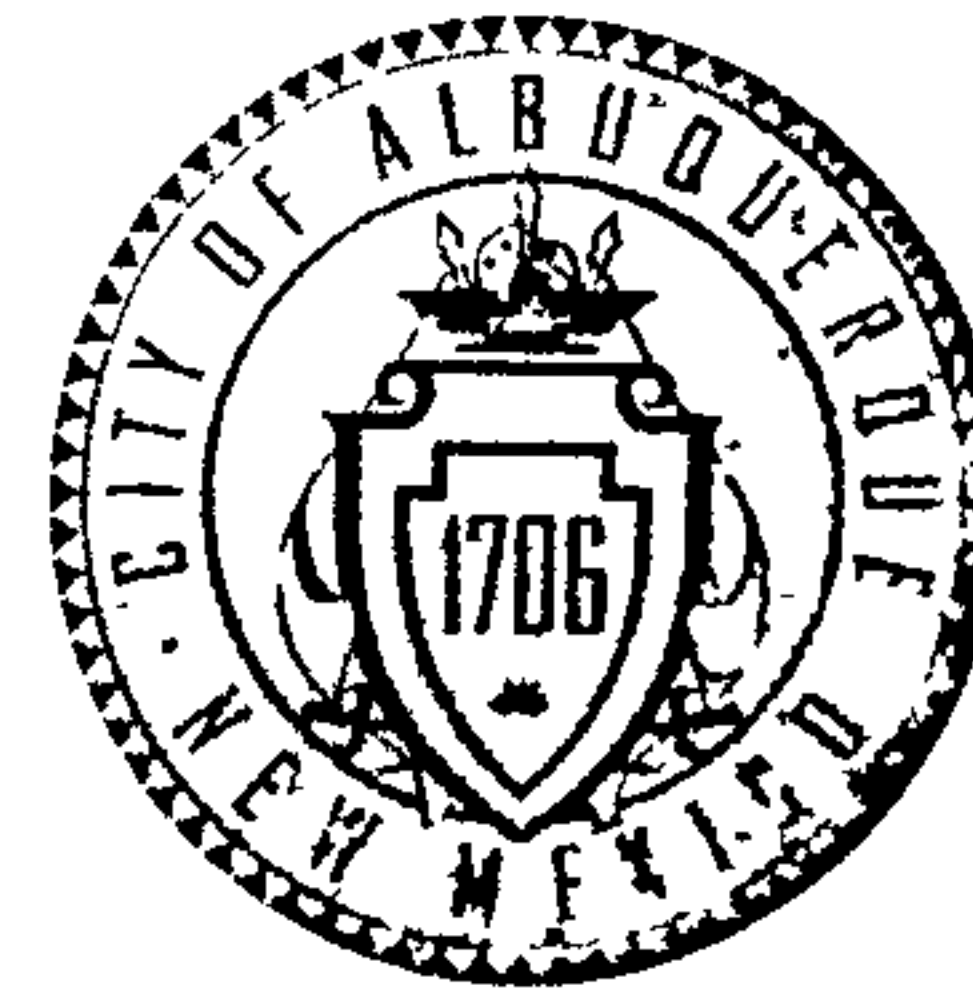


CITY OF ALBUQUERQUE



July 24, 2008

Billy O. McCarty, P.E.
Beam Designs
855 Polaris Blvd. SE
Rio Rancho, NM 87124

**Re: Rion Square, 6200 Montgomery Blvd. NE,
(G-18/D029A)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 8-08-08
Certification dated 7-23-2008**

Mr. McCarty:

PO Box 1293

Albuquerque

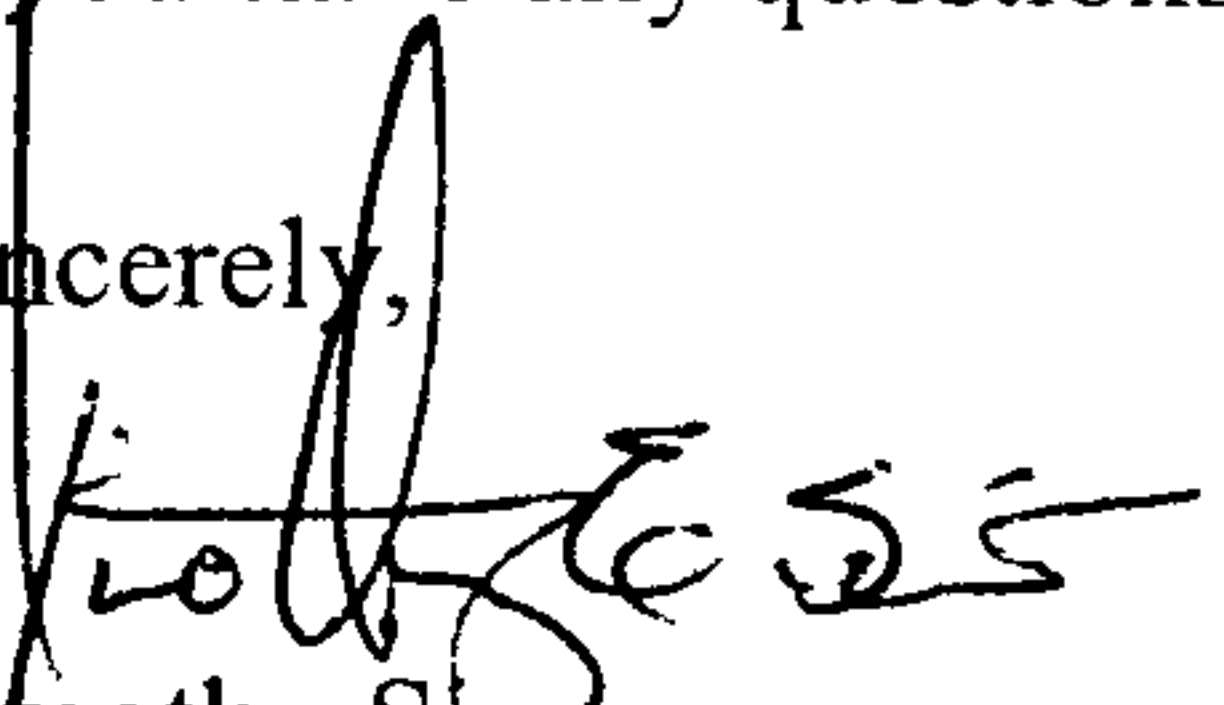
NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 7/23/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: RION SQUARE

ZONE MAP/DRG. FILE #: G-18

DRB #:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION: TRACT E, ALTAMONT UNIT 6 ADDITION

CITY ADDRESS: 6200 MONTGOMERY NE

ENGINEERING FIRM: LARRY READ AND ASSOCIATES, INC.

ADDRESS: 2430 MIDTOWN PL. NE. STE C

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILLY MCCARTY

PHONE: 235-9588

ZIP CODE: 87107

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: JEFFREY HOWELL & ASSOCIATES

ADDRESS: 6815 FOREST HILLS DR, NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JEFF HOWELL

PHONE: 797-5268

ZIP CODE: 87109

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

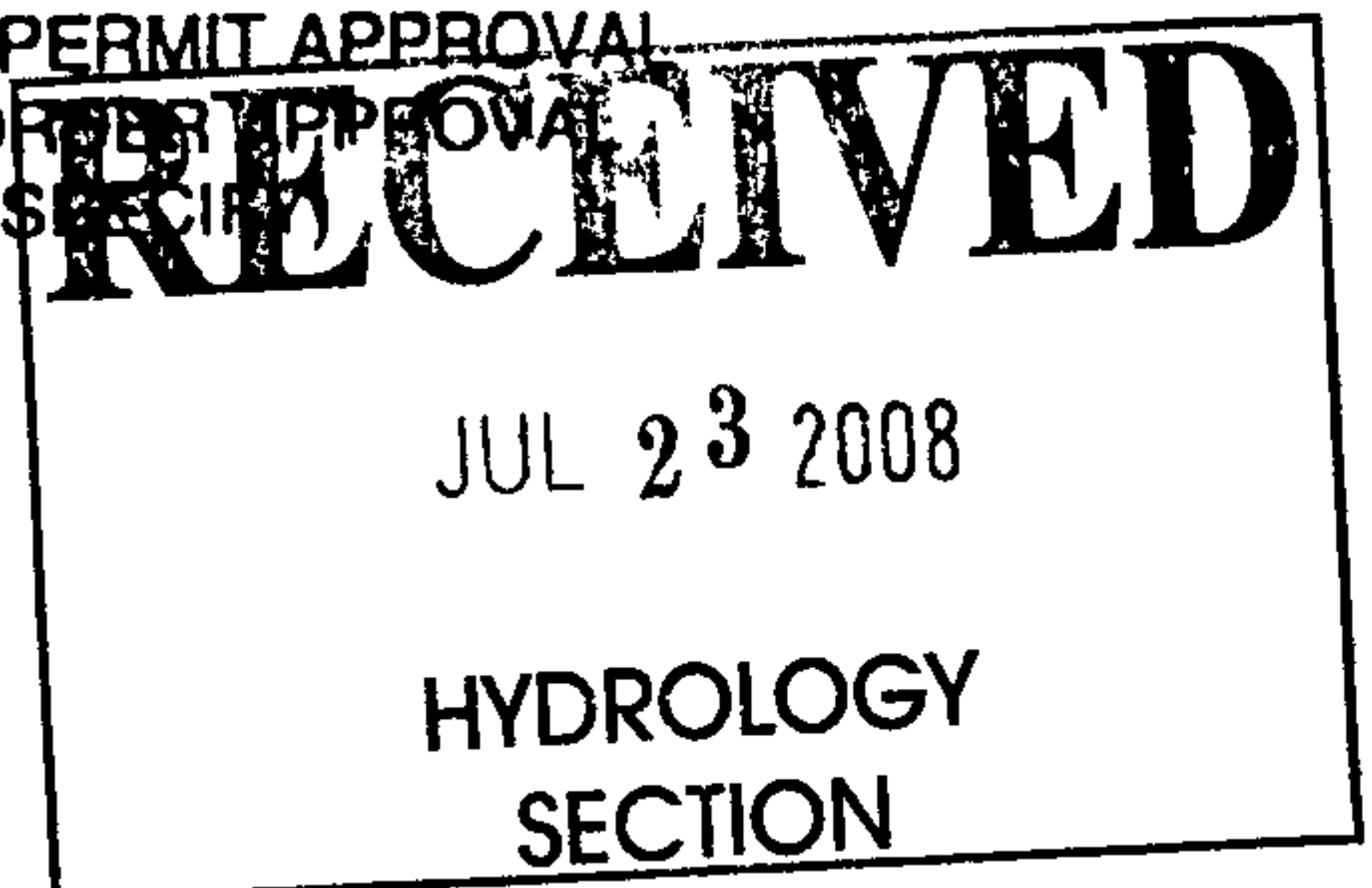
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

VAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



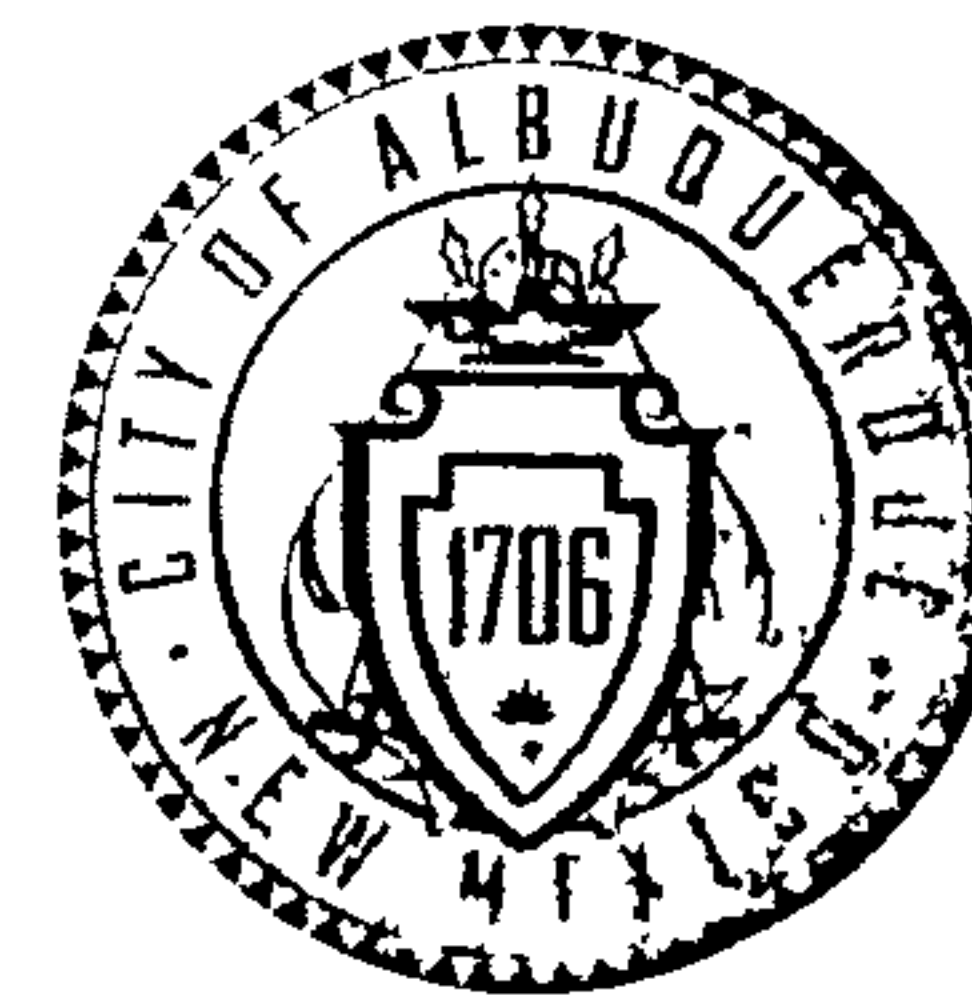
DATE SUBMITTED: 7-23-08

BY: Billy O McCarty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 4, 2008

Billy O. McCarty, P.E.
Larry Read & Associates
855 Polaris Blvd. SE
Rio Rancho, NM 87124

Re: Rion Square, 6200 Montgomery NE,
Request for Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 8/082/07 (G-18/D029A)
Certification dated 6/03/08

Mr. McCarty,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 6/03/08, the above referenced certification is approved for release of a 90-day Temporary Certificate of Occupancy by hydrology. This allows time to complete the concrete gutter at the manhole in San Pedro, construct the landscaping swale parallel to San Pedro, and to pave the south side of the property.

Prior to Permanent Certificate of Occupancy, an Engineer's Certification per the DPM is required.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

C: CO—Clerk, Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: **RION SQUARE**

DRB #:

EPC#:

ZONE MAP/DRG. FILE #: **G-18 D029A**

WORK ORDER#:

LEGAL DESCRIPTION: **TRACT E. ALTAMONT UNIT 6 ADDITION**CITY ADDRESS: **6200 MONTGOMERY NE**

Need ADDRESS.

ENGINEERING FIRM: **LARRY READ AND ASSOCIATES, INC.**ADDRESS: **2430 MIDTOWN PL. NE, STE C**CITY, STATE: **ALBUQUERQUE, NM**CONTACT: **BILLY MCCARTY**PHONE: **235-9588**ZIP CODE: **87107**

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: **JEFFREY HOWELL & ASSOCIATES**ADDRESS: **6815 FOREST HILLS DR, NE**CITY, STATE: **ALBUQUERQUE, NM**CONTACT: **JEFF HOWELL**PHONE: **797-5288**ZIP CODE: **87109**

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

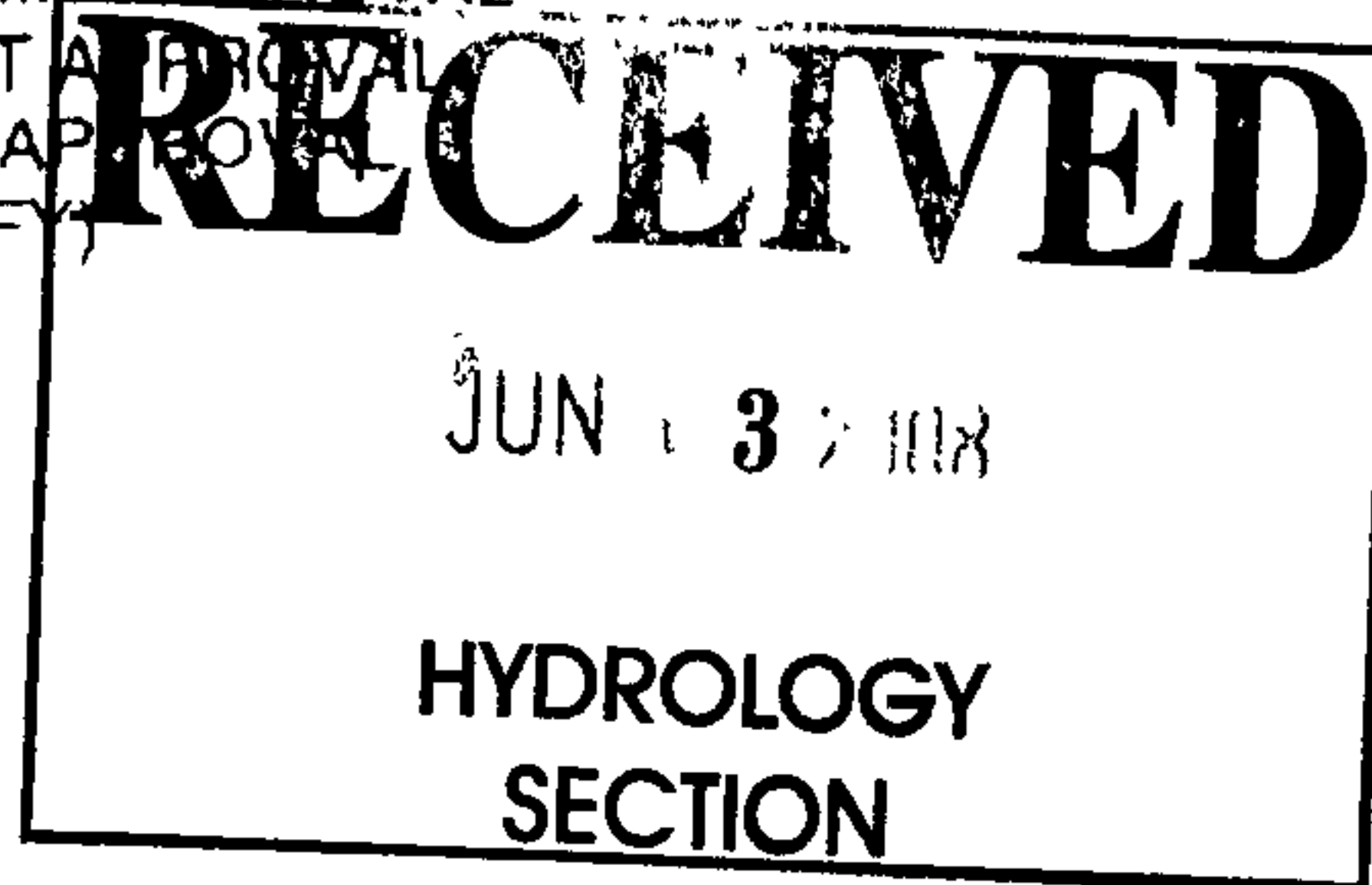
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED

6-3-08

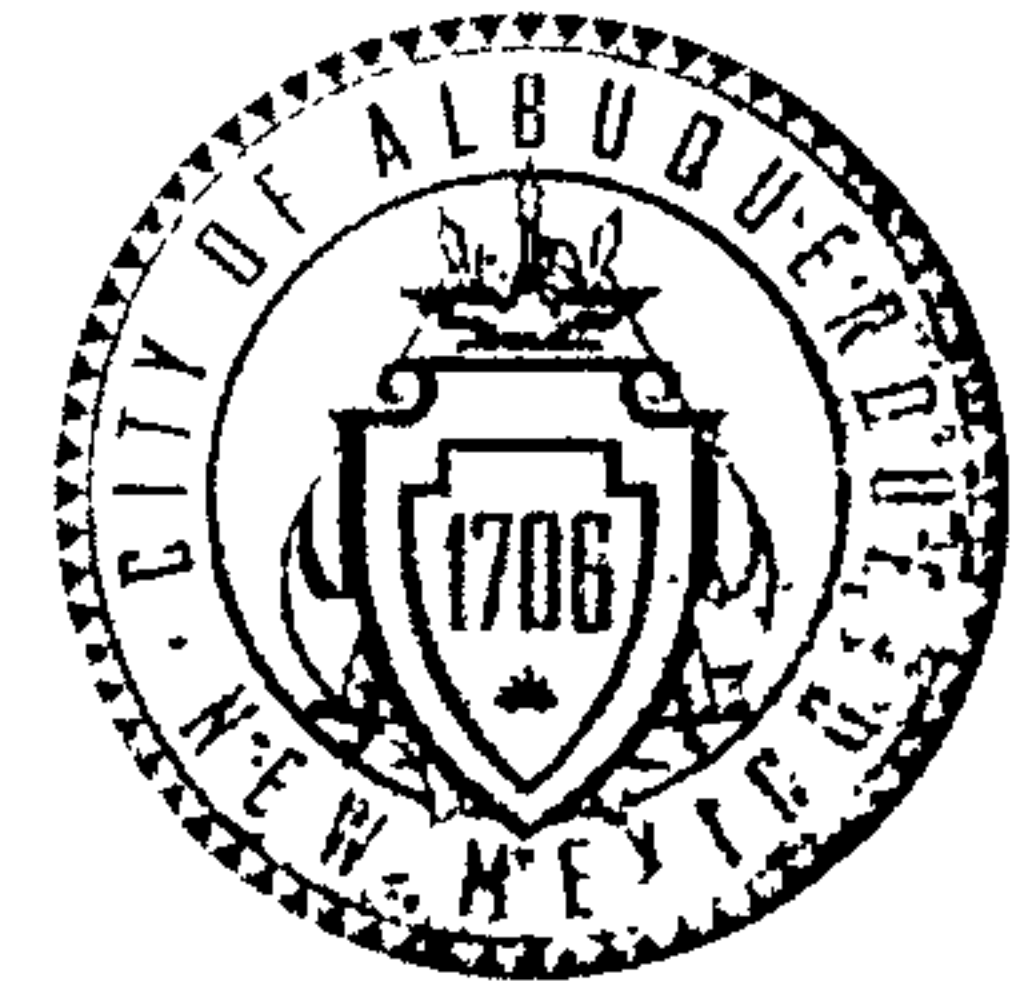
BY:

Billy McCarty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 21, 2008

Jeffrey D. Howell, Registered Architect
6815 Forest Hills Drive, NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Rion Square , [G-18 / D29A]
6200 Montgomery Blvd NE
Architect's Stamp Dated 05/21/08

Dear Mr. Howell:

PO Box 1293

The TCL / Letter of Certification submitted on May 21, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: FLON SQUARE ZONE MAP: G-18/D29A
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 60200 MONTGOMERY BLVD. NE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: PANDY TENARIO CONTACT: _____
 ADDRESS: 60200 MONTGOMERY NE PHONE: 239-4792
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87112

ARCHITECT: JEFFREY HOWELL CONTACT: _____
 ADDRESS: 4701 MORRIS NE #1101 PHONE: 321-7632
 CITY, STATE: ALB, NM 87111 ZIP CODE: _____

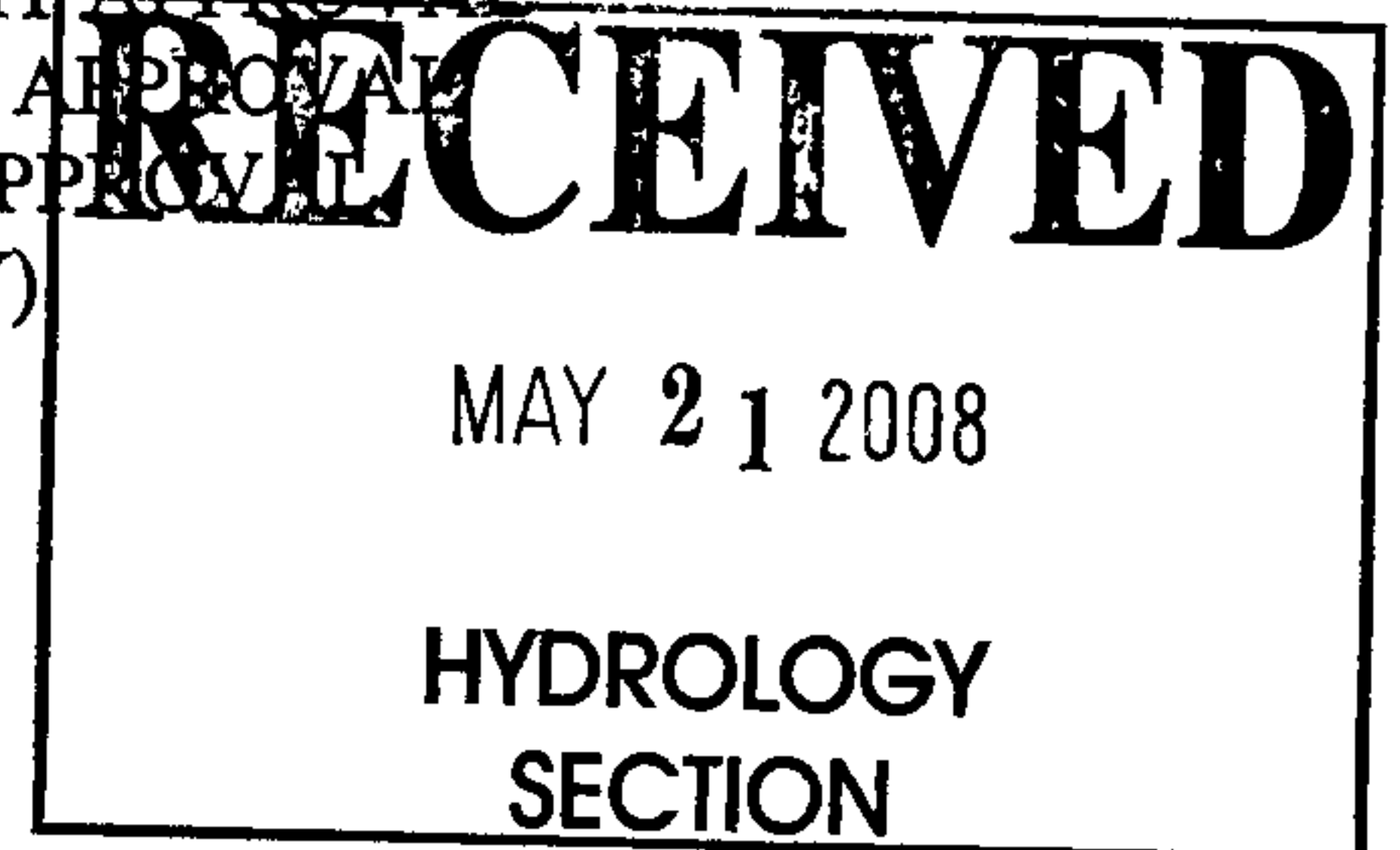
SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: MAY 21, 2008 BY: JEFFREY HOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



JEFFREY HOWELL & ASSOCIATES

A R C H I T E C T U R E

6815 FOREST HILLS DRIVE, NE TELEPHONE (505) 797-5268
ALBUQUERQUE, NM 87109 FAX (505) 797-5269

May 21, 2008

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102
Attention: Transportation Department

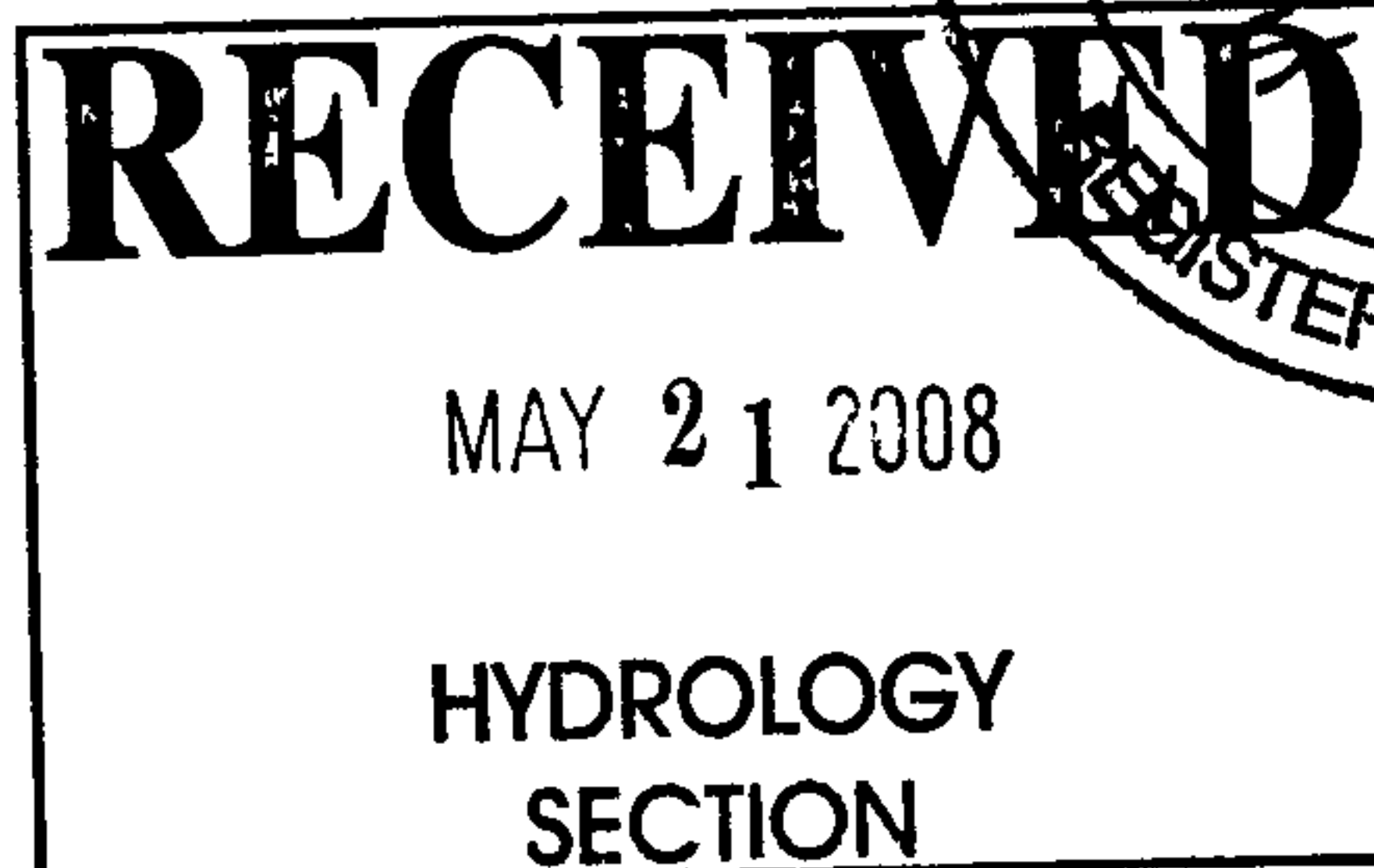
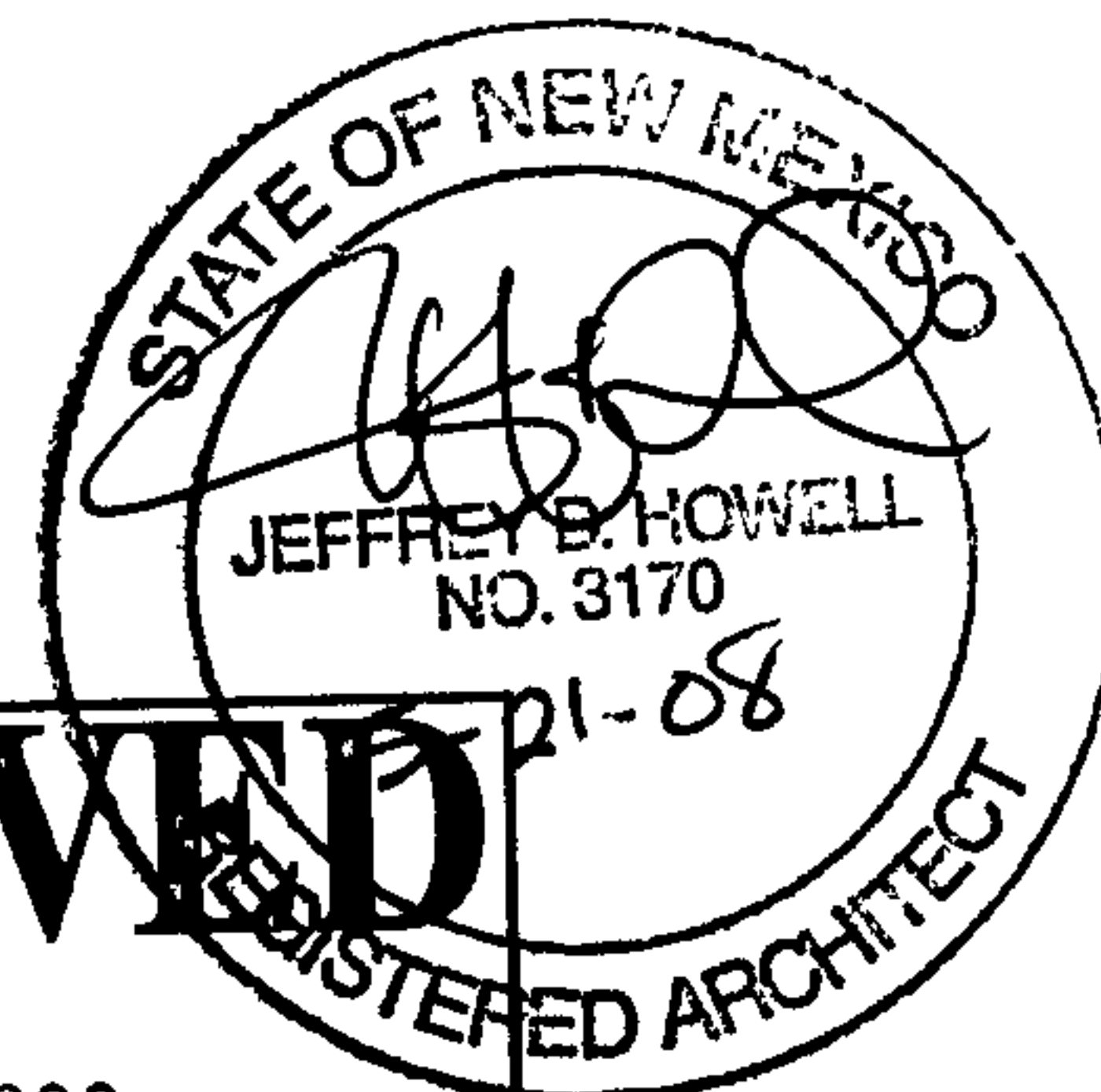
RE: 6200 MONTGOMERY BLVD. NE
TRAFFIC CERTIFICATION

TRAFFIC CERTIFICATION

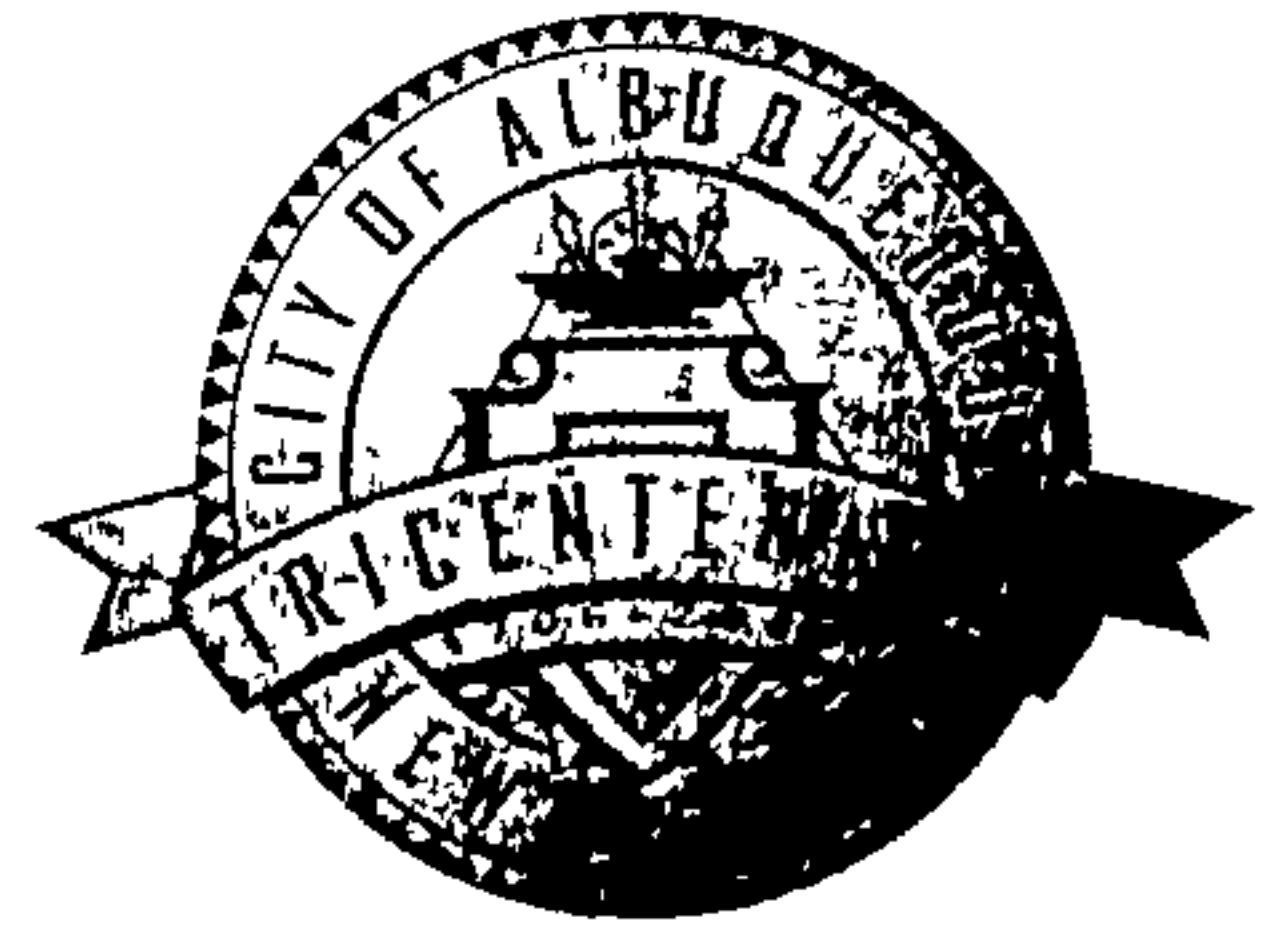
I, JEFFREY HOWELL, NEW MEXICO REGISTERED ARCHITECT #3170, OF THE FIRM JEFFREY HOWELL & ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED PLAN DATED JULY 31, 2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY HOWELL OF JEFFREY HOWELL & ASSOCIATES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE (LOCATED AT 6200 MONTGOMERY BLVD. NE) ON MAY 21, 2008 AND HAVE DETERMINED BY VISUAL INSPECTION THAT SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


JEFFREY D. HOWELL
REGISTERED ARCHITECT



CITY OF ALBUQUERQUE



July 17, 2007

Jeffrey Howell, R.A.
Jeffrey Howell and Associates
6815 Forest Hills Dr. NE
Albuquerque, NM 87109

Re: Rion Square, 6200 Montgomery Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 7-05-07 (G18-D29A)

Dear Mr. Howell,

The TCL submittal received 7-05-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

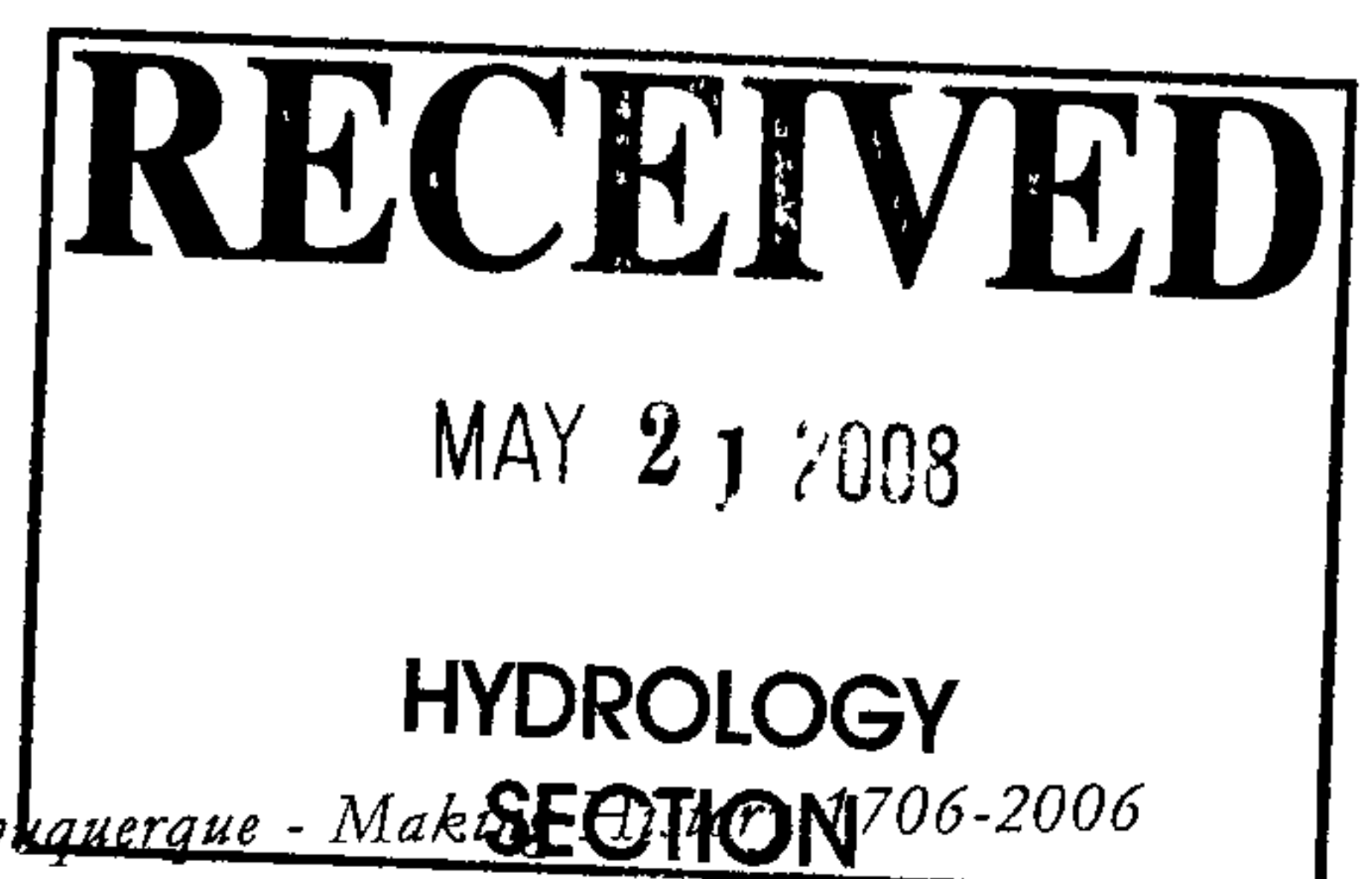
When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



Salgado-Fernandez, Nilo E.

From: Billy McCarty [beamdesigns@qwest.net]
Sent: Friday, May 30, 2008 1:14 PM
To: Bingham, Brad L.; Hoover, Jeremy; Salgado-Fernandez, Nilo E.
Subject: Rion Square

Rion Square is a redevelopment at the southeast corner of Montgomery and San Pedro that is ready for the CO certification.

As part of the construction, they demoed an existing building that encroached into the alley to the south. The new construction follows the property line. Picture 0097 shows that this leaves between 1' and 2' of dirt between the new concrete and the alley pavement. The plans did not address paving this area since we were not aware of the encroachment at the time of design. Does this portion of the alley need to be paved prior to CO?

There is also a manhole rim in the gutter flow line on San Pedro. The other 2 pictures show it as constructed. It includes a curb offset around the rim but does not include concrete to the rim. This hole has filled with trash and allows drainage to get under the pavement. How do you want us to fix this about 3" wide hole around the rim?

The plans also call for a landscaped swale parallel to the sidewalk on San Pedro to convey runoff from about 1135 square feet of landscape and building overhang to a sidewalk culvert. This swale was eliminated and the area drains onto the sidewalk. Is this acceptable or do they have to redo the landscaping to accommodate the swale?

Please advise on how to proceed before I prepare the Grading Certification.

Billy O. McCarty, P.E.
BEAM Designs
855 Polaris Blvd. SE
Rio Rancho, NM 87124
(p) (505) 235-9588
(f) (505) 994-3952
email: beamdesigns@qwest.net

G-18
D 29A (RION
SQUARE)

SUCASA realty@
mgn.com

5/30/2008

Salgado-Fernandez, Nilo E.

From: Salgado-Fernandez, Nilo E.
Sent: Friday, May 30, 2008 3:35 PM
To: 'Billy McCarty'; Bingham, Brad L.; Hoover, Jeremy
Cc: 'sucasarealty@msn.com'
Subject: RE: Rion Square

Billy, Brad has required the 2' segment of ground, between the new concrete and the paved alley, to be paved I need the Architect of record to redline the approved Site Plan and show the 1'-2' of pavement work. Mr. Jeffrey Howell will need to redline our copy of the Site Plan located in our office since I approved a Permanent CO. on May 21, 2008.

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer

From: Billy McCarty [mailto:beamdesigns@qwest.net]
Sent: Friday, May 30, 2008 1:14 PM
To: Bingham, Brad L.; Hoover, Jeremy; Salgado-Fernandez, Nilo E.
Subject: Rion Square

Rion Square is a redevelopment at the southeast corner of Montgomery and San Pedro that is ready for the CO certification.

As part of the construction, they demoed an existing building that encroached into the alley to the south. The new construction follows the property line. Picture 0097 shows that this leaves between 1' and 2' of dirt between the new concrete and the alley pavement. The plans did not address paving this area since we were not aware of the encroachment at the time of design. Does this portion of the alley need to be paved prior to CO?

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Please advise on how to proceed before I prepare the Grading Certification.

Billy O. McCarty, P.E.
BEAM Designs
855 Polaris Blvd. SE
Rio Rancho, NM 87124
(p) (505) 235-9588
(f) (505) 994-3952
email: beamdesigns@qwest.net

5/30/2008

Sims, Timothy E.

G-18/POZ9A.

From: Bingham, Brad L.
Sent: Friday, May 30, 2008 1:29 PM
To: 'Billy McCarty'; Hoover, Jeremy; Salgado-Fernandez, Nilo E.
Cc: Sims, Timothy E.
Subject: RE: Rion Square

will start with question #1

as, this strip of alley will need paving since roof runoff drains onto it.

2

he gap between the rim and the curb should be filled in with some kind of cementitious grout. We don't want drainage to get under the pavement.

3

he project was approved with a swale and a sidewalk culvert and should be part of the project. We do not want landscape area on a commercial property to drain over the sidewalk.

hanks for bringing this to our attention

rom: Billy McCarty [mailto:beamdesigns@qwest.net]
ent: Friday, May 30, 2008 1:14 PM
o: Bingham, Brad L.; Hoover, Jeremy; Salgado-Fernandez, Nilo E.
ubject: Rion Square

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lease advise on how to proceed before I prepare the Grading Certification.

Billy O. McCarty, P.E.
EAM Designs
55 Polaris Blvd. SE
Rio Rancho, NM 87124
(505) 235-9588
(505) 994-3952
mail: beamdesigns@qwest.net

/30/2008

CITY OF ALBUQUERQUE



August 8, 2007

Billy O. McCarty, P.E.
Larry Reed & Associates, Inc
2430-C Midtown Place NE
Albuquerque, NM 87107

Re: Rion Square , Engineer's Stamp dated 8-8-07 (G18/D29A)
Tract E Unit 6 of the Altamont Addition

Dear Mr. McCarty,

Based on the information contained in your submittal revised on June 26, 2007, the above referenced plan is approved for Building Permit. This approval also includes the SO-19 Permit dated 6-26-07. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (G18/D29A)

Antoinette Baldonado, Construction Services
Dwayne Schmitz, DMD Street / Storm Maintenance

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

SAN PEDRO BOULEVARD N.E.

(80' PUBLIC R/W)

EXISTING
MANHOLE SEWER
TO REMAIN
RIM EL=5257.57
(INVERT EL=5246.66)

STND C&G
PER DWG 2415A
CURB
OPENING

6' SIDEWALK
PER DWG 2430

24" SIDEWALK
CULVERT
PER DWG 2236

MATCH EX
TCC 57.74

EX CURB OPENING N 00° 56' 00" E 98.37'

LANDSCAPED SWALE AT
1% GRADE TO DRAIN
TO SIDEWALK CULVERT

POWER
POLE

FG 59.5

TCC 60.00
TA 59.50

TC 60.08
FG 59.70

TC 60.20
FG 59.70

TC 60.13

TC 60.20

5260



CONNECT TO EX 4" SAS
REMOVE AND DISPOSE OF SPOUT
4" SAS S. OF CONNECTION
4" SAS CONNECTION TO BUILDING
SEE SHEET P1 FOR CONTINUATION
INV 57.45
8" X 6" TEE
INV 57.35

TS 60.10

MATCH EX
TA 59.0±
FG 59.0±

29.17 LF 8" SDR35
PVC AT 0.50%



JEFFREY HOWELL
& ASSOCIATES
6615 FOREST HILLS DRIVE NE
ALBUQUERQUE, NM 87109

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JEFFREY HOWELL & ASSOCIATES.
THIS DRAWING MAY NOT BE REPRODUCED
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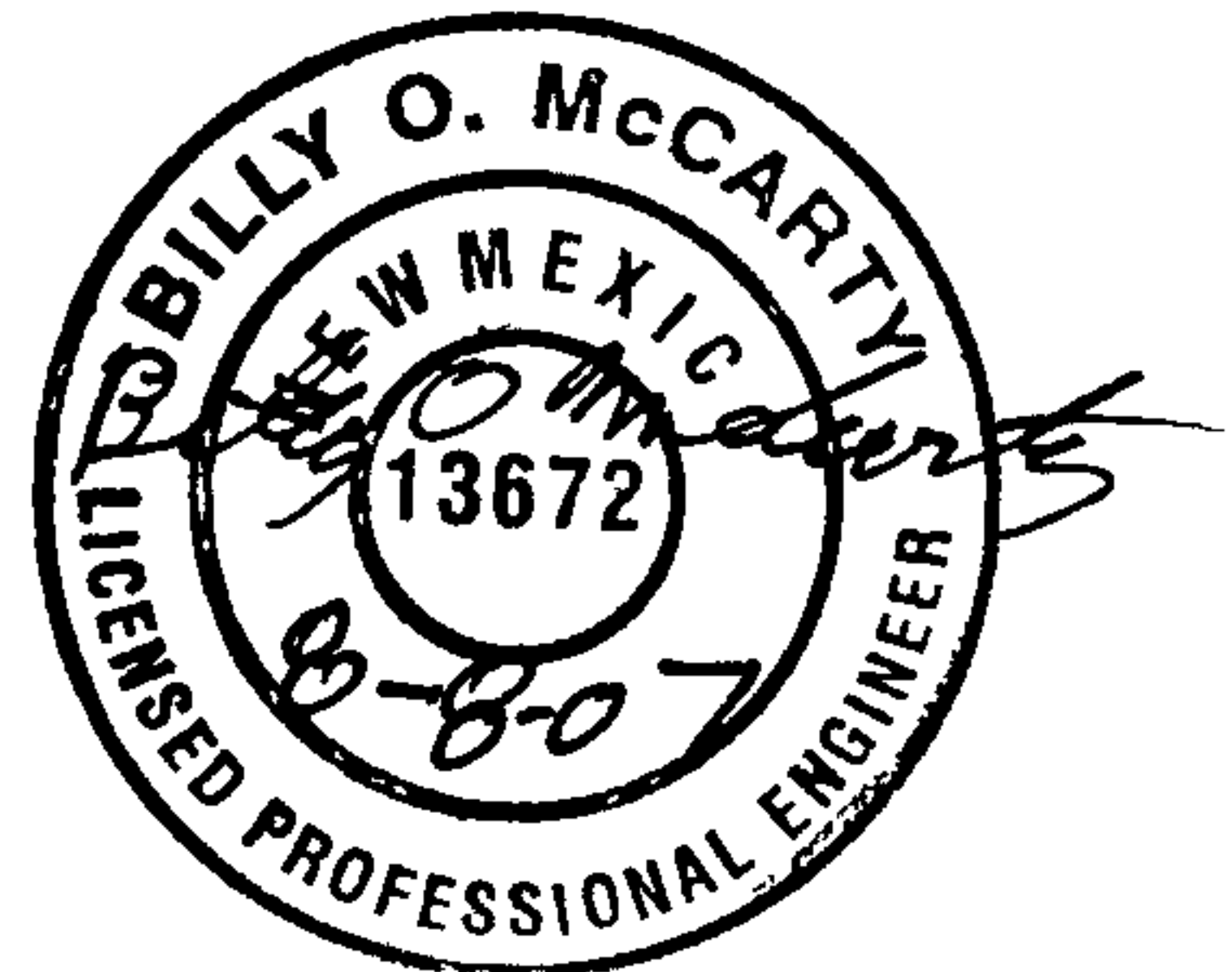
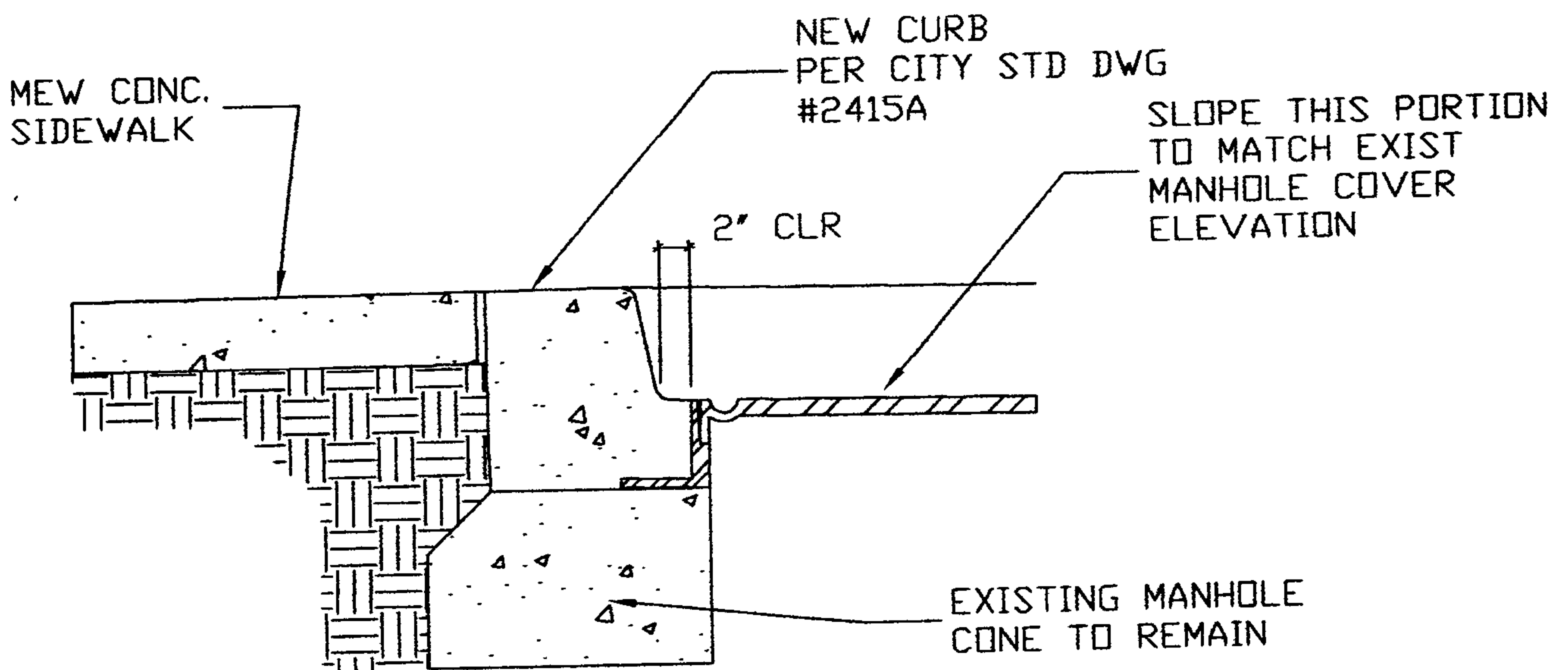
SHEET TITLE
EXISTING
MANHOLE DETAIL


1"=10'

PROJECT
RION SQUARE
6200 MONTGOMERY NE
ALBUQUERQUE, NM

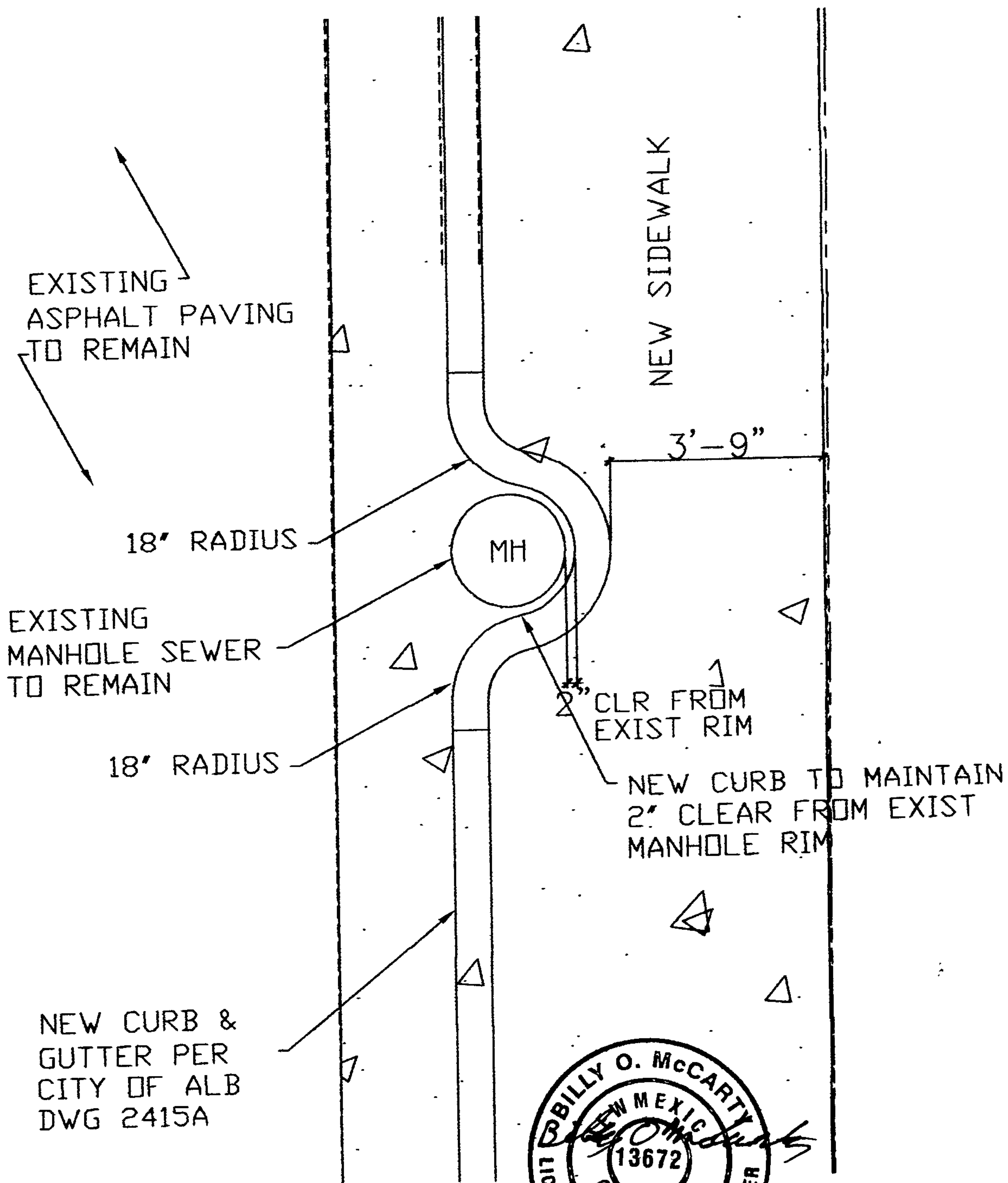
DATE
08/08/07


SHEET NO.
CR-1



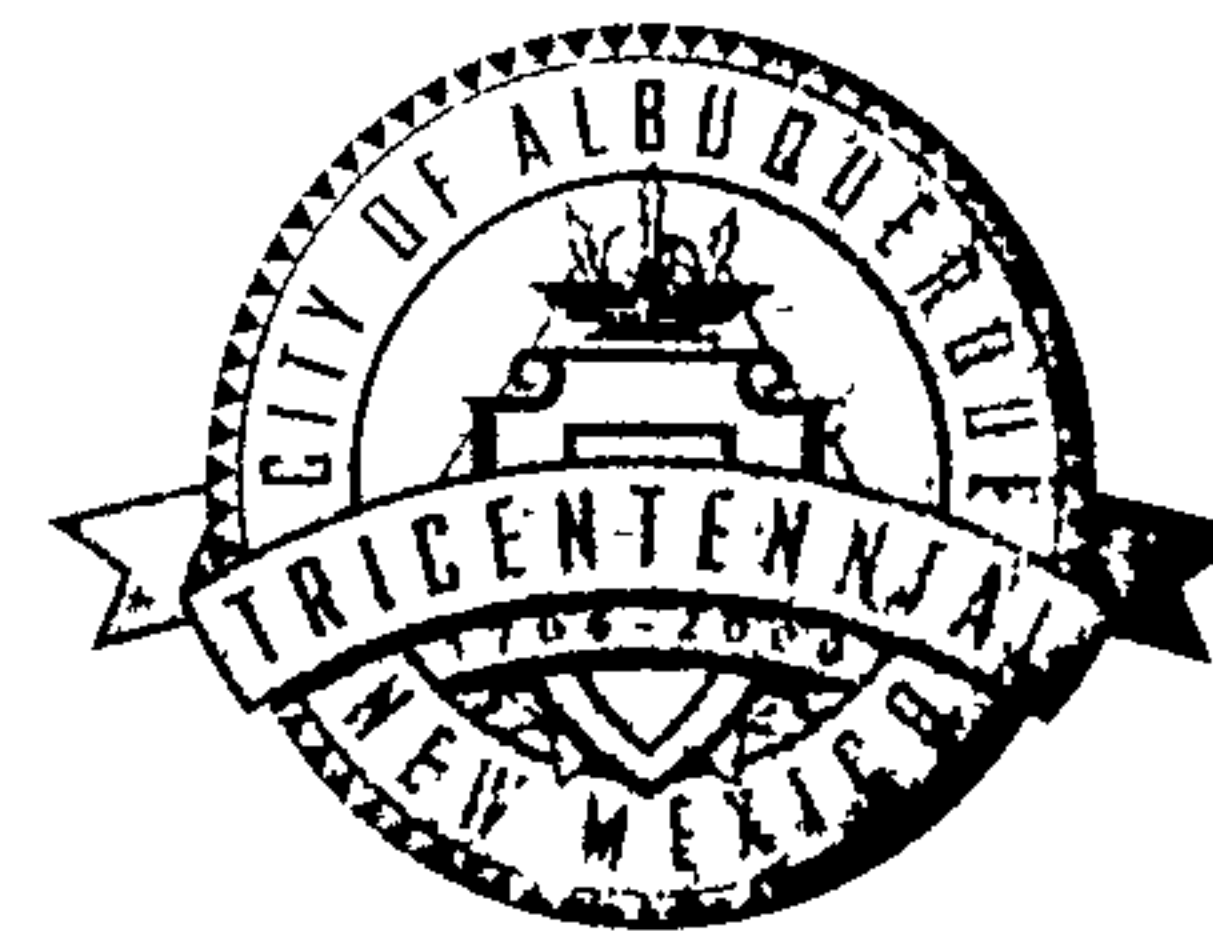
 <p>JEFFREY HOWELL & ASSOCIATES 6615 FOREST HILLS DRIVE NE ALBUQUERQUE, NM 87109</p>	<p>THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF JEFFREY HOWELL & ASSOCIATES. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT ITS WRITTEN PERMISSION</p>	<p>SHEET TITLE EXISTING MANHOLE DETAIL NTS</p>	<p>PROJECT RION SQUARE 6200 MONTGOMERY NE ALBUQUERQUE, NM</p>	<p>DATE 08/08/07</p> <p>SHEET NO. CR-3</p>
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SAN PEDRO BOULEVARD N.E.



 JEFFREY HOWELL & ASSOCIATES 6615 FOREST HILLS DRIVE NE ALBUQUERQUE, NM 87109	<small>THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF JEFFREY HOWELL & ASSOCIATES. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT ITS WRITTEN PERMISSION.</small>	SHEET TITLE EXISTING MANHOLE DETAIL 3/8"=1'-0"	PROJECT RION SQUARE 6200 MONTGOMERY NE ALBUQUERQUE, NM	DATE 08/08/07 SHEET NO. CR-2
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CITY OF ALBUQUERQUE



July 31, 2007

Jeffrey Howell, R.A.
Jeffrey Howell and Associates
6815 Forest Hills Dr. NE
Albuquerque, NM 87109

Re: Rion Square, 6200 Montgomery Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 7-31-07 (G18-D29A)

Dear Mr. Howell,

The TCL submittal received 7-31-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: RIOH SQUARE ZONE MAP/DRG. FILE #: ZONE ATLAS MAP C-18-Z
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 6200 MONTGOMERY NE

ENGINEERING FIRM: LARRY READ & ASSOCIATES
 ADDRESS: 2430 MIDTOWN PLACE NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: BILLY MCCARTHY
 PHONE: 345-6620
 ZIP CODE: _____

OWNER: RANDY TENAZIO
 ADDRESS: 7723 HAINES NE
 CITY, STATE: ALBUQUERQUE, NM 87110

CONTACT: RANDY TENAZIO
 PHONE: 239-4792
 ZIP CODE: 87110

ARCHITECT: JEFFREY HOWELL & ASSOCIATES
 ADDRESS: 6815 FOREST HILLS NE
 CITY, STATE: ALBUQUERQUE, NM 87109

CONTACT: JEFF HOWELL
 PHONE: 321-7632
 ZIP CODE: 87109

SURVEYOR: HALL SURVEYING COMPANY
 ADDRESS: 12805 MEHAUL NE
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: _____
 PHONE: 292-6727
 ZIP CODE: 87112

CONTRACTOR: N/A
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: N/A
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED _____ BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 6, 2007

Billy O. McCarty, P.E.
Larry Reed & Associates, Inc
2430-C Midtown Place NE
Albuquerque, NM 87107

Re: Rion Square , Engineer's Stamp dated 6-26-07 (G18/D29A)
Tract E Unit 6 of the Altamont Addition

Dear Mr. McCarty,

Based on the information contained in your submittal received on June 26, 2007, the above referenced plan is approved for both Building Permit and SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Be advised that the extent of **this approval specifically excludes the reconstruction of the manhole in San Pedro.** That work must be performed under a separate, public work order approved through the DRC process. If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (G18/D29A)

Antoinette Baldonado, Construction Services
Dwayne Schmitz, DMD Street / Storm Maintenance

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: **RION SQUARE**

ZONE MAP/DRG. FILE #: **G-18 / 29A**

DRB #: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: **TRACT E, ALTAMONT UNIT 6 ADDITION**

CITY ADDRESS: **6200 MONTGOMERY NE**

ENGINEERING FIRM: **LARRY READ AND ASSOCIATES, INC.**

ADDRESS: **2430 MIDTOWN PL. NE, STE C**

CITY, STATE: **ALBUQUERQUE, NM**

CONTACT: **BILLY MCCARTY**

PHONE: **345-0620**

ZIP CODE: **87107**

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: **JEFFREY HOWELL & ASSOCIATES**

ADDRESS: **6815 FOREST HILLS DR, NE**

CITY, STATE: **ALBUQUERQUE, NM**

CONTACT: **JEFF HOWELL**

PHONE: **797-5268**

ZIP CODE: **87109**

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

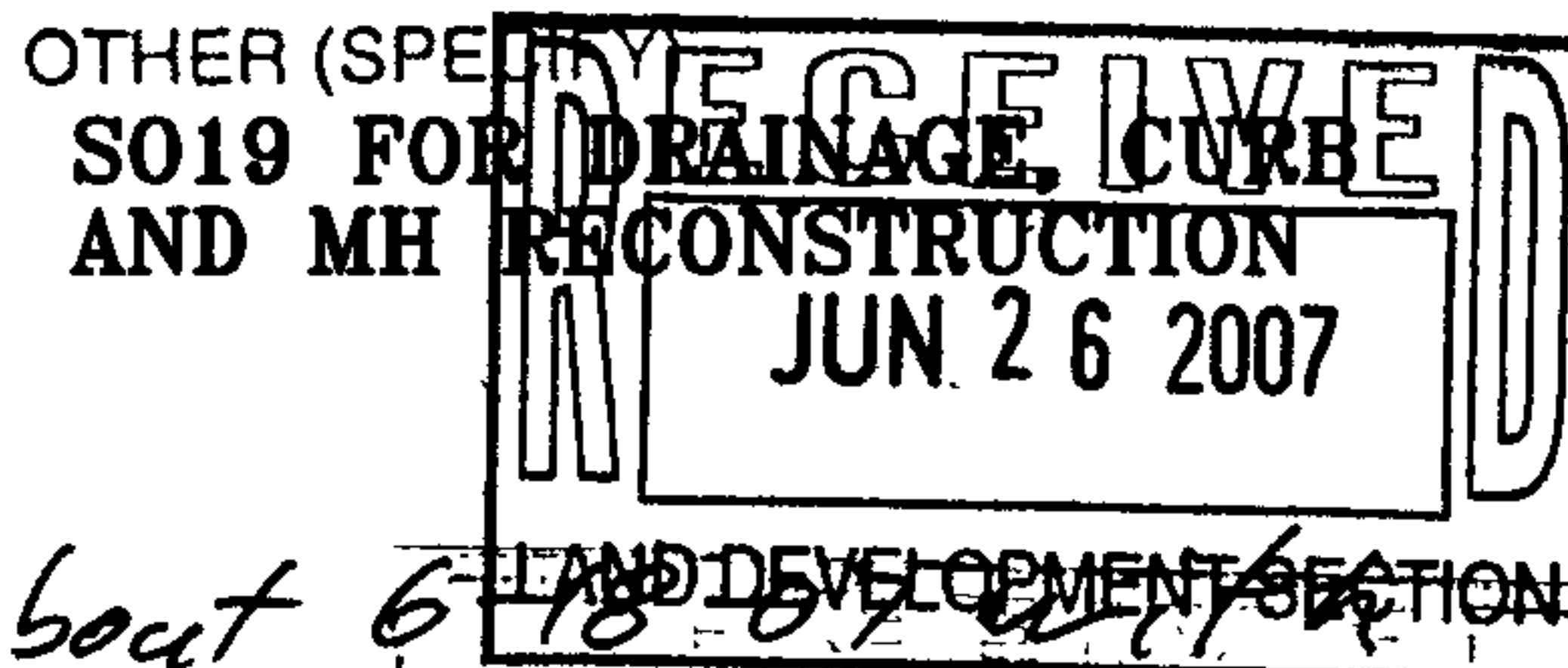
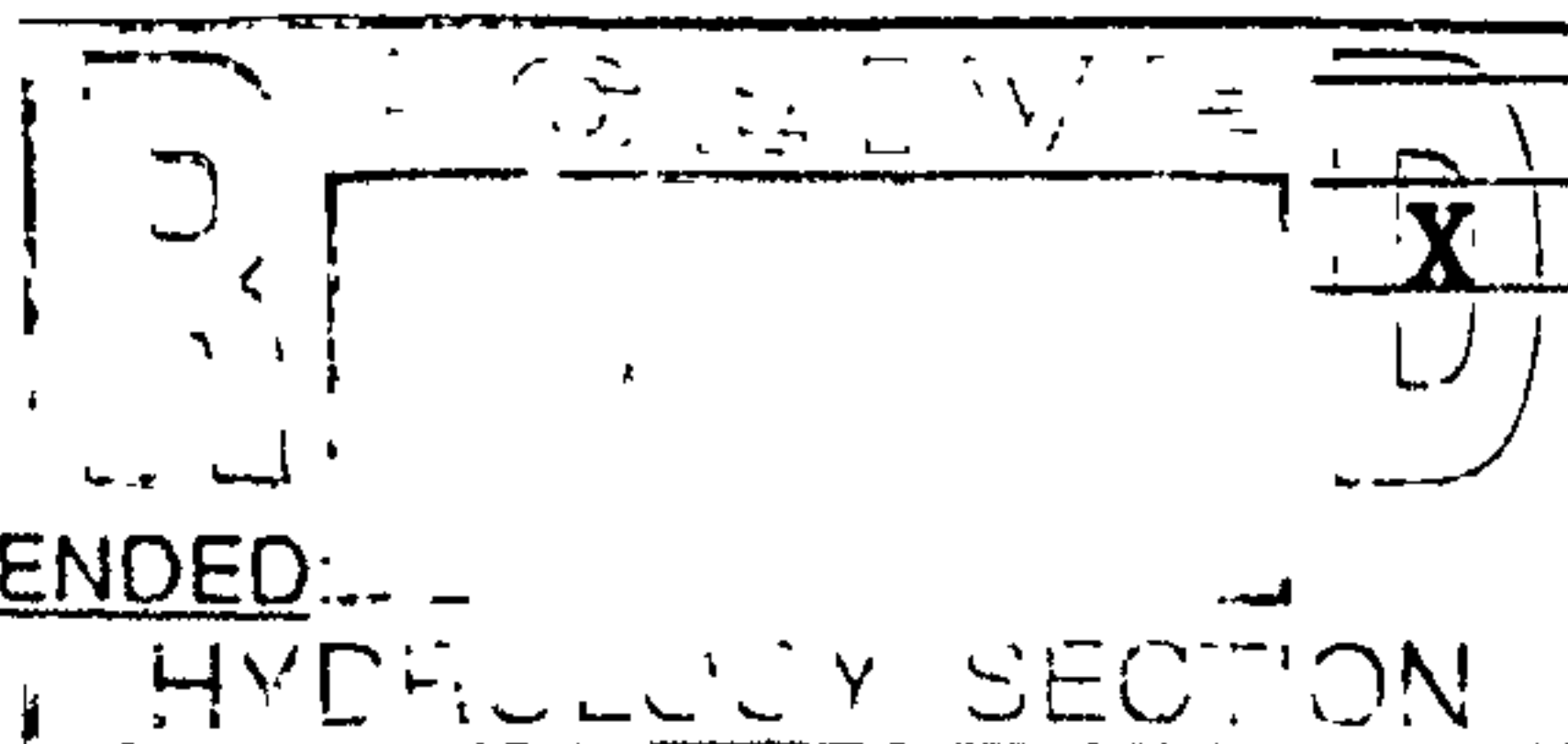
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

HAS A PRE-DESIGN CONFERENCE ATTENDED: _____

YES

☒ NO

COPY PROVIDED



Please replace the plans submitted about 6-18-07 with this submittal.

DATE SUBMITTED **6-26-07**

BY: **Billy McCarty**

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 17, 2007

Jeffrey Howell, R.A.
Jeffrey Howell and Associates
6815 Forest Hills Dr. NE
Albuquerque, NM 87109

Re: Rion Square, 6200 Montgomery Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 7-05-07 (G18-D29A)

Dear Mr. Howell,

The TCL submittal received 7-05-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

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Albuquerque

New Mexico 87103

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

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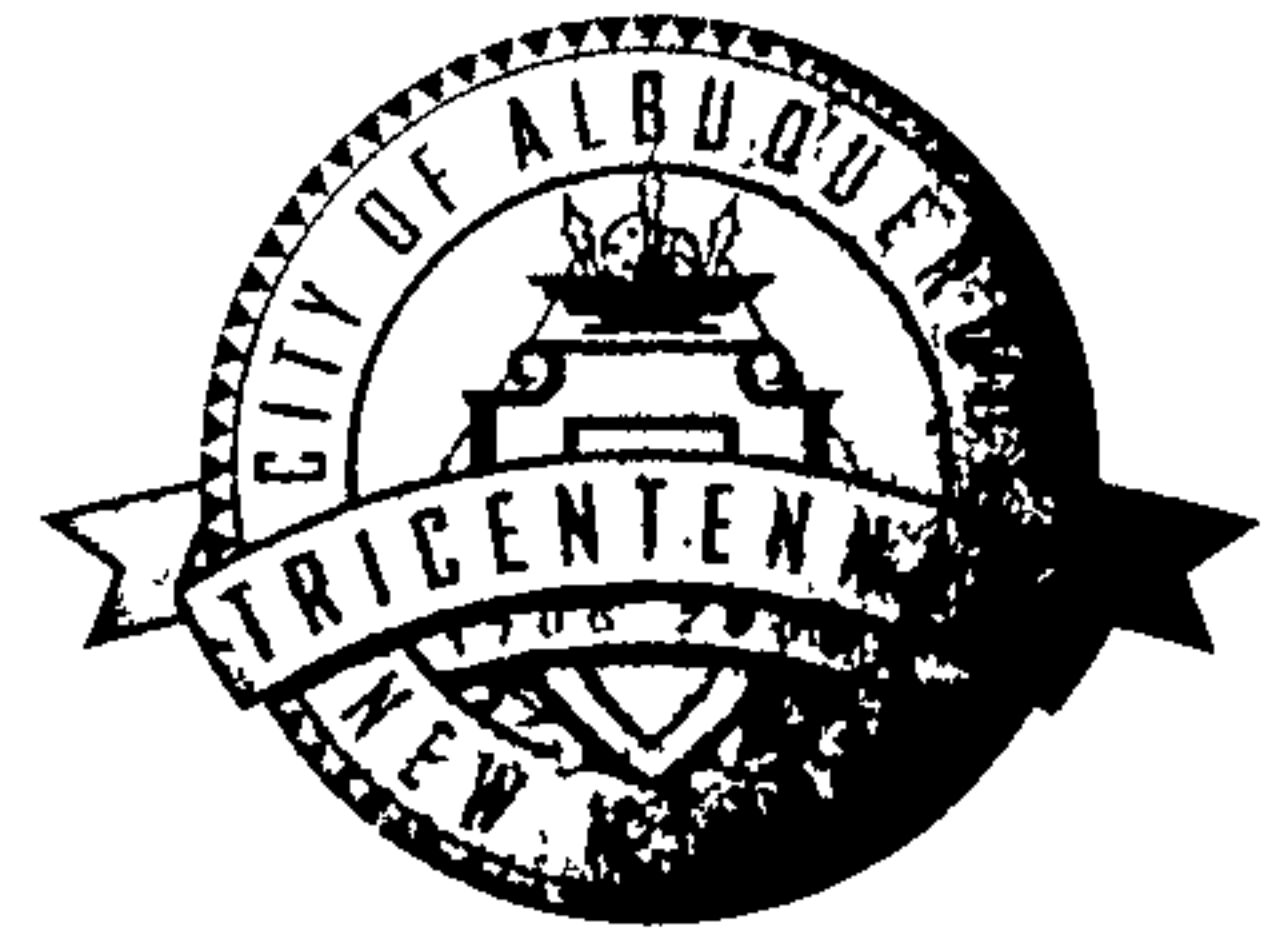
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



7/19/07
did by me

May 29, 2007

Jeffrey Howell, R.A.
Jeffrey Howell and Associates
6815 Forest Hills Dr. NE
Albuquerque, NM 87109

**Re: Rion Square, 6200 Montgomery Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 5-17-07 (G18-D29A)**

Dear Mr. Howell,

Based upon the information provided in your submittal received 5-18-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. A 6-foot wide sidewalk should be built along the entire footage of the site; the existing dirt section must be replaced with sidewalk.
2. Keyed note 3 calls out "transition slope 'E'." What does this mean?
3. Call out the width of the sidewalk located along the proposed building. Will a wheelchair ramp be required for the handicapped space?
4. Refer to all appropriate City Standards by standard number.
5. Amend keyed note 20 to note that the removed curb and gutter and sidewalk must be replaced.
6. Please show the location of the nearest driveway on the adjacent lot.
7. All wheelchair ramps in the city right of way must have truncated domes. In addition, these ramps must be 6 feet in width.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File