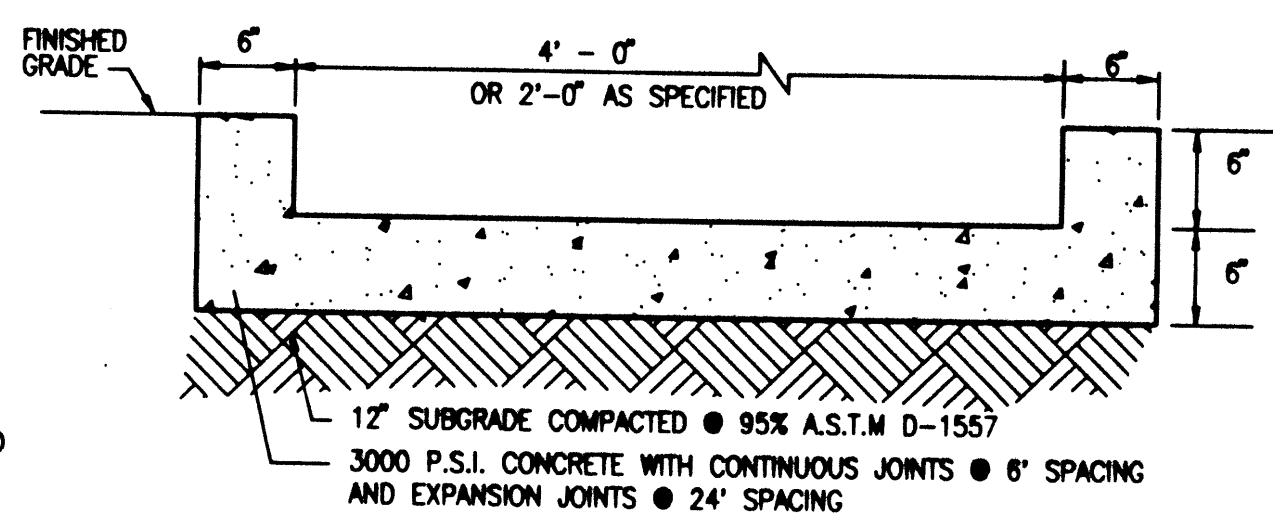
TYPICAL DRIVE AISLE (4') PAVEMENT SECTION  
SCALE: 1" = 1'-0"



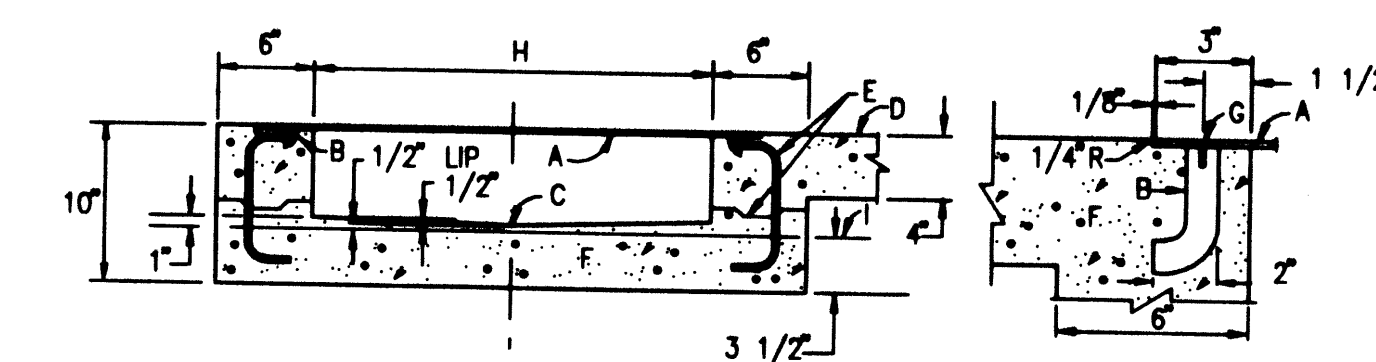
SECTION C-C  
SCALE: 1" = 4'-0"



\*NOTE-CONSTRUCT CONSTRUCTION JOINTS AT 6' SPACING AND EXPANSION JOINTS AT 24' SPACING.  
TYPICAL CONCRETE CROSSWALK SECTION  
SCALE: 1" = 5'



TYPICAL CONCRETE RUNDOWN SECTION  
SCALE: 1" = 1'-0"

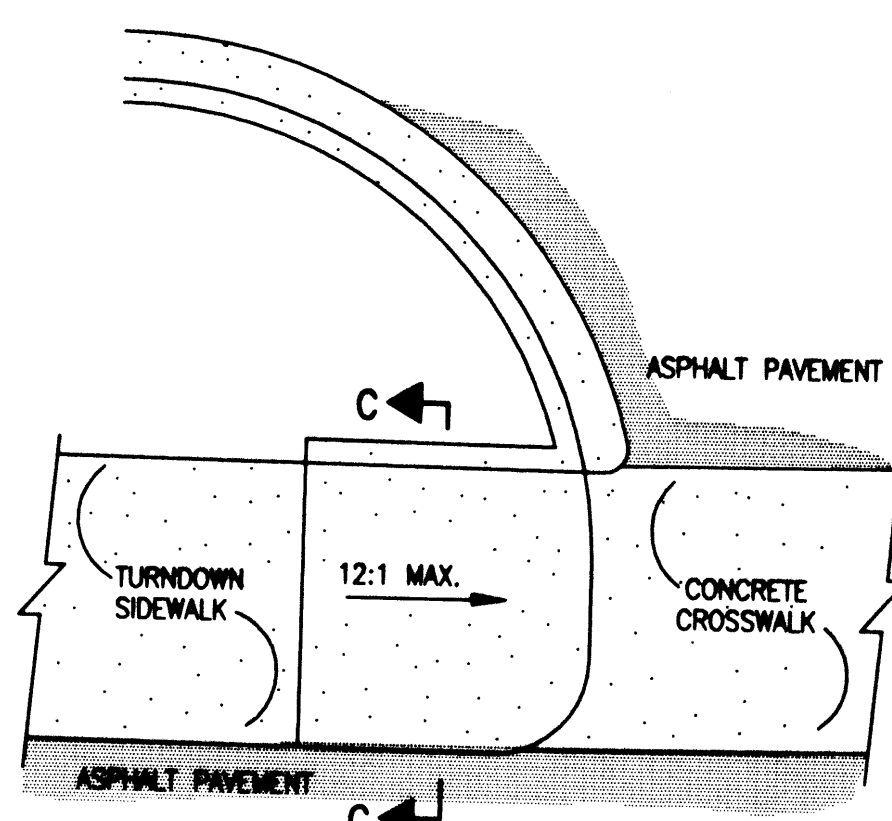


DOWEL DETAIL

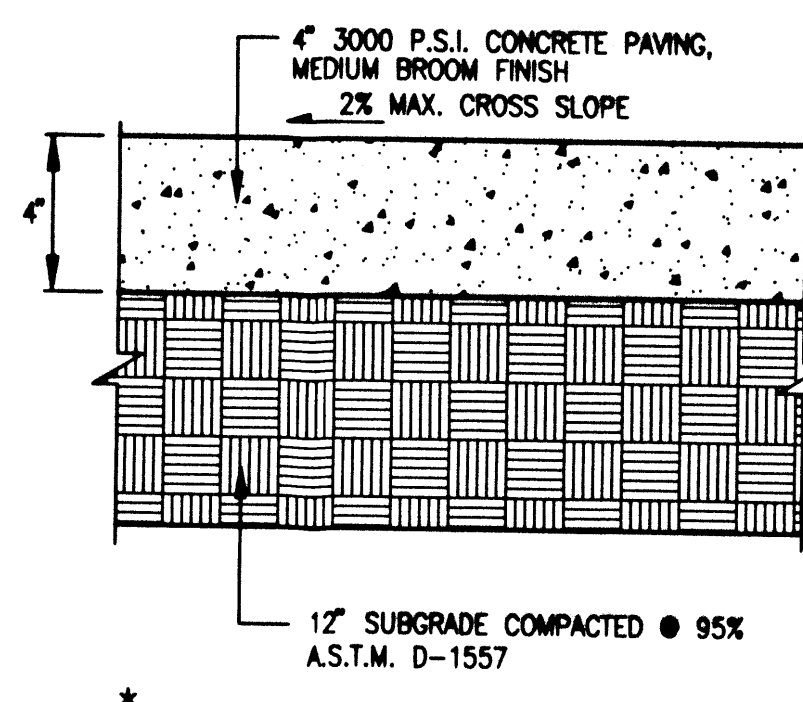
#### CONSTRUCTION NOTES:

- 3/8" CHECKERED STEEL PLATE.
- ROD ANCHOR 1" x 5"
- "V" INVERT
- SIDEWALK GRADE
- DOWEL AND JOINT, (OPTIONAL).
- 3000 PSI CONCRETE
- 3/8" x 1" F.H. C/SUNK STAINLESS STEEL MACHINE SCREW.
- DRAIN WIDTH, 24" MAX. 12" MIN.
- GUTTER FLOWLINE ELEVATION

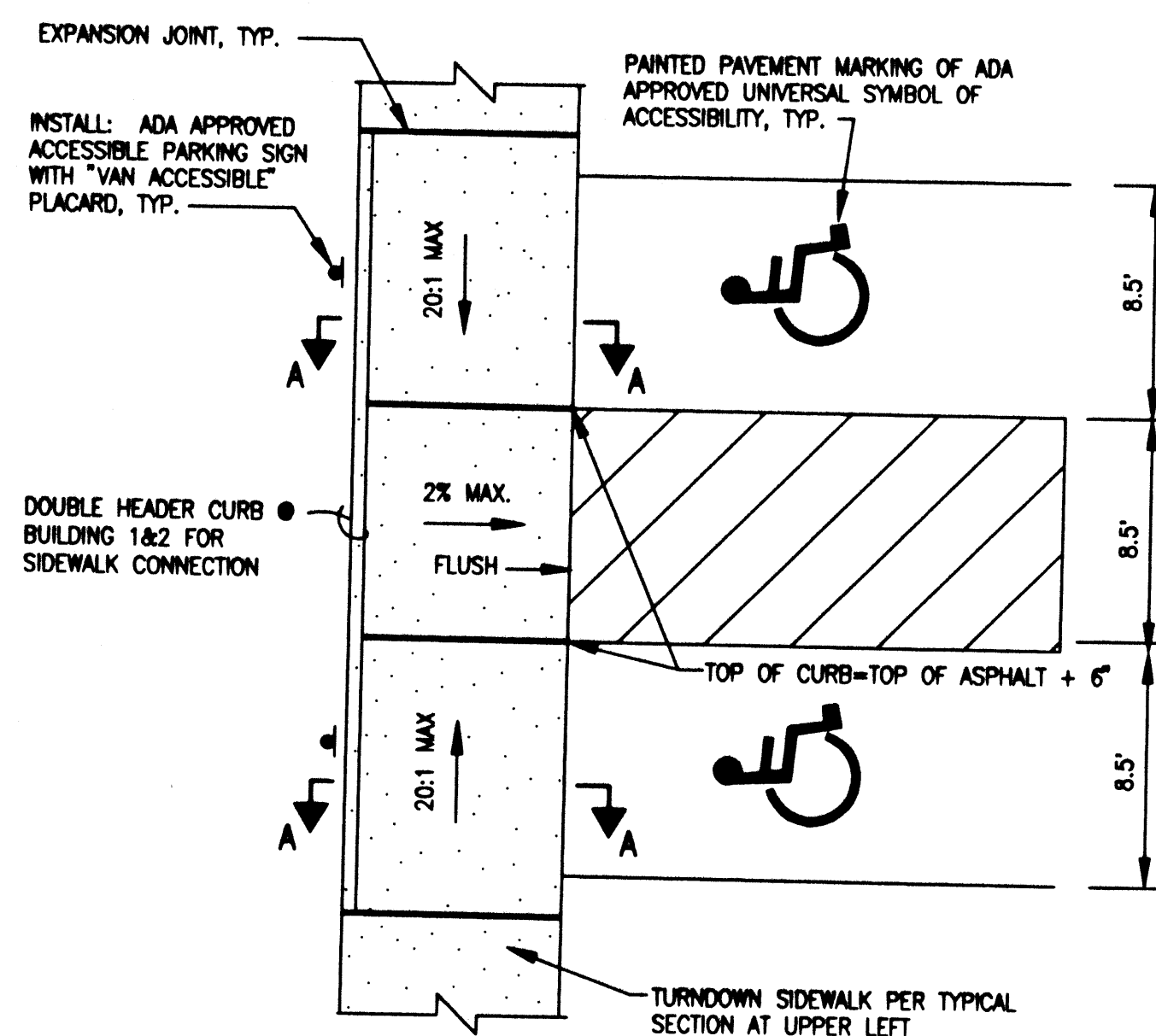
TYPICAL SIDEWALK CULVERT DETAILS  
NOT TO SCALE



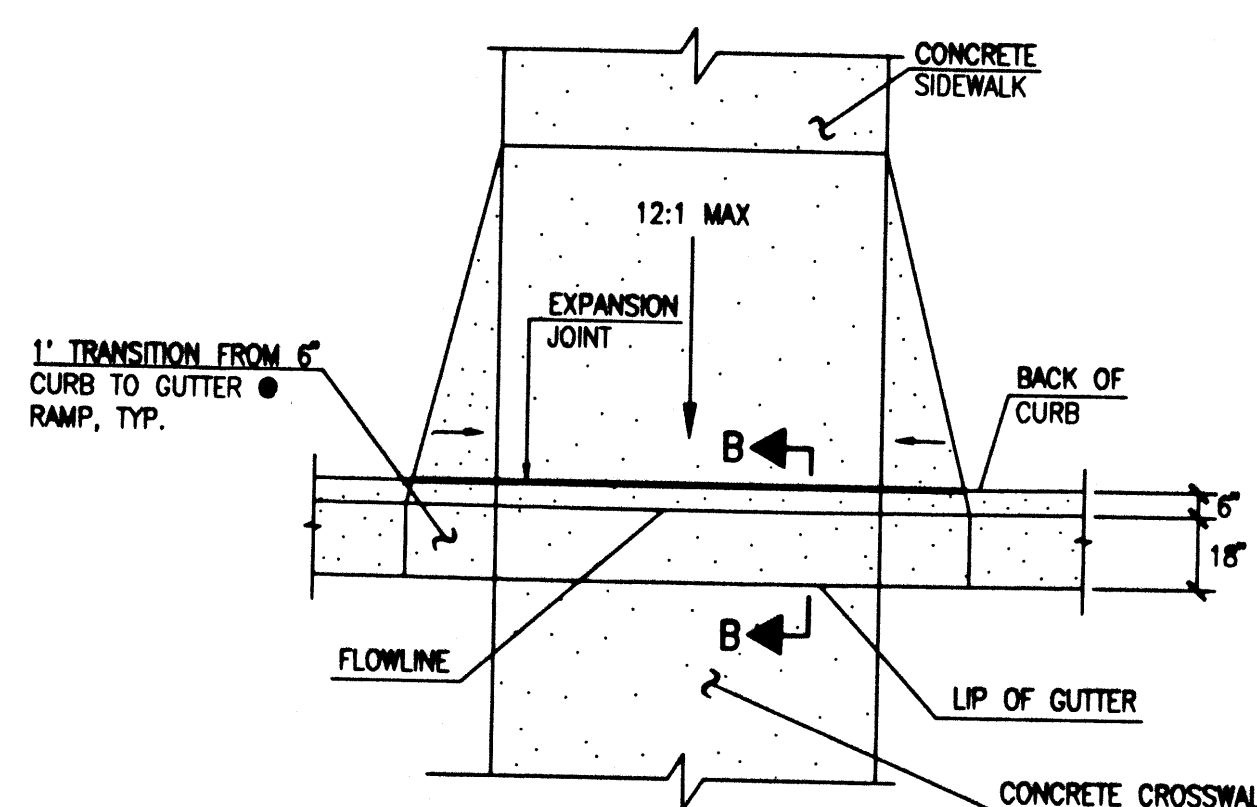
ACCESSIBLE RAMP TYPE "A"  
SCALE: 1" = 4'-0"



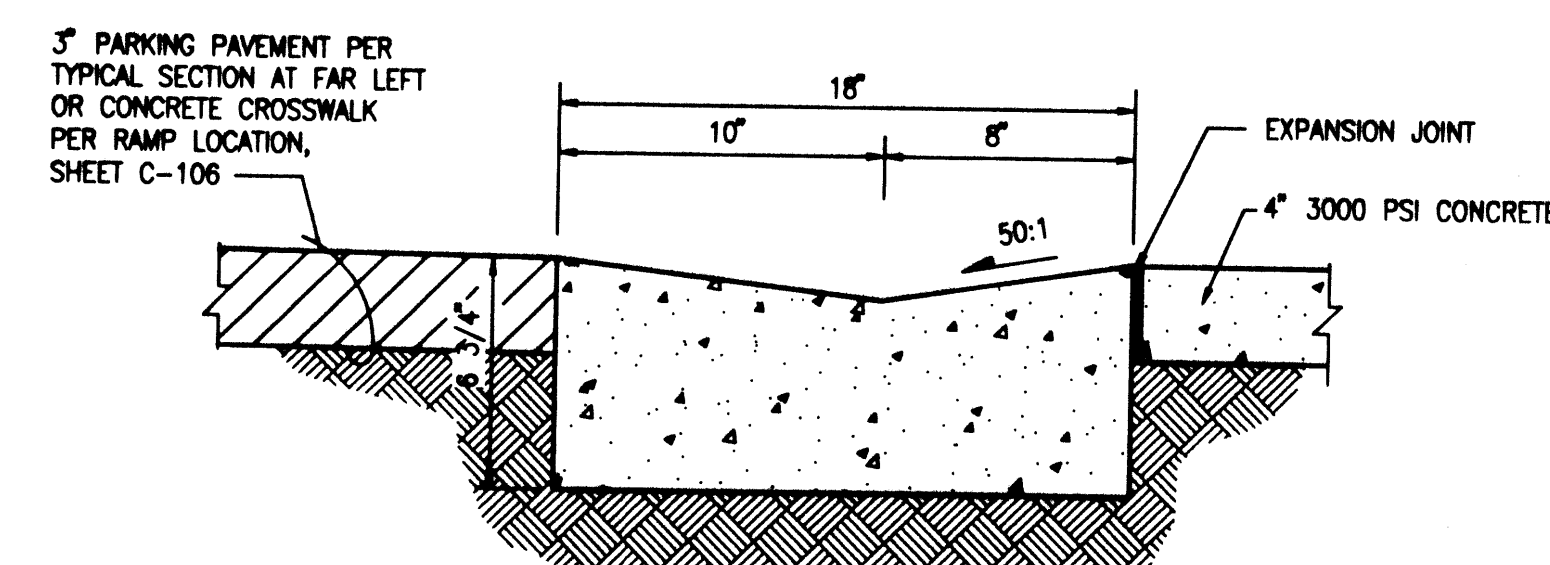
\*NOTE-CONSTRUCT CONSTRUCTION JOINTS AT 6' SPACING AND EXPANSION JOINTS AT 24' SPACING.  
TYPICAL CONCRETE SIDEWALK SECTION  
SCALE: 1" = 5'



ACCESSIBLE PARKING AREA  
SCALE: 1" = 6'



ACCESSIBLE RAMP TYPE "B"  
SCALE: 1" = 4'-0"

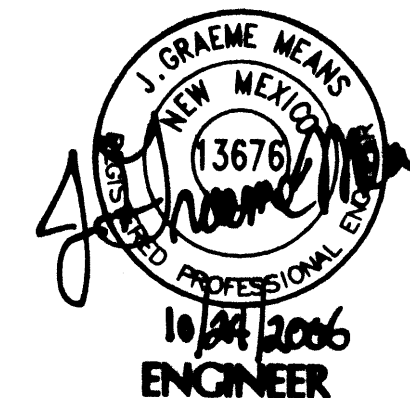


SECTION B-B (GUTTER AT RAMP SECTION)  
SCALE: 1" = 6'

#### GENERAL NOTES:

- ALL CONSTRUCTION SHOWN HEREIN, UNLESS OTHERWISE SPECIFIED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION-1986-UPDATE NO. 7 INCLUDING AMENDMENT 1.
- ALL DIMENSIONS SHOWN HEREIN ARE MEASURED TO FACE OF CURB, PROPERTY LINE OR FACE OF BUILDING.
- REFER TO GRADING AND DRAINAGE PLAN (SHEET C106) FOR ALL RELEVANT VERTICAL AND DRAINAGE RELATED INFORMATION.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.

ARCHITECT



DEL NORTE OFFICE PARK

5310 HOMESTEAD NE

ALBUQUERQUE, NEW MEXICO

CHERRY / SEE / REAMES ARCHITECTS, LLP

220 A GOLD AVE. SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

TITLE OF SHEET  
PAVING  
SECTIONS  
AND DETAILS

DATE  
10/24/06  
REVISIONS

SHEET NUMBER

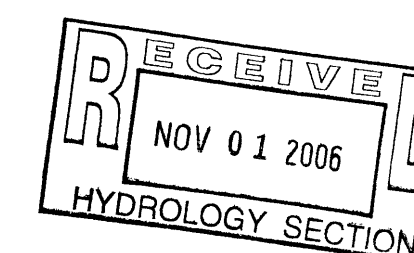
C107

OF

2006.026.3



JEFF MORTIMER & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS (C) NEW MEXICO (2006) 346-4220  
FAX: 505 346-4224 (C) ESTABLISHED 1977





LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 00°16'57" W	4.63'

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# STORMWATER COLLECTION INLET SCHEDULE

INLET	18" GRATE ELEV.	ATRIUM BUBBLER ELEV.
1	22.60	21.80
2	22.60	21.30
3	22.50	22.00
4	22.60	21.80
5	19.10	17.70
6	19.00	17.30
7	19.20	18.50
8	19.50	18.75
9	18.10	17.10
10	N/A	12.90
11	N/A	12.60
12	13.85	13.25
13	13.30	12.95
14	13.35	12.50
15	12.50	10.00
16	13.70	12.20
17	13.70	N/A

# KEYED DRAINAGE NOTES

1. INSTALL 24" NYOPLAST DRAIN BASIN W/18" GRATE; TG11.70; INV 4' (NE) @ 10.70; INV 5' OUT (NW) @ 10.30; BOTTOM @ 7.80
2. INSTALL 8" 22 1/2 ELL
3. INSTALL 24" NYOPLAST INLINE DRAIN W/18" GRATE; TG12.50
4. INSTALL 8" HANCOR HDPE (SOLID WALL) PIPE (NO HOLES)
5. INSTALL OUTLET TO ALLEY PER DETAIL, SHEET C109
6. DIRECT PIPED ROOF DRAIN PER SECTION, SHEET C109
7. USE SOLID WALL (NON-PERFORATED) PIPE W/N LIMITS SHOWN.
8. INSTALL 24" NYOPLAST INLINE DRAIN W/18" GRATE; TG13.70

# PROJECT BENCHMARK

THE STATION IS A STANDARD N.M.S.H.C. BRASS TABLE, STAMPED "N.M. 367-4, 1989" SET IN CONCRETE POST FLUSH WITH THE GROUND IN THE MEDIAN OF SAN MATEO N.E. APPROXIMATELY 272' NORTH OF THE INTERSECTION OF DOUGLAS McARTHUR ROAD AND SAN MATEO. ELEVATION = 5202.464 FEET (NVGD 1929)

## T.B.M. #1

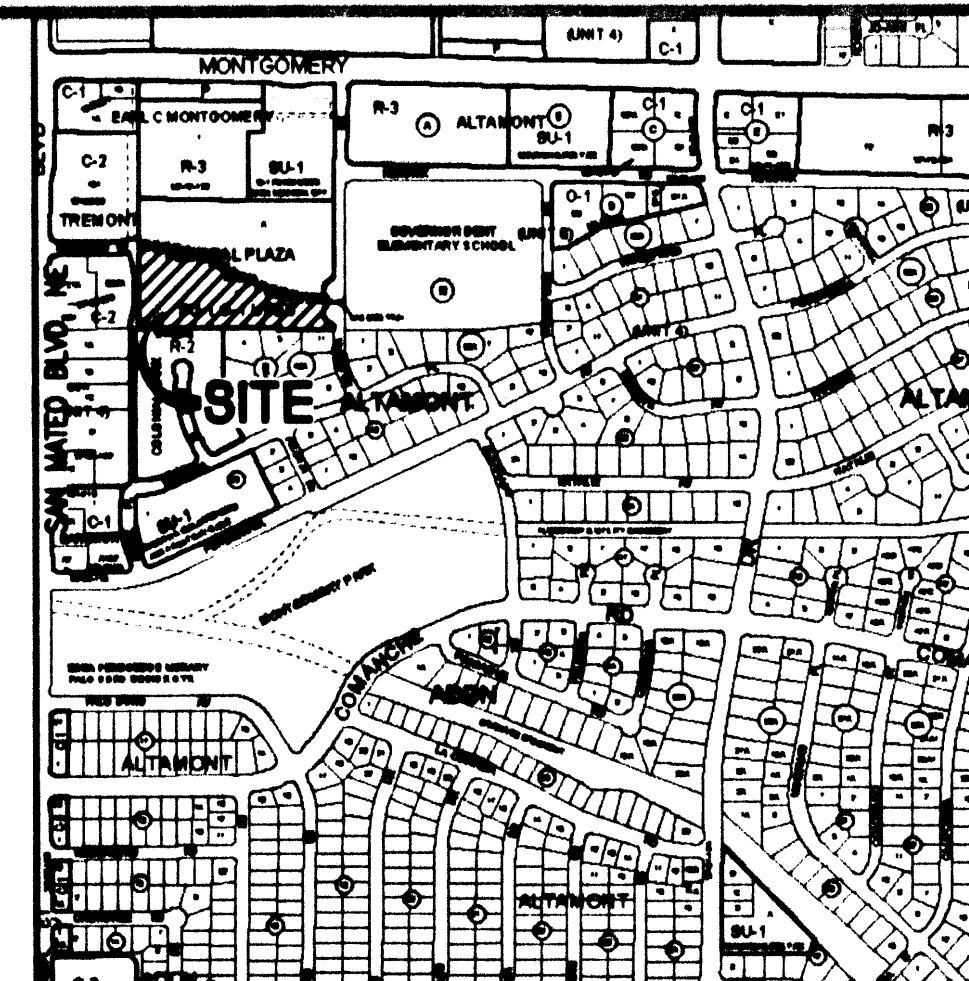
CHISELED SQUARE AT BACK OF CURB, AS SHOWN ON THIS SHEET. ELEVATION = 5208.17 FEET (NVGD 1929)

## T.B.M. #2

SPIKE WITH JMA RED CAP, AS SHOWN ON THIS SHEET. ELEVATION = 5222.50 FEET (NVGD 1929)

# LEGEND

- C & G COMMUNICATION
- C&G CURB AND GUTTER
- CB CONCRETE BRICK
- CCP CONCRETE BRICK POST
- CI CAST IRON
- CMU CONCRETE MASONRY UNIT
- CND CONDUIT
- CONC CONCRETE
- EPB ELECTRIC PULLBOX
- ET ELECTRIC TRANSFORMER
- FL FLOWLINE
- G GAS
- GW GUY WIRE
- MGP METAL GUARD POST
- WH WOODHOLE
- MP METAL POST
- OH OVERHEAD
- PATT PATTERN
- PM BY PAINT MARK
- PVC POLY VINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SF STEEL FENCE
- STD STANDARD
- SV SPRINKLER VALVE
- SW SIDEWALK
- TA TOP OF ASPHALT
- TB TELEPHONE VAULT BOX
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TS TRAFFIC SIGN
- TW TOP OF WALL
- TYP TYPICAL
- VCP VITRIFIED CLAY PIPE
- VG VALLEY GUTTER
- W WATER
- WL WATERLINE
- WM WATER METER
- WPP WOOD POWER POLE
- WS WOOD SIGN
- WV WATER VALVE
- WV EXISTING SPOT ELEVATION
- WV EXISTING CONTOUR
- WV DECIDUOUS TREE
- WV PAINTED UTILITY MARK
- WV ROOF DRAIN
- WV PROPOSED SPOT ELEVATION
- WV PROPOSED DIRECTION OF FLOW
- WV PROPOSED CONTOUR
- WV PROPOSED ASPHALT PAVING
- WV PROPOSED CONCRETE
- WV BASIN BOUNDARY
- WV STORMWATER COLLECTION INLET WITH OUTLET PIPE AND BUBBLER PER SECTION, SHEET C109



VICINITY MAP  
SCALE: 1" = 750'

## LEGAL DESCRIPTION:

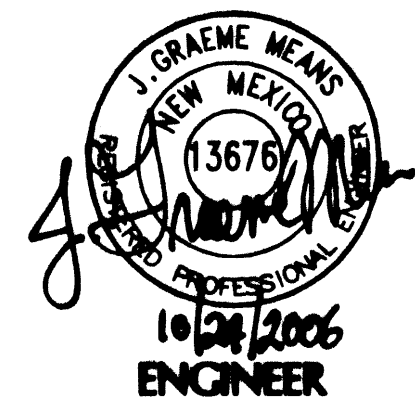
TRACT B, FEDERAL PLAZA

## ZONING:

SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184

## ARCHITECT



DEL NORTE OFFICE PARK

5310 HOMESTEAD NE

ALBUQUERQUE, NEW MEXICO

CHERRY / SEE / REAMES ARCHITECTS, LLP

220 A COLD AVE SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

## TITLE OF SHEET

FINAL  
GRADING  
PLAN

DATE

10/24/06

REVISIONS

SHEET NUMBER

C-108

OF

2006.026.3



JEFF MORTENSON & ASSOCIATES, INC.  
6800-S MEDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NM 87109  
ENGINEERS & SURVEYORS (C) 2005-2006  
FAX: 505 345-4254 • ESTABLISHED 1977

Plot Path: E:\JMA\JMA\2006\10-24-2006  
File Name: 60263GPR3.DWG  
Plot Date: 10-24-2006  
Plot Time: 08:58 am



## DRAINAGE PLAN

## I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEL NORTE OFFICE PARK IS LOCATED IN THE NEAR NORTHEAST HEIGHTS AREA OF ALBUQUERQUE. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL HAS BEEN PROCESSED THROUGH EPC, AND A CONCEPTUAL GRADING PLAN WAS APPROVED ALONG WITH THE FOLLOW-UP DRB SITE PLAN REVIEW. AS DEMONSTRATED BY THE CONCEPTUAL AND ROUGH GRADING PLANS, THIS INFILL SITE WILL CONTINUE DISCHARGE FREELY TO DOWNSTREAM PUBLIC STREET RIGHT OF WAY. NO PUBLIC INFRASTRUCTURE WILL BE REQUIRED. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN BUILDING AND SO #19 PERMIT APPROVALS.

## II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP G-18 LOCATED HEREON, THE SITE IS LOCATED ON THE SOUTH SIDE OF HOMESTEAD ROAD NE, JUST EAST OF SAN MATEO BLVD NE. THE SURROUNDING AREA IS FULLY DEVELOPED, MAKING THIS AN INFILL DEVELOPMENT. THE EXISTING LEGAL DESCRIPTION IS TRACT B, FEDERAL PLAZA. THE SITE IS ZONED SU-1 FOR O-1 USES AND THE PROPOSED OFFICE DEVELOPMENT IS CONSISTENT WITH THE ZONING.

AS SHOWN BY PANEL 139 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, THE SITE DOES NOT LIE WITHIN OR IMMEDIATELY UPSTREAM OF A DESIGNATED FLOOD HAZARD ZONE.

## III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS THAT ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

- GRADING AND DRAINAGE PLAN FOR BRIGHT BEGINNINGS - SAN MATEO BY JMA DATED 06-14-89 (G-18/D32). THIS PLAN SUPPORTED CONSTRUCTION OF THE DAY CARE FACILITY THAT LIES TO THE WEST OF THE PROPOSED DEL NORTE OFFICE PARK SITE. IN CONJUNCTION WITH THE DAY CARE PROJECT, A PUBLIC ALLEY BETWEEN THE DAY CARE AND THE PROPOSED OFFICE PARK WAS IMPROVED WITH MOUNTABLE CURB AND GUTTER AND ALLEY GUTTER (CPN 3774, 05/12/89, ALSO BY JMA). AS DEMONSTRATED BY THE DRAINAGE PLAN FOR THE BRIGHT BEGINNINGS, THE PUBLIC ALLEY HAS A CAPACITY OF 26.4 CFS AND WAS RECEIVING AN OFFSITE 100-YEAR PEAK FLOW OF 15 CFS FROM THE UNDEVELOPED FUTURE OFFICE SITE TO THE EAST.
- GRADING PLAN FOR HOMESTEAD OFFICE PARK PREPARED BY CHAVEZ-GRIEVES ENGINEERS DATED 5/17/1993. THIS PLAN SHOWED A TWO-PHASE OFFICE PARK DEVELOPMENT WITH PHASE 1 ON THE NORTH SIDE OF HOMESTEAD AND PHASE 2 ON THE SOUTH SIDE OF HOMESTEAD ON THE SAME TRACT THAT IS NOW PROPOSED AS THE DEL NORTE OFFICE PARK. PHASE 1 WAS CONSTRUCTED, PHASE 2 WAS NOT. THE PLAN IDENTIFIED FREE DISCHARGE TO HOMESTEAD FOR AN OFFICE PARK DEVELOPMENT. THE PROPOSED DEL NORTE OFFICE PARK IS CONSISTENT WITH THIS PLAN.
- CONCEPTUAL AND ROUGH GRADING PLANS FOR DEL NORTE OFFICE PARK DATED 08/11/2006 AND 10/05/06 BY JMA (G-18/D4). THESE PREVIOUSLY APPROVED PLANS FOR THIS SITE JUSTIFIED FREE DISCHARGE TO HOMESTEAD IN A MANNER CONSISTENT WITH THE PREVIOUSLY APPROVED PLANS FOR THE SITE.

THE PROPOSED CONSTRUCTION OF AN OFFICE PARK DEVELOPMENT DRAINING DIRECTLY AND FREELY TO THE FRONTING PUBLIC STREET AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

## IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED. EVIDENCE OF PRIOR GROUND DISTURBANCE IS EVIDENT, AND THE GROUND COVER OF NATIVE VEGETATION IS SPARSE. THE SITE REPORTEDLY WAS USED AS A MOBILE HOME PARK. THERE IS SOME EVIDENCE OF ABANDONED UTILITIES ON THE SITE. THE SITE SHEET DRAINS FROM SOUTHEAST TO NORTHWEST TO HOMESTEAD WHICH IS A PRIVATELY MAINTAINED STREET WITHIN A PUBLIC ACCESS EASEMENT. OFFSITE FLOWS DO NOT ENTER THE SITE FROM THE DEVELOPED STREETS TO THE NORTH AND EAST, FROM THE DEVELOPED PUBLIC ALLEY TO THE WEST, OR FROM THE DEVELOPED RESIDENTIAL PROPERTIES TO THE SOUTH. A CONCRETE BLOCK WALL RUNS ALONG THE SOUTH PROPERTY LINE, AND AN OPEN WROUGHT IRON FENCE RUNS ALONG THE WEST PROPERTY LINE.

## V. DEVELOPED CONDITIONS

THIS PLAN SUPPORTS BUILDING PERMIT APPROVALS.

THE IMPROVEMENTS WILL CONSIST OF THE CONSTRUCTION OF A FOUR BUILDING OFFICE PARK WITH PAVED PARKING, UTILITY AND LANDSCAPING IMPROVEMENTS. DEVELOPED ONSITE DRAINAGE WILL BE DIRECTED TO THE EXISTING PUBLIC STREET AND ALLEY VIA OVERLAND FLOW CONVEYED BY THE PAVED PARKING IMPROVEMENTS. MOST OF THE RUNOFF WILL DRAIN TO HOMESTEAD, WITH A SMALL PORTION (ABOUT 11.5 % OF THE SITE GENERATING LESS THAN 2 CFS DURING THE 100-YEAR STORM) DRAINING TO THE WEST TO THE ALLEY. THIS IS MUCH LESS THAN THE CAPACITY OF 26.4 CFS AND THE EXISTING 100-YEAR FLOW RATE OF 15 CFS INDICATED BY REFERENCE B.

AS REQUIRED BY AN EPC CONDITION, RAIN WATER MUST BE CAPTURED FROM THE ROOF DRAINS FOR RE-USE IN LANDSCAPED AREAS. TO COMPLY WITH THIS PLAN, ALL ROOF DRAINS WILL DISCHARGE TO LARGE DIAMETER PVC DRAIN BASINS THAT HAVE A DEEP SUMP THAT WILL RETAIN WATER, AND WILL HAVE OVERFLOW OUTFALL PIPES DISCHARGING TO SMALL BUBBLER INLETS IN LANDSCAPING AREAS.

## VI. GRADING PLAN

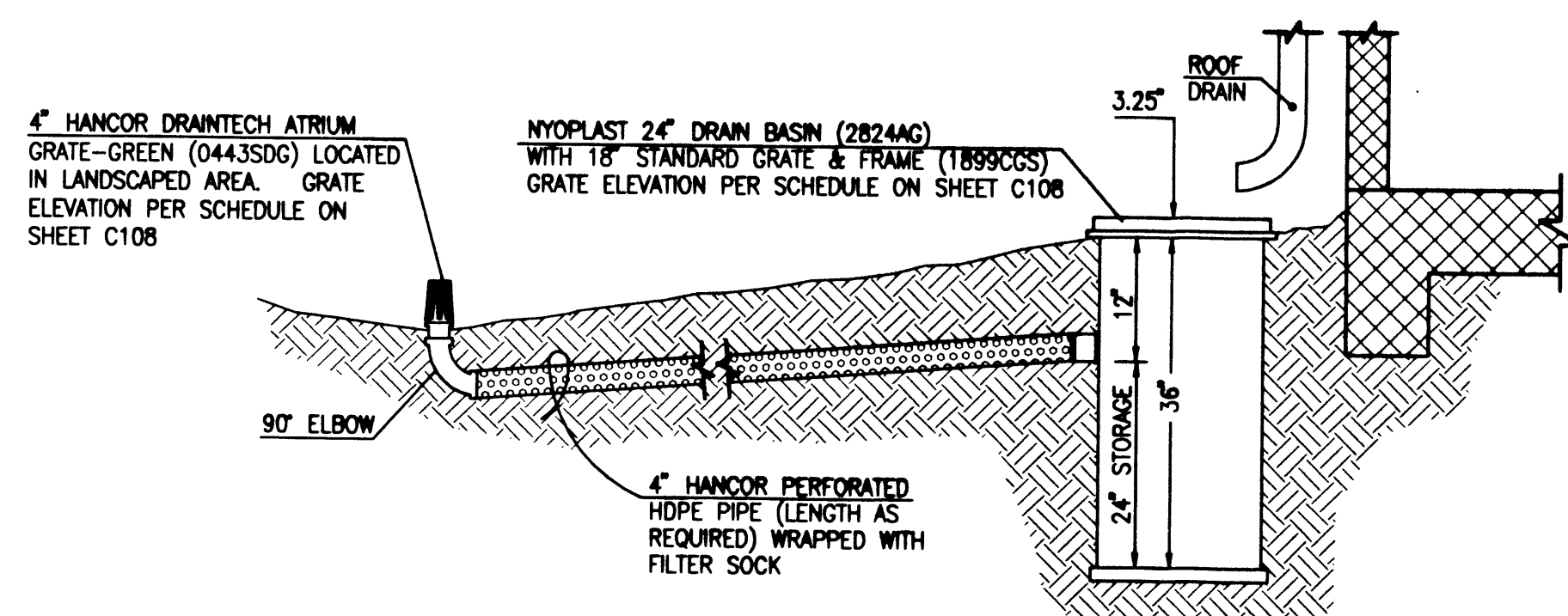
THE GRADING PLAN ON SHEET C109 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATION AND CONTOURS AT 1' 0" INTERVALS FROM THE TOPOGRAPHIC SURVEY BY THIS OFFICE DATED JUNE 28, 2006, NMPS 11184 2) PROPOSED GRADES INDICATED BY FINISHED PAD ELEVATIONS, SPOT ELEVATIONS, AND CONTOURS AT 1' 0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) CONTINUITY BETWEEN PROPOSED AND EXISTING GRADES.

## VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND FULLY DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. BECAUSE THE EXISTING SITE WAS GRADED AND COMPACTED (TREATMENT C), THE PROPOSED ROUGH GRADING WILL NOT RESULT IN AN INCREASE, HOWEVER, THE EVENTUAL SITE CONSTRUCTION WITH IMPROVED PARKING AREAS AND BUILDINGS WILL RESULT IN AN INCREASE IN RUNOFF THAT HAS BEEN PREVIOUSLY JUSTIFIED.

## VIII. CONCLUSIONS

1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR THE SITE. 2) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO PUBLIC DOWNSTREAM PAVING AND STORM DRAINAGE IMPROVEMENTS. 3) THERE ARE NO DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME.

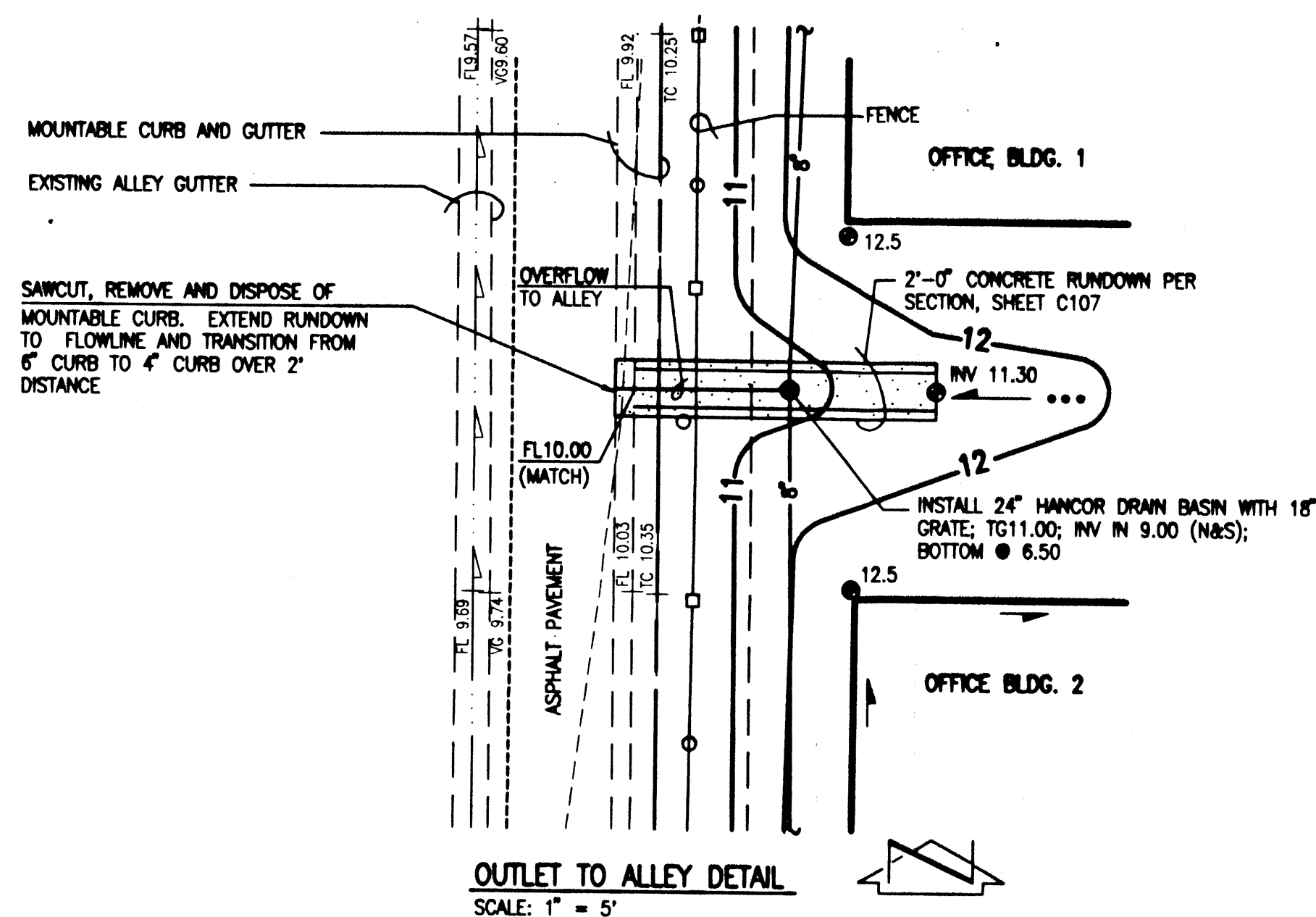


NOTE: CONTACT LAWRENCE LOPEZ, HANCOR INC.  
● 385-9584 FOR PRODUCT ORDERING

STORMWATER COLLECTION INLET  
N.T.S.

## GRADING NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 7, INCLUDING AMENDMENT 1.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS AND SHALL HAVE A MINIMUM R VALUE OF 50.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS.
- ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
- MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1X.
- ROUGH GRADING TOLERANCES SHALL BE ± 0.1 FT FOR BUILDING PADS AND STREETS AND ± 0.2' FOR ALL OTHER GRADING PROVIDED THE GRADES MEET THE INTENT OF THIS GRADING PLAN.
- UNDER FEDERAL LAW, THE OPERATOR(S) OF CONSTRUCTION SITES WHERE 1 OR MORE ACRES ARE DISTURBED MUST SUBMIT A NOTICE OF INTENT (N.O.I.) TO OBTAIN COVERAGE UNDER AN NPDES STORM WATER CONSTRUCTION GENERAL PERMIT.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.



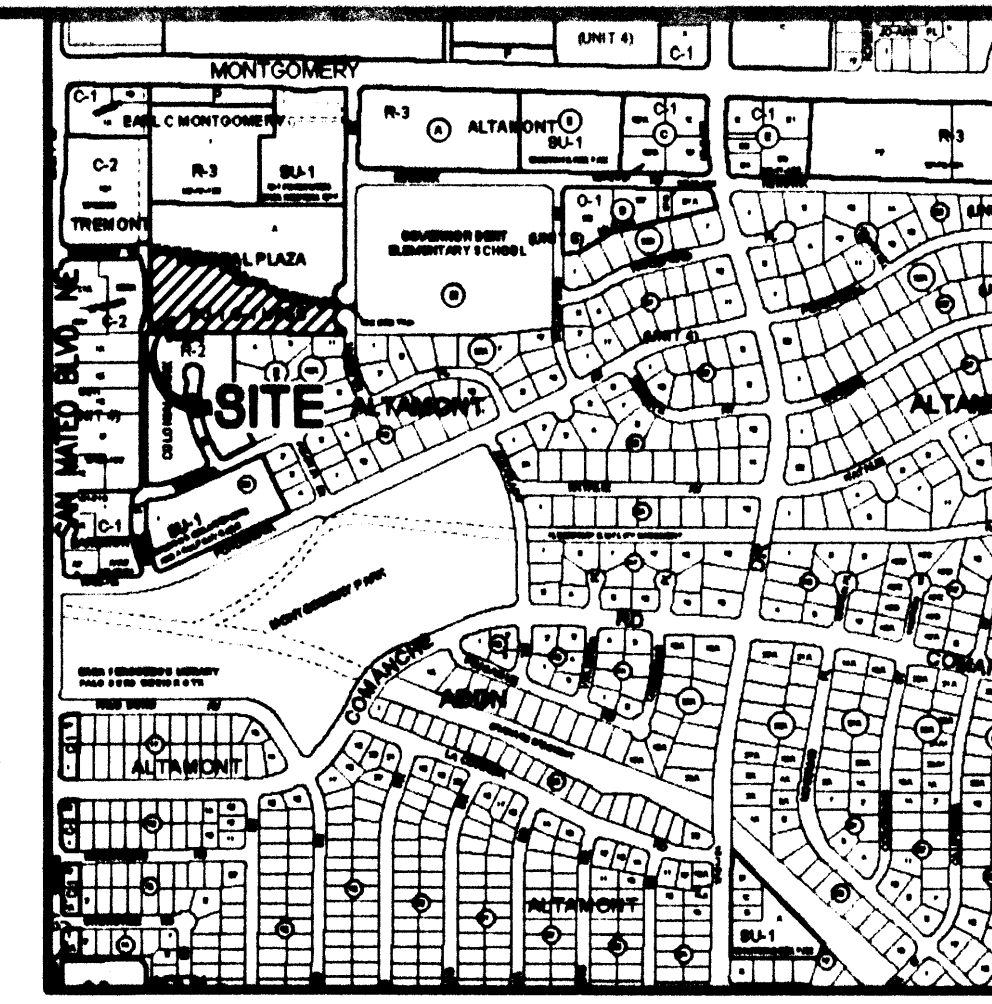
## CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

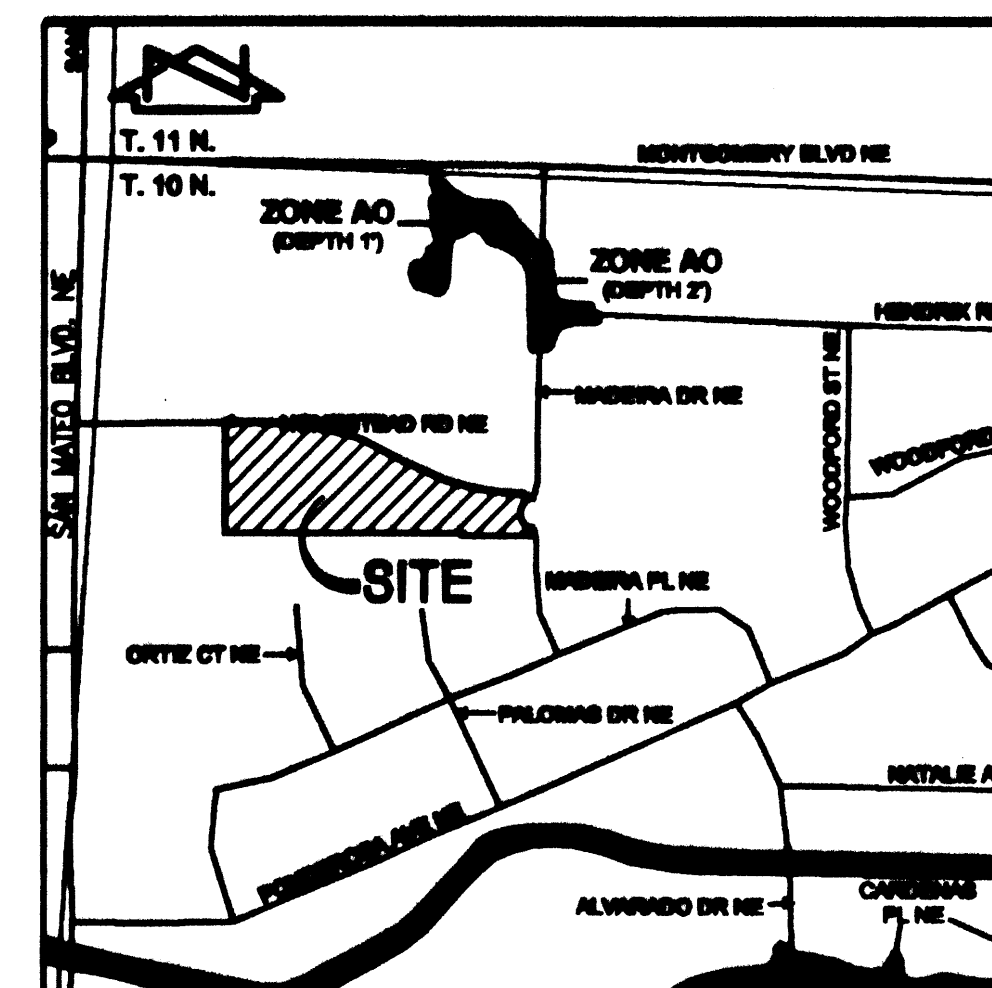
## EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



VICINITY MAP  
SCALE: 1" = 750'



F.I.R.M.  
SCALE: 1" = 500'±

PANEL 139 OF 825

## CALCULATIONS

## SITE CHARACTERISTICS

- PRECIPITATION ZONE = 3
- $P_{100} = P_{300} = 2.60$
- TOTAL PROJECT AREA ( $A_t$ ) = 162,002 SF / 3.72 AC
- EXISTING LAND TREATMENT

A. BASIN A		
TREATMENT	AREA (SF/AC)	%
C	162,002 / 3.72	100
5. DEVELOPED LAND TREATMENT		
A. BASIN A		
TREATMENT	AREA (SF/AC)	%
B	20,903 / 0.48	13
C	20,903 / 0.48	13
D	120,196 / 2.76	74

## EXISTING CONDITION

## A. BASIN A

## 1. VOLUME

$$E_v = (E_{vA} + E_{vB} + E_{vC} + E_{vD}) / A_t$$

$$E_v = ((0.92 \times 0.48) + (1.29 \times 0.48) + (2.36 \times 2.73)) / 3.72 = 2.04 \text{ IN}$$

$$V_{100} = (E_v / 12) A_t = (2.04 / 12) 3.72 = 0.6310 \text{ AC-FT} = 15,850 \text{ CF}$$

$$V_{100} = (E_v / 12) A_t = (1.29 / 12) 3.72 = 0.3998 \text{ AC-FT} = 11,420 \text{ CF}$$

## 2. PEAK DISCHARGE

$$Q_p = Q_{vA} + Q_{vB} + Q_{vC} + Q_{vD}$$

$$Q_p = Q_{100} = (3.45 \times 3.72) = 12.8 \text{ CFS}$$

## DEVELOPED CONDITION

## A. BASIN A

## 1. VOLUME

$$E_v = (E_{vA} + E_{vB} + E_{vC} + E_{vD}) / A_t$$

$$E_v = ((0.92 \times 0.48) + (1.29 \times 0.48) + (2.36 \times 2.73)) / 3.72 = 2.04 \text{ IN}$$

$$V_{100} = (E_v / 12) A_t = (2.04 / 12) 3.72 = 0.6310 \text{ AC-FT} = 15,850 \text{ CF}$$

## 2. PEAK DISCHARGE

$$Q_p = Q_{vA} + Q_{vB} + Q_{vC} + Q_{vD}$$

$$Q_p = Q_{100} = ((2.60 \times 0.48) + (3.45 \times 0.48) + (5.02 \times 2.76)) = 16.8 \text{ CFS}$$

## B. SUB-BASIN A-1 (DRAINS TO ALLEY)

$$\text{AREA} = 18,730 \text{ SF} = 11.5\% \text{ OF BASIN A}$$

$$V_{100} = 0.115(V_{100A}) = 0.115(15,850) = 1825 \text{ CF}$$

$$Q_{100} = 0.115(Q_{100A}) = 0.115(16.8) = 1.9 \text{ CFS}$$

## COMPARISON

## A. NORTH FLOW BASIN

## 1. VOLUME

$$V_{100} = 15,850 - 11,420 = 4,430 \text{ CF (INCREASE)}$$

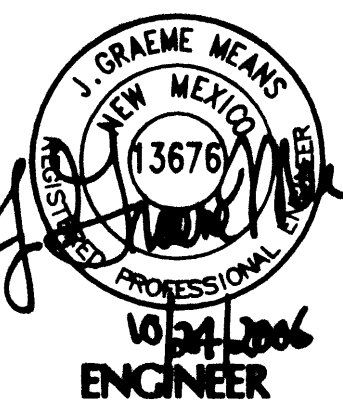
## 2. PEAK DISCHARGE

$$Q_{100} = 16.8 - 12.8 = 4.0 \text{ CFS (INCREASE)}$$

**Jma**  
JEFF MONTGOMERY & ASSOCIATES, INC.  
801-B MIDWAY PARK BLVD, N.E.  
ALBUQUERQUE, NEW MEXICO 87106  
PHONE: (505) 340-5400 FAX: (505) 340-4254 ESTABLISHED 1977

RECEIVED  
OCT 25 2006  
HYDROLOGY SECTION

ARCHITECT



DEL NORTE OFFICE PARK

5310 HOMESTEAD NE

ALBUQUERQUE, NEW MEXICO

CHERRY / SEE / REAMES ARCHITECTS, LLP

220 A COLD AVE SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

TITLE OF SHEET

DRAINAGE PLAN,  
CALCULATIONS,  
NOTES AND  
DRAINAGE DETAILS

DATE

10/24/06

REVISIONS

SHEET NUMBER

C-109

OF



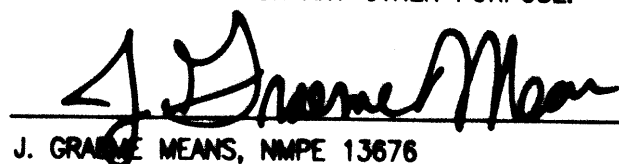


#### ENGINEER'S DRAINAGE CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/24/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

THE ORIGINAL SURVEY DATA INDICATED A POTENTIAL DRAINAGE BACKUP (ADVERSE SLOPE) AROUND THE NORTHEAST CORNER OF BUILDING 4. THIS AREA WAS SUBSEQUENTLY REGRADED BY THE CONTRACTOR. BASED ON MY VISUAL INSPECTION AND DATA PROVIDED BY THE CONTRACTOR, THE ADVERSE CONDITION WAS CORRECTED AND THE AREA SHOULD DRAIN IN ACCORDANCE WITH THE INTENT OF THE APPROVED PLAN. ALTHOUGH THE FINISHED FLOWLINE GRADE IS LESS THAN THE DESIRED 1%, IT IS BELOW FINISHED FLOOR ELEVATION AND THERE IS A RELATIVELY SMALL LANDSCAPED CONTRIBUTING AREA. NO ROOF DRAINS DISCHARGE TO THIS AREA.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
J. GRAEME MEANS, NMPE 13676

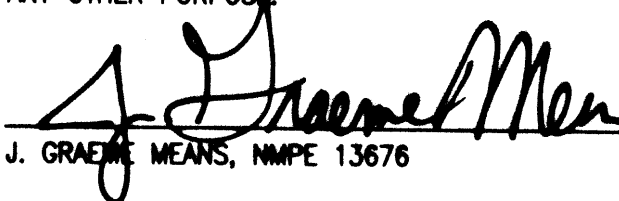
8/30/2007  
DATE



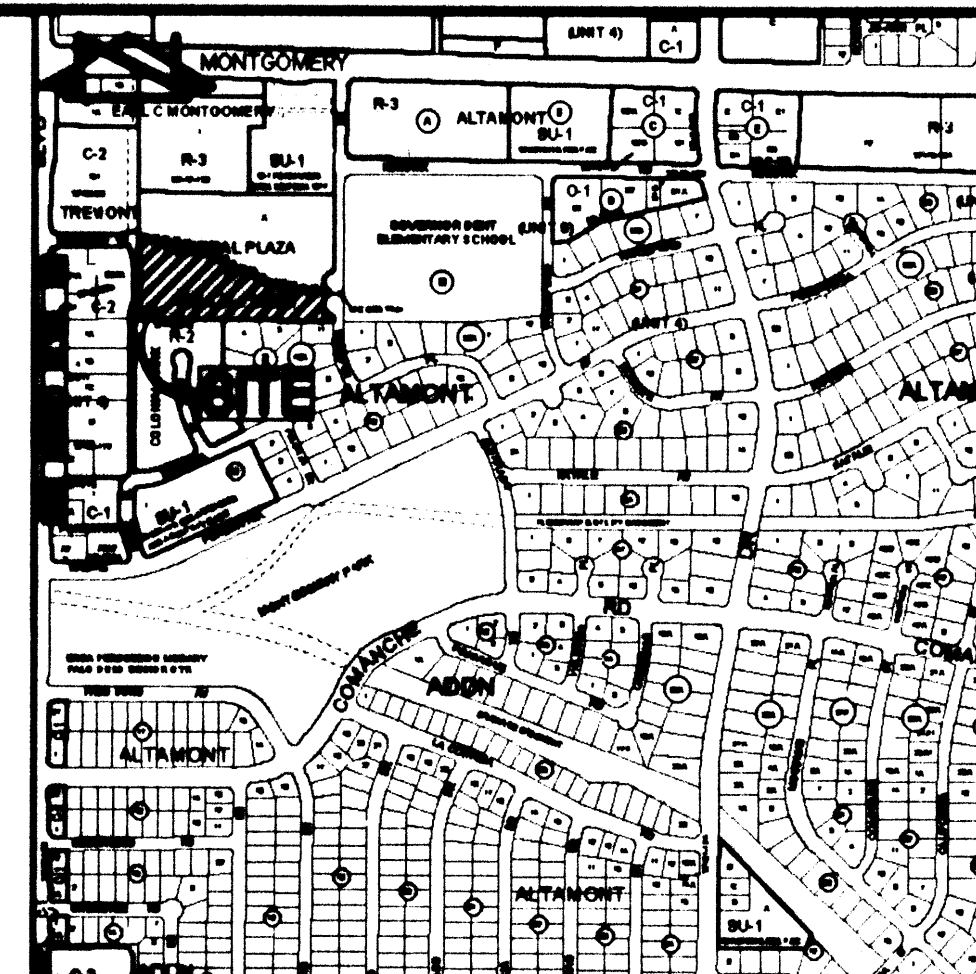
#### ENGINEER'S TRAFFIC CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE PLAN AS AMENDED 08/24/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL CONSTRUCTION DOCUMENT DATED 10/24/2006 WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

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J. GRAEME MEANS, NMPE 13676

8/30/2007  
DATE



VICINITY MAP

SCALE: 1" = 750'

G-18

#### LEGAL DESCRIPTION

TRACT A, DEL NORTE OFFICE PARK

File Path: B:\projects\2007\08-30-2007  
File Name: 60265CERT.DWG  
Plot Date: 08-30-2007  
Plot Time: 10:10 am

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4280 • FAX: 505.345.4284 • www.highmesacg.com

#### ENGINEER'S CERTIFICATION

#### DEL NORTE OFFICE PARK

HYDROLOGY FILE G18/D4

DESIGNED BY G.M.  
DRAWN BY RRV  
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS
1	08/07	G.M.	ENGINEER'S CERTIFICATIONS

JOB NO. 2006.026.5  
DATE 08-2007  
SHEET 1A OF 1



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
C2	704.82'	369.01'	S 73°59'35" E	364.81'	29°59'51"
C3	45.00'	19.96'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.99'	128°17'56"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"

INLET	GRATE ELEV.	ATRIUM BUBBLER ELEV.
1	22.50 47	21.90 52.3
2	22.50 37	21.30 4
3	22.50 30	22.00 7
4	22.50 30	22.50 50.4
5	18.40 10	12.50 10
6	18.40 10	12.50 10
7	18.40 10	12.50 10
8	18.40 10	12.50 10
9	18.40 10	12.50 10
10	18.40 10	12.50 10
11	18.40 10	12.50 10
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90	18.40 10	12.50 10
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93	18.40 10	12.50 10
94	18.40 10	12.50 10

• 12" x 12" GRATE  
• 24" DIA GRATE














- ① IMPROVE 24" NYOPLAST DRAIN BASIN W/18" GRATE; TG11.70;  
INLET 6" (NE) @ 10.70; INLET 8" OUT (NW) @ 10.30; BOTTOM  
@ 7.80
- ② IMPROVE 8" 1/2" ELL
- ③ IMPROVE 24" NYOPLAST INLINE DRAIN W/18" GRATE; TG12.50
- ④ IMPROVE 6" HANCOCK HOPE (SOLID WALL) PIPE (NO HOLES)
- ⑤ IMPROVE OUTLET TO ALLEY PER DETAIL, SHEET C109
- ⑥ DIRECT PIPED ROOF DRAIN PER SECTION, SHEET C109
- ⑦ USE SOLID WALL (NON-PERFORATED) PIPE W/1/4" LIMITS SHOWN.
- ⑧ IMPROVE 24" NYOPLAST INLINE DRAIN W/18" GRATE; TG13.70

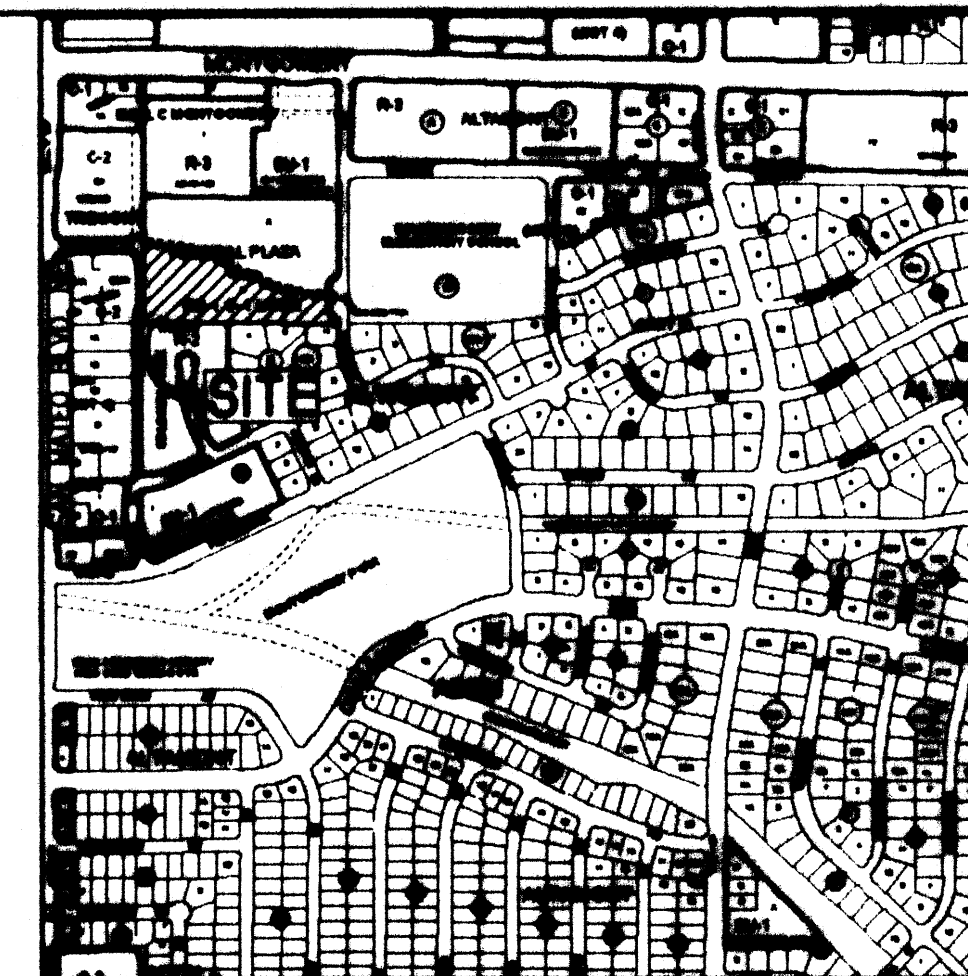
THE STATION IS A STANDARD N.M.S.H.C. BRASS TABLET, STAMPED "N.M. 367-4, 1969" SET IN CONCRETE POST FLUSH WITH THE GROUND IN THE MEDIAN OF SAN MATEO N.E. APPROXIMATELY 272' NORTH OF THE INTERSECTION OF DOUGLAS McARTHUR ROAD AND SAN MATEO. ELEVATION = 5202.464 FEET (NVGD 1929)

CHISELED SQUARE AT BACK OF CURB, AS SHOWN ON THIS SHEET.  
ELEVATION = 5209.17 FEET (NVGD 1929)

SPIKE WITH JMA RED CAP, AS SHOWN ON THIS SHEET.  
ELEVATION = 5222.50 FEET (NVGD 1929)

C	COMMUNICATION
CG	CURB AND GUTTER
CB	CONCRETE BRICK
CGP	CONCRETE GUARD POST
CI	CAST IRON
CMU	CONCRETE MASONRY UNIT
CND	CONDUIT
CONC	CONCRETE
E	ELECTRIC
EPB	ELECTRIC PULLBOX
ET	ELECTRIC TRANSFORMER
FL	FLOWLINE
F	GAS
GW	GUY WIRE
MGP	METAL GUARD POST
MH	MANHOLE
MP	METAL POST
OTH	OVERHEAD
PAT	PATTERN
PM	PAINT MARK
PVC	POLY VINYL CHLORIDE
RPC	REINFORCED CONCRETE P
SAS	SANITARY SEWER
SF	STEEL FENCE
STD	STANDARD
SPR	SPRINKLER VALVE
SW	SIDEWALK
TA	TOP OF ASPHALT
TB	TELEPHONE VAULT BOX
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TS	TRAFFIC SIGN
TW	TOP OF WALL
TY	TYPICAL
VCP	VITRIFIED CLAY PIPE
VG	VALLEY GUTTER
W	WATER
WL	WATERLINE
WM	WATER METER
WPP	WOOD POWER POLE
WS	WOOD SIGN
WV	WATER VALVE

 + 20.4  
  
  
  
  
 18.1  
  
  
  
  
  
  
 SEE 21.04 FOR  
 RECORD INFORMATION



VICINITY MAP  
SCALE: 1" = 750'

LEGAL DESCRIPTION:  
TRACT B, FEDERAL PLAZA

ZONING:  
SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184

**DEL NORTE OFFICE PARK**

5310 HOMESTEAD NE

ALBUQUERQUE, NEW MEXICO

**CHERRY / SEE / REAMES ARCHITECTS, LLP**

2220 A GOLD AVE SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

**TITLE OF SHEET**

# FINAL GRADING PLAN

DATE \_\_\_\_\_

10/24/06

REVISIONS

ENGINEER'S CERT.

**SHEET NUMBER**

C-108

On



**JEFF HERTENDEN & ASSOCIATES, INC.**  
☐ 6000-B NEWWAY PARK BLVD. N.E.  
☐ ALBUQUERQUE ☐ NEW MEXICO 87109  
☐ ENGINEERS ☐ SURVEYORS (800) 345-4252  
☐ FAX: 505 345-4254 ☐ ESTABLISHED 1977





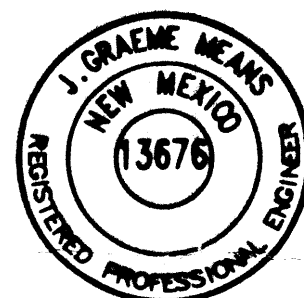
ENGINEER'S DRAINAGE CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/24/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

THE ORIGINAL SURVEY DATA INDICATED A POTENTIAL DRAINAGE BACKUP (ADVERSE SLOPE) AROUND THE NORTHEAST CORNER OF BUILDING 4. THIS AREA WAS SUBSEQUENTLY REGRADED BY THE CONTRACTOR. BASED ON MY VISUAL INSPECTION AND DATA PROVIDED BY THE CONTRACTOR, THE ADVERSE CONDITION WAS CORRECTED AND THE AREA SHOULD DRAIN IN ACCORDANCE WITH THE INTENT OF THE APPROVED PLAN. ALTHOUGH THE FINISHED FLOWLINE GRADE IS LESS THAN THE DESIRED 1%, IT IS BELOW FINISHED FLOOR ELEVATION AND THERE IS A RELATIVELY SMALL LANDSCAPED CONTRIBUTING AREA. NO ROOF DRAINS DISCHARGE TO THIS AREA.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*J. Graeme Means*  
J. GRAEME MEANS, NMPE 13676



8/30/2007

DATE



ENGINEER'S TRAFFIC CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE PLAN AS AMENDED 08/24/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL CONSTRUCTION DOCUMENT DATED 10/24/2006 WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

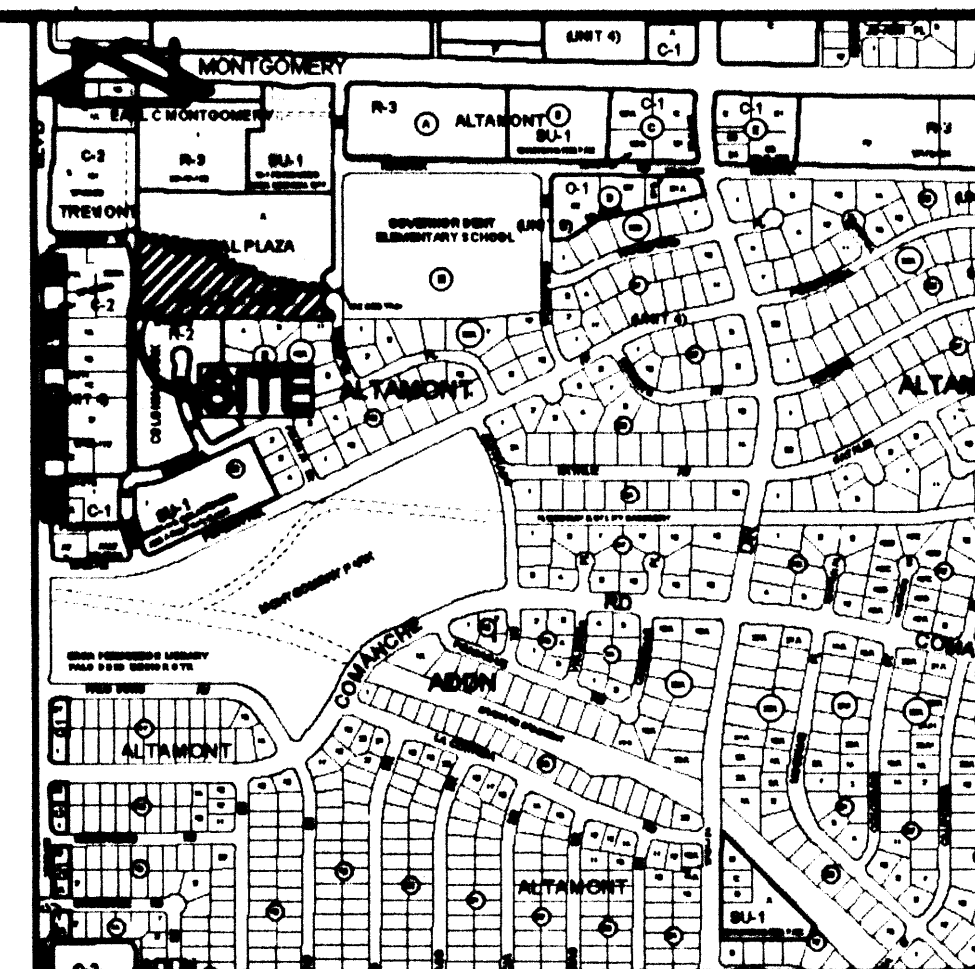
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*J. Graeme Means*  
J. GRAEME MEANS, NMPE 13676



8/30/2007

DATE



VICINITY MAP

SCALE: 1" = 750'±

LEGAL DESCRIPTION

TRACT A, DEL NORTE OFFICE PARK

G-18

File Path: \\hmc\projects\2006\2006-30-2007  
Plot Date: 08-30-2007  
File Name: 8026SCERT.DWG  
Plot Time: 10:10 am

HYDROLOGY FILE G18/D4

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-S MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.346.4280 • FAX: 505.346.4254 • www.highmesacg.com

**ENGINEER'S CERTIFICATION  
DEL NORTE OFFICE PARK**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	RRV	1	08/07	G.M.	ENGINEER'S CERTIFICATIONS	2006.026.5
APPROVED BY	G.M.					DATE
						08-2007
						SHEET
						1A OF



LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 00°16'57" W	4.63'

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
C2	704.82'	369.01'	S 73°59'35" E	364.81'	29°59'51"
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# PROJECT BENCHMARK

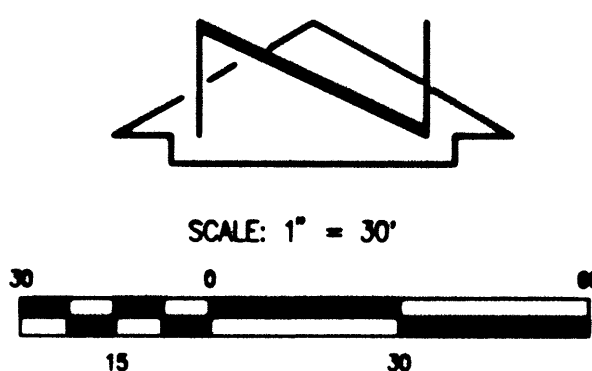
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## T.B.M. #1

CHISELED SQUARE AT BACK OF CURB, AS SHOWN ON THIS SHEET. ELEVATION = 5209.17 FEET (NGVD 1929)

## T.B.M. #2

SPIKE WITH JMA RED CAP, AS SHOWN ON THIS SHEET. ELEVATION = 5222.50 FEET (NGVD 1929)



## LEGEND

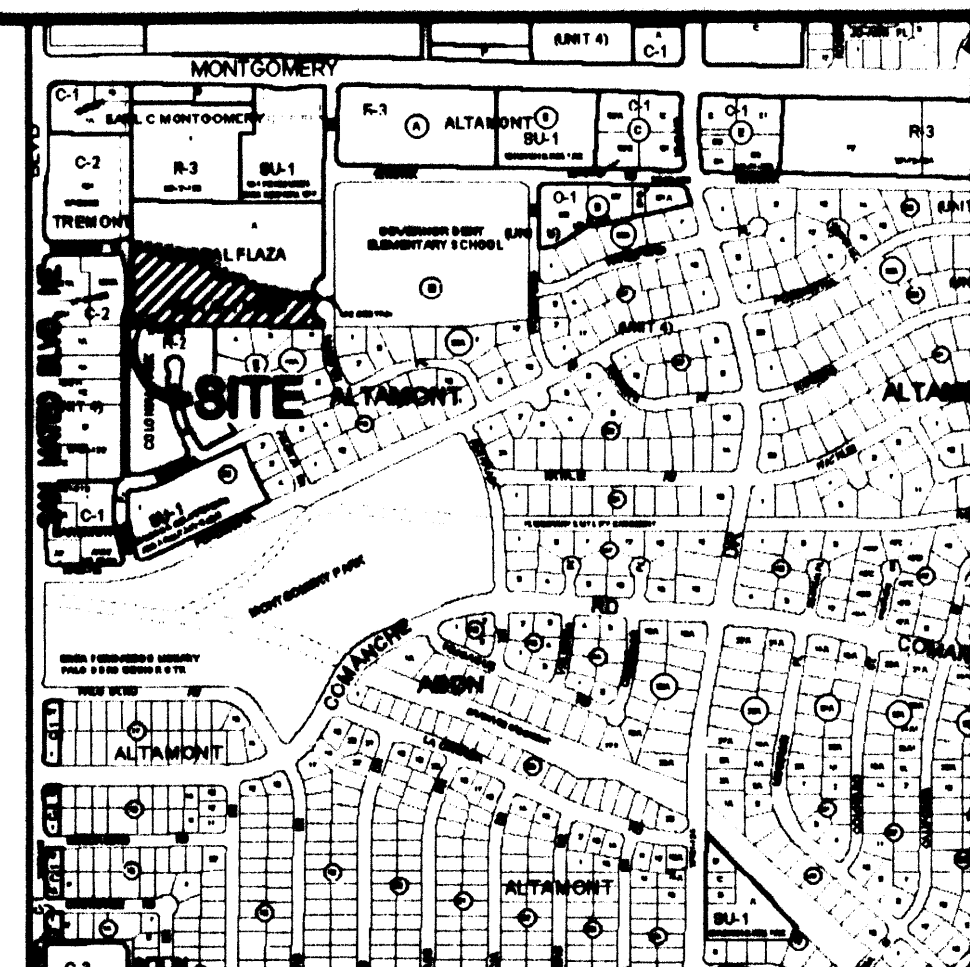
C	COMMUNICATION CURB AND GUTTER	SP	STANDARD SPRINKLER VALVE
CB	CONCRETE BRICK	SV	SIDEWALK VALVE
CI	CAST IRON	TL	TOP OF CULVERT
CNU	CONCRETE MASONRY UNIT	TC	TOP OF CONCRETE
CND	CONCRETE	TS	TOP OF CURB
CONC	CONCRETE	TW	TOP OF WALL
E	ELECTRIC	TYP	TYPICAL
EPB	ELECTRIC PULLBOX	VCP	VITRIFIED CLAY PIPE
ET	ELECTRIC TRANSFORMER	VG	VALLEY GUTTER
FL	FLOWLINE	W	WATER
G	GAS	WL	WATERLINE
GW	GUY WIRE	WM	WATER METER
MGP	METAL GUARD POST	WP	WOOD POWER POLE
MH	MANHOLE	WS	WOOD SIGN
MP	METAL POST	WV	WATER VALVE
OH	OVERHEAD	WT	WOOD TRAILER
PAT	PATTERN	WV	WOOD VALVE
PM	BY PAINT MARK	WV	WOOD VALVE
PVC	POLY VINYL CHLORIDE	WV	WOOD VALVE
RCP	REINFORCED CONCRETE PIPE	WV	WOOD VALVE
SAS	SANITARY SEWER	WV	WOOD VALVE
SF	STEEL FENCE	WV	WOOD VALVE

## RECORD INFORMATION

- 4.72 RECORD INFORMATION
- 4.72 RECORD INFORMATION
- 4.72 RECORD INFORMATION
- 4.72 RECORD INFORMATION

## KEYED NOTES

1. CONSTRUCT TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET C-107
2. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET C-107
3. CONCRETE FLATWALK TO BE CONCURRENT WITH BUILDING CONSTRUCTION. REFER TO ARCHITECTURAL PLAN FOR CONSTRUCTION DETAILS.
4. LIGHT POLE, REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
5. CONSTRUCT 18" CURB OPENING FOR DRAINAGE
6. CONSTRUCT 6" CURB AND GUTTER PER TYPICAL SECTION, SHEET C-107
7. CONSTRUCT 4" CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET C-107
8. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET C-107
9. CONSTRUCT 2-24" SIDEWALK CULVERTS PER TYPICAL SECTION, SHEET C-107
10. CONSTRUCT CONCRETE CROSSWALK PER TYPICAL SECTION, SHEET C-107
11. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
12. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
13. NEATLY SAWCUT, REMOVE AND DISPOSE EXISTING VALLEY GUTTER AND PAVEMENT.
14. NEATLY SAWCUT, REMOVE AND DISPOSE OF EXISTING ASPHALT CONCRETE
15. CONSTRUCT STANDARD 8" CURB AND GUTTER PER COA STD. DWG. 2415.
16. INSTALL 4" WHITE PAINTED PAVEMENT STRIPE, TYP.
17. CONSTRUCT ASPHALT DRIVE ASLE PAVEMENT PER TYPICAL SECTION, SHEET C-107
18. CONSTRUCT ASPHALT CONCRETE PARKING PAVEMENT PER TYPICAL SECTION, SHEET C-107
19. CONSTRUCT ACCESSIBLE PARKING AREA PER DETAIL, SHEET C-107
20. CONSTRUCT 12" SIDEWALK CULVERT PER COA STD. DWG. 2236 (SO #19 PERMIT REQUIRED).
21. LANDSCAPING - REFER TO LANDSCAPING PLAN
22. STENCIL "COMPACT" DESIGNATION ON ALL SPACES DESIGNATED WITH THE LETTER 'C', TYPICAL
23. CONSTRUCT ACCESS RAMP TYPE "A" PER DETAIL, SHEET C-107
24. CONSTRUCT ACCESS RAMP TYPE "B" PER DETAIL, SHEET C-107
25. INSTALL BICYCLE RACK - SEE ARCHITECTURAL PLANS FOR DETAILS
26. INSTALL STOP SIGN (R1-1) AND POST
27. CONSTRUCT PRIVATE ENTRANCE PER COA STD. DWG. 2426
28. CONSTRUCT 2-24" SIDEWALK CULVERTS PER COA STD. DWG. 2236 (SO #19 PERMIT REQUIRED).
29. MONUMENT SIGN - SEE ARCHITECTURAL PLANS FOR ELEVATION AND DETAILS
30. ROOF DRAIN/WATER RETENTION AND INFILTRATION DEVICE-SEE SHEET C-108 FOR SPECIFICATIONS AND ELEVATIONS.
31. CONSTRUCT WHEELCHAIR ACCESS RAMPS PER COA STD DWG 2426
32. PAINT MOTORCYCLE PAVEMENT MARKING ON ALL SPACES DESIGNATED WITH THE LETTERS "MC", TYPICAL
33. CONSTRUCT 2'-0" CONCRETE RUNDOWN PER DETAIL, SHEET C-108 AND SECTION, SHEET C-107.
34. ROOF DRAIN WITH UNDERGROUND PIPING (NO STORAGE CHAMBER).



VICINITY MAP  
SCALE: 1" = 750'

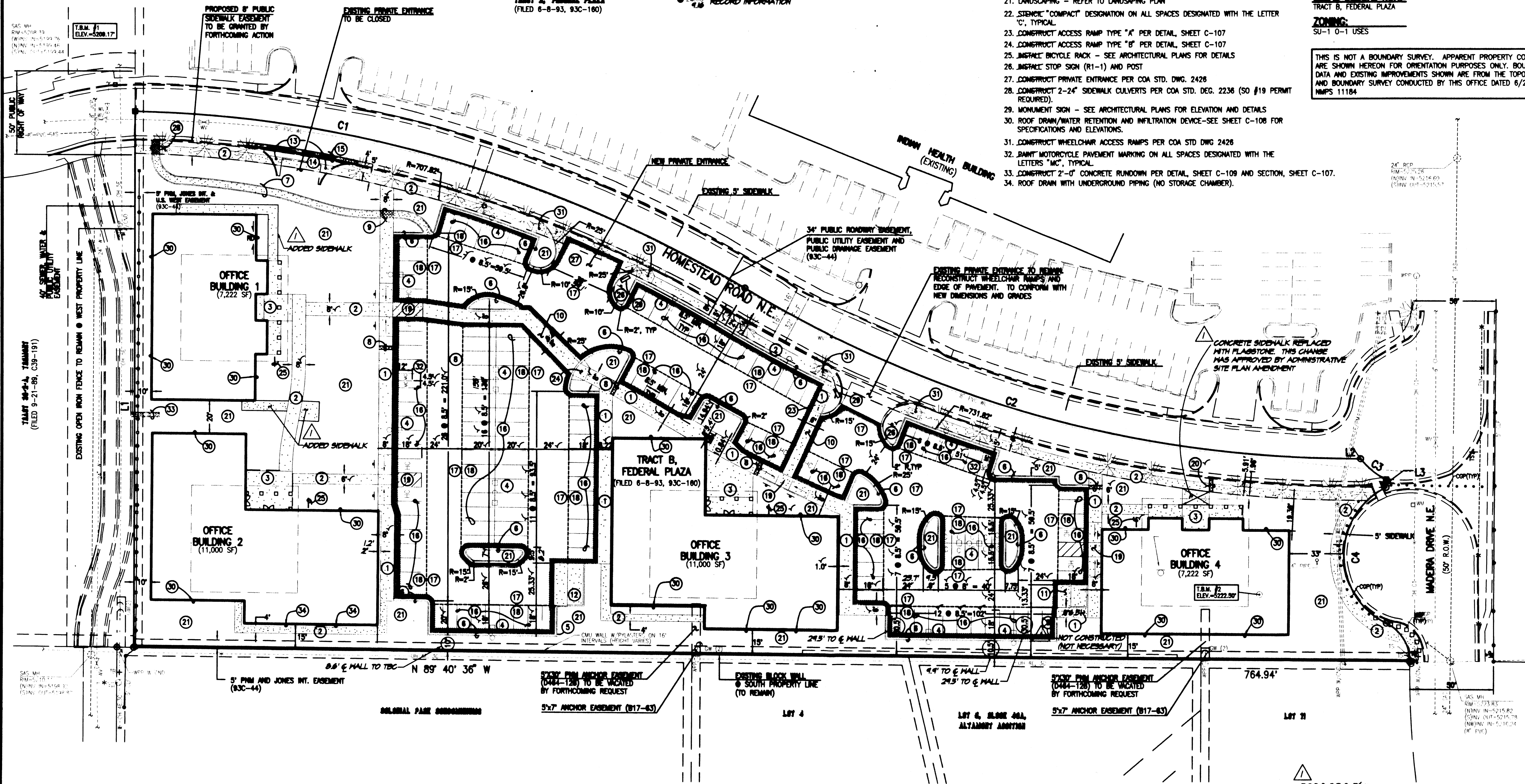
## LEGAL DESCRIPTION

TRACT B, FEDERAL PLAZA

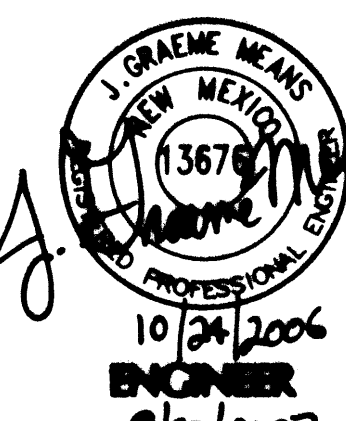
## ZONING

SU-1 O-1 USES

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## ARCHITECT



DEL NORTE OFFICE PARK

5310 HOMESTEAD NE

ALBUQUERQUE, NEW MEXICO

CHERRY / SEE / REAMES ARCHITECTS, LLP

220 A GOLD AVE SW. ALBUQUERQUE, NEW MEXICO, 87102 505 942 1276

## TITLE OF SHEET

PAYING SITE PLAN

## DATE

10/24/06

## REVISIONS

ENGINEER'S CERT.

## SHEET NUMBER

C-106

OF



JEFF MEANS & ASSOCIATES, INC.  
6800-B HENRY PARK BLVD. NE  
ALBUQUERQUE, NM 87109  
ENGINEER (C) SURVEYOR (CNS) 345-4850  
FAX: 345-4854 • ESTABLISHED 1977



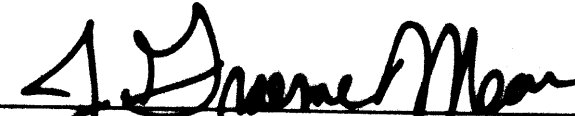


#### ENGINEER'S DRAINAGE CERTIFICATION

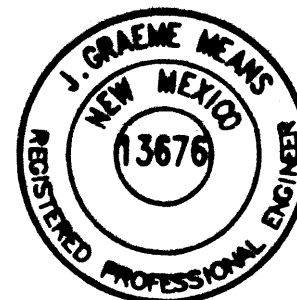
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/24/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

THE ORIGINAL SURVEY DATA INDICATED A POTENTIAL DRAINAGE BACKUP (ADVERSE SLOPE) AROUND THE NORTHEAST CORNER OF BUILDING 4. THIS AREA WAS SUBSEQUENTLY REGRADED BY THE CONTRACTOR. BASED ON MY VISUAL INSPECTION AND DATA PROVIDED BY THE CONTRACTOR, THE ADVERSE CONDITION WAS CORRECTED AND THE AREA SHOULD DRAIN IN ACCORDANCE WITH THE INTENT OF THE APPROVED PLAN. ALTHOUGH THE FINISHED FLOWLINE GRADE IS LESS THAN THE DESIRED 1%, IT IS BELOW FINISHED FLOOR ELEVATION AND THERE IS A RELATIVELY SMALL LANDSCAPED CONTRIBUTING AREA. NO ROOF DRAINS DISCHARGE TO THIS AREA.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
J. GRAEME MEANS, NMPE 13676

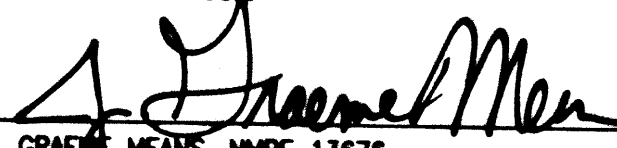
8/30/2007  
DATE



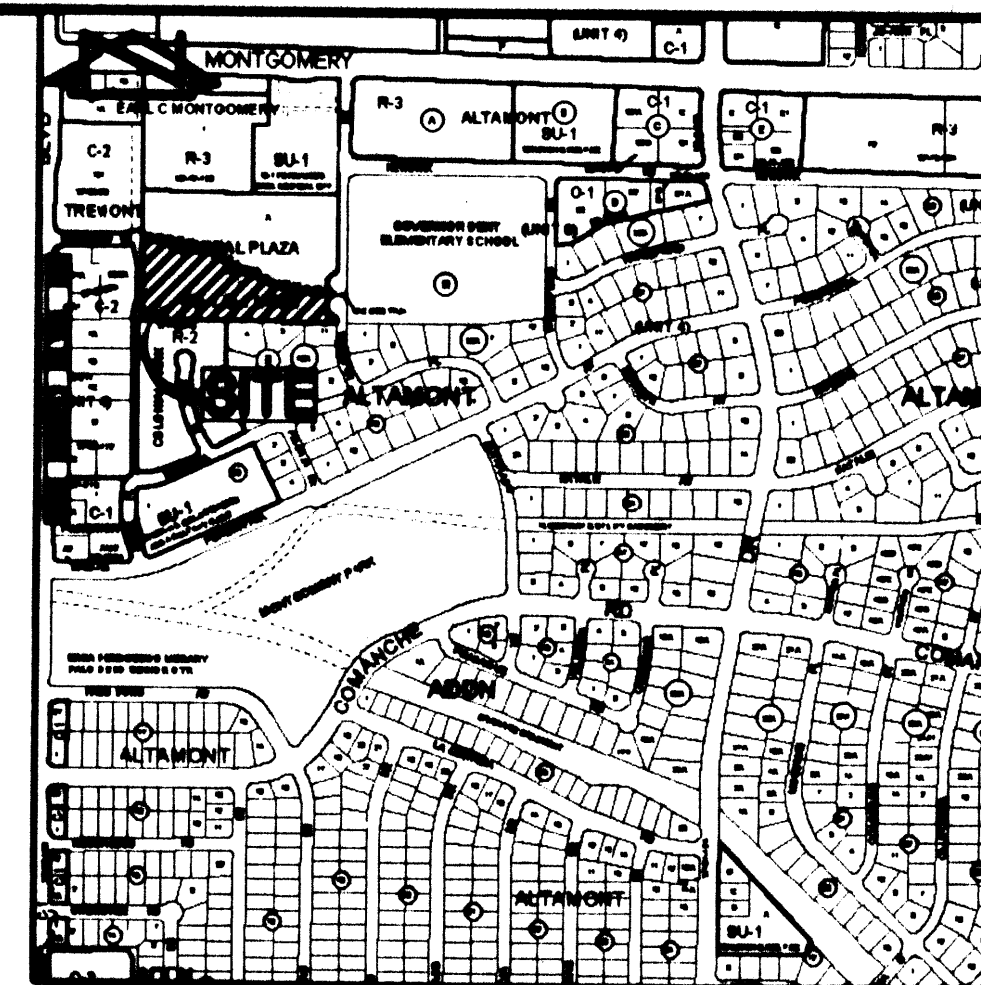
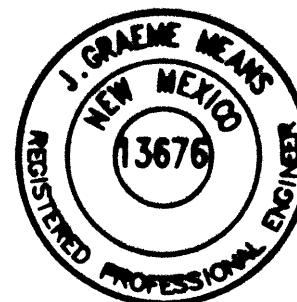
#### ENGINEER'S TRAFFIC CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE PLAN AS AMENDED 08/24/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL CONSTRUCTION DOCUMENT DATED 10/24/2006 WAS OBTAINED 07/13/2007 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AUGUST 27, 2007 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED AS A RECORD DRAWING.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE PAVING ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
J. GRAEME MEANS, NMPE 13676

8/30/2007  
DATE




VICINITY MAP

SCALE: 1" = 750'±

#### LEGAL DESCRIPTION

TRACT A, DEL NORTE OFFICE PARK

G-18

File Path:  80265CERT.DWG  
Plot Date: 08-30-2007  
Plot Time: 10:10 am

HYDROLOGY FILE G18/D4

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 866.346.4288 • FAX: 866.346.4284 • www.highmesacg.com

**ENGINEER'S CERTIFICATION**  
**DEL NORTE OFFICE PARK**

DESIGNED BY	G.M.	REL	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	RRV	△	08/01/07	G.M.	ENGINEER'S CERTIFICATIONS	2006.026.5
APPROVED BY	G.M.					DATE
						08-2007
						SHEET
						1A



# KEYED NOTES

- ① BICYCLE RACK (HOLDS 3 BIKES)
- ② ACCESSIBLE RAMP, PARKING STALLS AND SIGNAGE
- ③ CONCRETE PEDESTRIAN WALKWAY
- ④ CURB AND GUTTER, TYP.
- ⑤ TURNDOWN SIDEWALK
- ⑥ REFUSE PAD & ENCLOSURE PER DETAIL, SHEET 6
- ⑦ CONCRETE SIDEWALK, WIDTH AS NOTED, CONSTRUCTION BY BUILDING PERMITS PER COA STD. DUE. 04/30.
- ⑧ ASPHALT PAVEMENT
- ⑨ NEW 15' TALL POLE MOUNTED 16" SQUARE X 6.5" DEEP, 250 WATT MH FIXTURE
- ⑩ LANDSCAPING, SEE SHEET 2 FOR PLAN
- ⑪ MONUMENT SIGN, SEE SHEET 6 FOR DETAIL & ELEVATION
- ⑫ PROPOSED STOP SIGN
- ⑬ MOTORCYCLE PARKING SPACES WITH SIGNAGE (12"x14.25" EACH)
- ⑭ BENCH, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑮ SHADED PICNIC TABLE, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑯ ROOF DRAIN WITH RAIN STORAGE CHAMBER

# SITE PLAN NOTES

1. SETBACKS SHALL BE PER THE O-1 ZONE EXCEPT AT THE NE CORNER OF BUILDING 4 AS SHOWN.
2. TOTAL SQUARE FOOTAGE: 38,444
3. NET LEASABLE AREA = 80% OF GROSS = 29,155
4. REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 146 SPACES
5. PARKING PROVIDED = 344 SPACES FOR CARS + 4 FOR MOTORCYCLES
6. ACCESSIBLE PARKING REQUIRED = 8 (8 PROVIDED)
7. COMPACT SPACES ALLOWED = 25% = 38 (32 PROVIDED)
8. BICYCLE SPACES REQUIRED = 1/20 VEHICLE SPACES = 8 (12 PROVIDED)
9. MOTORCYCLE PARKING REQUIRED = 4 (4 PROVIDED)

# LINE TABLE

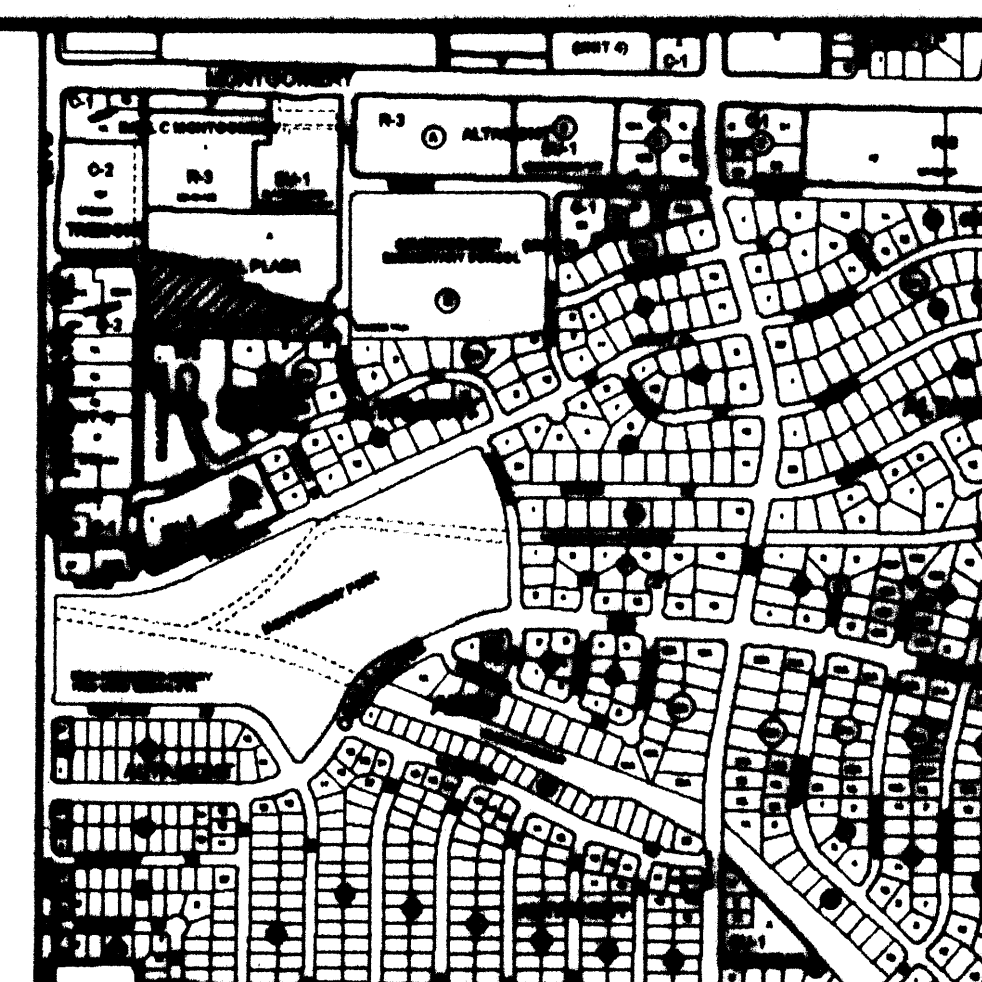
LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 00°16'57" W	4.63'

# CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°58'51"
C2	704.82'	369.01'	S 73°58'35" E	364.81'	29°58'51"
C3	45.00'	19.98'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.98'	128°17'56"
C5	25.00'	26.09'	S 32°04'28" E	26.64'	64°22'48"

# LEGEND

- PROPOSED LIGHT
- △ ACCESSIBLE PARKING SIGN
- △ COMPACT PARKING SIGN
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- △ MC MOTORCYCLE PARKING SPACE
- △ CSP CONCRETE CURB POST
- △ MSP METAL CURB POST
- ROOF DRAINAGE RUN HARBORING FEATURE



# VICINITY MAP

SCALE: 1" = 750'

# LEGAL DESCRIPTION

TRACT B, FEDERAL PLAZA

# ZONING

SU-1 O-1 USES

PROJECT NUMBER: 1004824

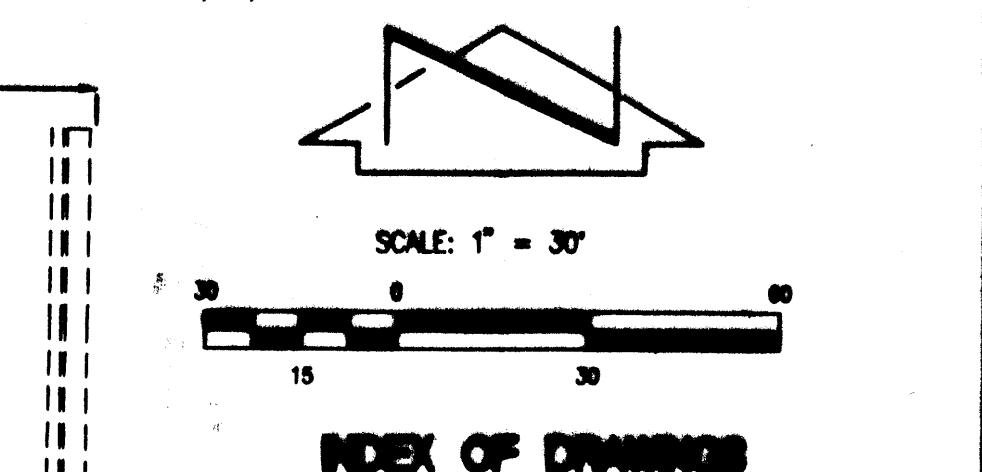
APPLICATION NUMBER: 06-000-0111

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

# SEE SEPARATE PLAN SHEETS

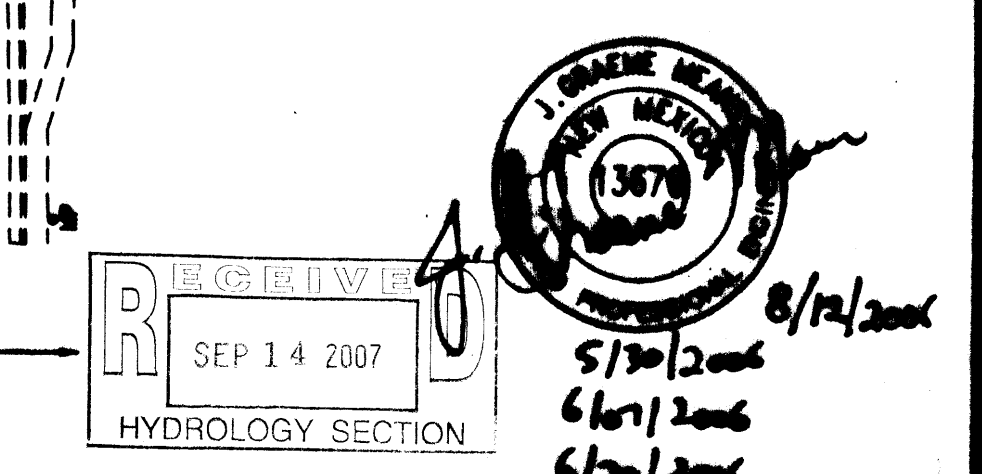
Tracy, Planning, Transportation Division	Date
Walter, City Department	8/2/2006
Christina, Planning	8/2/2006
Paula, Planning	8/2/2006
Bridget, City Engineer	8/2/2006
Michael, Planning	8/2/2006
Matthew, Planning	8/2/2006
City Engineer	8/2/2006

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATE 8/28/2006, NTPS 11184



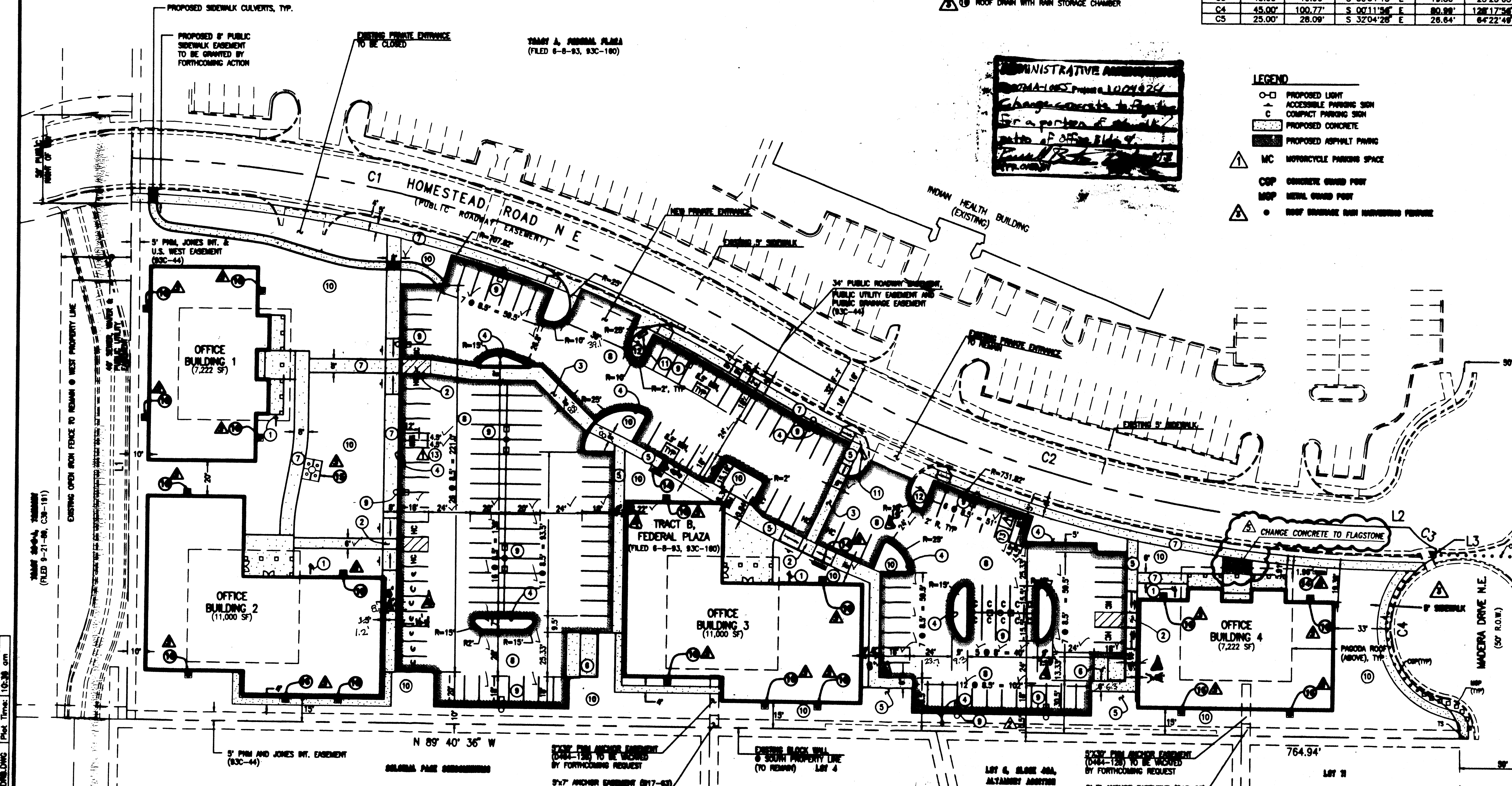
# INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	PRELIMINARY GRADING PLAN
4	BUILDING EXTERIOR ELEVATIONS (BUILDING 1 & 4)
5	BUILDING EXTERIOR ELEVATIONS (BUILDING 2 & 3)
6	SITE DETAILS
7	CONCEPTUAL UTILITY PLAN



RECEIVED	SEP 14 2007	HYDROLOGY SECTION
REVISED BY	DATE	BY
REV	06/06	G.M. CHANGE SEPARATE UTILITY SHEET, AND MOTORCYCLE PARKING
REV	06/06	G.M. INCREASE L.S. BUFFER TO 10'
REV	06/06	G.M. REMOVE ETC. CHANGES
REV	06/07	G.M. CHANGE CONCRETE TO FLAGSTONE

# SITE PLAN DEL NORTE OFFICE PARK



**JMA**

DESIGNED BY: JEFFREY A. JENSEN, INC.  
 1000 S. HIGHWAY 100, SUITE 100, MESA, AZ 85204  
 PHONE: (480) 944-1111 FAX: (480) 944-1112  
 WWW.JMA-ARCHITECTS.COM

File Path: E:\Projects\06-000-0111\DWG  
 Plot Date: 08-12-2006  
 Plot Time: 10:38 am



### CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
C2	704.82'	369.01'	S 73°58'55" E	364.81'	29°59'51"
C3	45.00'	19.96'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.99'	12°17'56"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"

## PROJECT BENCHMARK

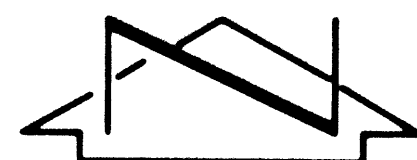
THE STATION IS A STANDARD N.M.S.H.C. BRASS TABLET, STAMPED "N.M. 367-4, 1969" SET IN CONCRETE POST FLUSH WITH THE GROUND IN THE MEDIAN OF SAN MATEO N.E. APPROXIMATELY 272' NORTH OF THE INTERSECTION OF DOUGLAS McARTHUR ROAD AND SAN MATEO. ELEVATION = 5202.464 FEET (NVGD 1929)

**T.B.M. #1**

CHISELED SQUARE AT BACK OF CURB, AS SHOWN ON THIS SHEET.  
ELEVATION = 5209.17 FEET (MVD 1929)

**T.B.M. #2**

SPIKE WITH JMA RED CAP, AS SHOWN ON THIS SHEET.  
ELEVATION = 5222.50 FEET (MVD 1929)



SCALE: 1" = 30'



### LEGEND

C	COMMUNICATION
C&G	CURB AND GUTTER
CR	CONCRETE BRICK
CCP	CONCRETE GUARD POST
CI	CAST IRON
CMU	CONCRETE MASONRY UNIT
CND	CONDUIT
CONF:	CONCRETE
E	ELECTRIC
EC PB	ELECTRIC PULLBOX
EL	ELECTRIC TRANSFORMER
FL	FLOWLINE
G	GAS
GW	GUY WIRE
MGP	METAL GUARD POST
MH	MANHOLE
MP	METAL POST
OH	OVERHEAD
PATT	PATTERN
	BY PAINT MARK
PVC	POLY VINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SF	STEEL FENCE

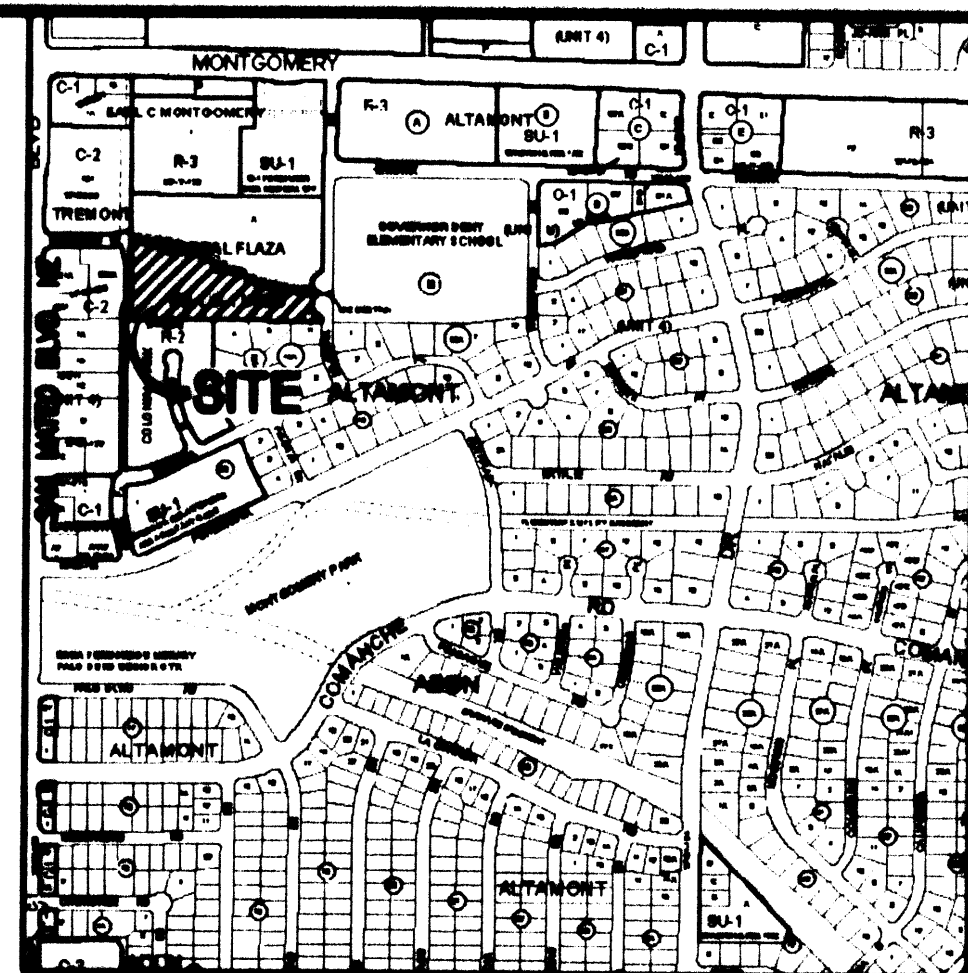
STD

STANDARD  
SPRINKLER VALVE  
SIDEWALK  
TOP OF ASPHALT  
TELEPHONE VAULT BOX  
TOP OF CURB  
TOP OF CONCRETE  
TRAFFIC SIGN  
TOP OF WALL  
TYPICAL  
VITRIFIED CLAY PIPE  
VALLEY GUTTER  
WATER  
WATERLINE  
WATER METER  
WOOD POWER POLE  
WOOD SIGN  
WATER VALVE  
DECEITFUL TREE  
PAINTED UTILITY MARK

PROPOSED ASPHALT PAVING  
PROPOSED CONCRETE

**KEYED NOTES**

1. CONSTRUCT TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET C-107
2. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET C-107
3. CONSTRUCT FLATWALK TO BE CONCURRENT WITH BUILDING CONSTRUCTION. REFER TO ARCHITECTURAL PLAN FOR CONSTRUCTION DETAILS.
4. LIGHT POLE, REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
5. CONSTRUCT 18" CURB OPENING FOR DRAINAGE
6. CONSTRUCT 6" CURB AND GUTTER PER TYPICAL SECTION, SHEET C-107
7. CONSTRUCT 4" CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET C-107
8. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET C-107
9. CONSTRUCT 2-24" SIDEWALK CULVERTS PER TYPICAL SECTION, SHEET 107
10. CONSTRUCT CONCRETE CROSSWALK PER TYPICAL SECTION, SHEET C-107
11. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
12. CONSTRUCT CONCRETE REFUSE ENCLOSURE PER ARCHITECTURAL DETAILS.
13. NEATLY SAWCUT, REMOVE AND DISPOSE EXISTING VALLEY GUTTER AND PAVEMENT.
14. NEATLY SAWCUT, REMOVE AND DISPOSE OF EXISTING ASPHALT CONCRETE
15. CONSTRUCT STANDARD 8" CURB AND GUTTER PER COA STD. DWG. 2415.
16. INSTALL 4" WHITE PAINTED PAVEMENT STRIPE, TP.
17. CONSTRUCT ASPHALT CONCRETE DRIVE AISLE PAVEMENT PER TYPICAL SECTION, SHEET C-107
18. CONSTRUCT ASPHALT CONCRETE PARKING PAVEMENT PER TYPICAL SECTION, SHEET C-107
19. CONSTRUCT ACCESSIBLE PARKING AREA PER DETAIL, SHEET C-107
20. CONSTRUCT 12" SIDEWALK CULVERT PER COA STD. DWG. 2236 (SO #19 PERMIT REQUIRED).
21. LANDSCAPING - REFER TO LANDSCAPING PLAN
22. STENCIL "COMPACT" DESIGNATION ON ALL SPACES DESIGNATED WITH THE LETTER 'C', TYPICAL
23. CONSTRUCT ACCESS RAMP TYPE "A" PER DETAIL, SHEET C-107
24. CONSTRUCT ACCESS RAMP TYPE "B" PER DETAIL, SHEET C-107
25. INSTALL BICYCLE RACK - SEE ARCHITECTURAL PLANS FOR DETAILS
26. INSTALL STOP SIGN (R1-1) AND POST
27. CONSTRUCT PRIVATE ENTRANCE PER COA STD. DWG. 2426
28. CONSTRUCT 2-24" SIDEWALK CULVERTS PER COA STD. DWG. 2236 (SO #19 PERMIT REQUIRED).
29. MONUMENT SIGN - SEE ARCHITECTURAL PLANS FOR ELEVATION AND DETAILS
30. ROOF DRAIN/WATER RETENTION AND INFILTRATION DEVICE-SEE SHEET C-108 FOR SPECIFICATIONS AND ELEVATIONS.
31. CONSTRUCT WHEELCHAIR ACCESS RAMPS PER COA STD DWG 2426
32. PAINT MOTORCYCLE PAVEMENT MARKING ON ALL SPACES DESIGNATED WITH THE LETTERS "MC", TYPICAL
33. CONSTRUCT 2'-0" CONCRETE RUNDOWN PER DETAIL, SHEET C-109 AND SECTION, SHEET C-107.
34. ROOF DRAIN WITH UNDERGROUND PIPING (NO STORAGE CHAMBER).



**VICINITY MAP**  
SCALE: 1" = 750'

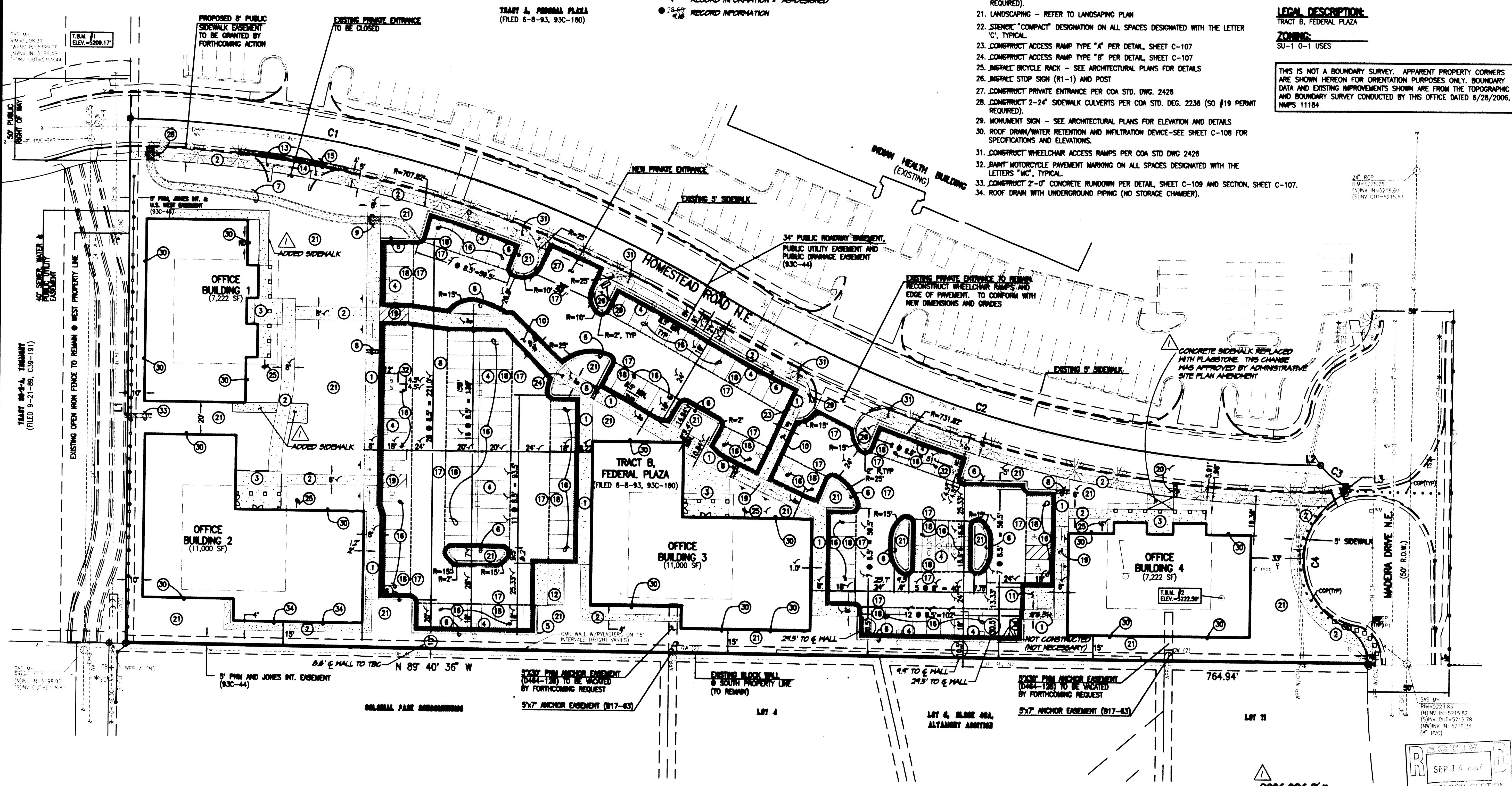
#### LEGAL DESCRIPTION:

TRACT B, FEDERAL PLAZA

**ZONING:**

SU-1 0-1 USFS

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184



# DEL NORTE OFFICE PARK

**5310 HOMESTEAD NE**

ALBUQUERQUE, NEW MEXICO

**CHERRY / SEE / REAMES ARCHITECTS, LLP**

220 A GOLD AVE SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

**TITLE OF SHEET**

# PAVING SITE PLAN

DATE \_\_\_\_\_

10/24/06

## REVISIONS

**ENGINEER'S CERT.**

**SHEET NUMBER**

C-106

**OF**

File Path: <b>60265SP3R_REC.DWG</b>	Plot Date: <b>08-29-2007</b>
File Name: <b>60265SP3R_REC.DWG</b>	Plot Time: <b>09:58 am</b>