

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

June 26, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR BRIGHT BEGINNINGS - SAN MATEO
(G-18/D32) REVISION DATE OF JUNE 14, 1989

Dear Mr. Mortensen:

Based on the information provided on your resubmittal of June 14, 1989, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Please be advised that prior to Certificate of Occupancy release, we will need:

1. an approved, filed copy of the replat, and
2. a Letter of Acceptance for improvements within the proposed new dedicated easement.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
for Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1038)

FILE COPY

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



KEN SCHULTZ
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PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

June 5, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR BRIGHT BEGINNINGS - SAN MATEO
(G-18/D32) ENGINEER'S STAMP DATED MAY 15, 1989
NO PLAN CHANGES FROM THE MAY 16, 1989 SUBMITTAL

Dear Mr. Mortensen:

Based on the information provided on your submittal of May 31, 1989, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Please be advised that prior to Certificate of Occupancy release, we will need:

1. an approved, filed copy of the replat, and
2. a Letter of Acceptance for improvements within the proposed new dedicated easement.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1038)

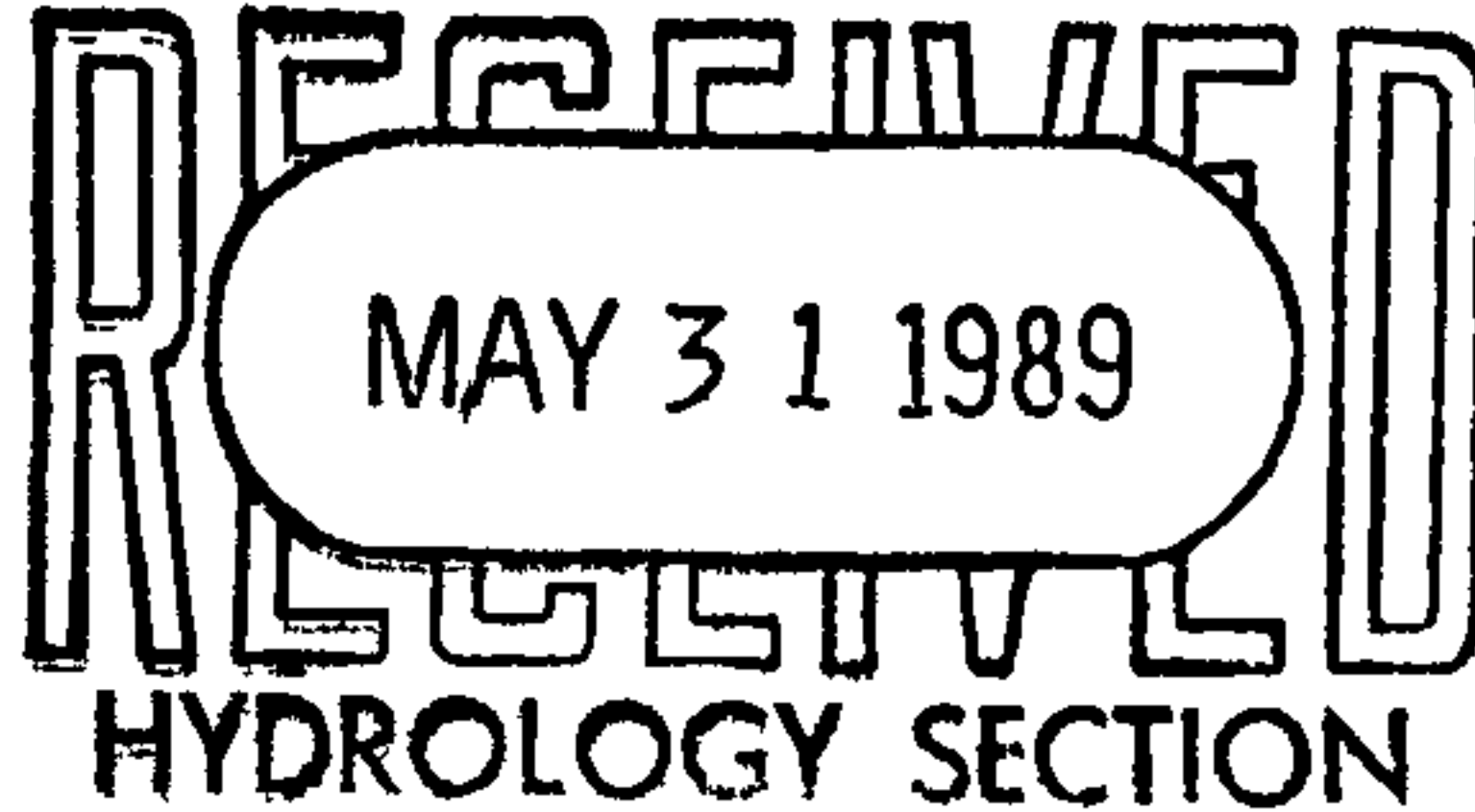


JEFF MORTENSEN & ASSOCIATES, INC. □ ENGINEERS □ 811 DALLAS N.E. □ ALBUQUERQUE □ NEW MEXICO 87110 □ (505) 265-5611

890146

May 31, 1989

Mr. Bernie Montoya
Hydrology Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103



Re: Bright Beginnings - Grading & Drainage Plan (G-18/D32)

Dear Bernie:

I have received your comments on the above subject project and have addressed them as follows:

1. A private drainage easement is being provided to benefit Tract 3C-2-A. See attached print of replat being prepared by our office.
2. The existing 40' alley easement is being vacated and a new public alley will be dedicated by the attached replat.
3. See the attached replat for clarification of new lot lines.
4. The alley design is presently in the final review stage with the DRC.

If you should have any questions or comments concerning this matter, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.

Leonard P. Utter
Staff Engineer

LPU:dj

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BRIGHT BEGINNING ZONE ATLAS/DRAINAGE FILE # 618/D32LEGAL DESCRIPTION: TRACT 3C-2, TREMONT

CITY ADDRESS: _____

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD UTTERADDRESS: 811 DALLAS N.E. PHONE: 265-5611OWNER: _____ CONTACT: CONTRACTOR

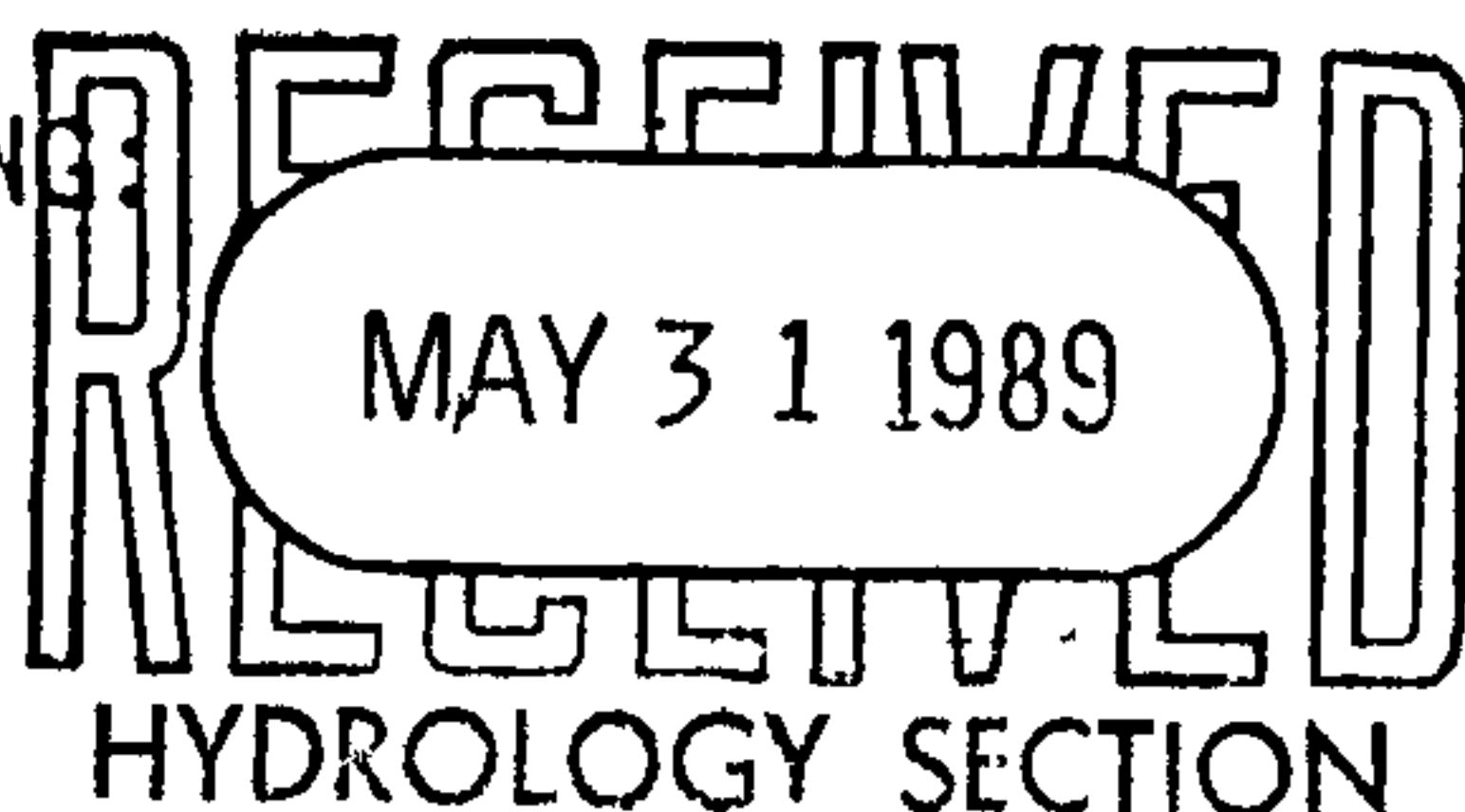
ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD UTTERADDRESS: 811 DALLAS N.E. PHONE: 265-5611CONTRACTOR: GERALD MARTIN GENERAL CONTRACTOR CONTACT: FRED GORENADDRESS: P.O. BOX 36960 PHONE: 881-4646

PRE-DESIGN MEETING:

☒ YES☐ NO☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVALDATE SUBMITTED: 05-31-89BY: Leonard P. Utter☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER ADDRESS COMMENTS PER
LETTER DATED 5-19-89
(SPECIFY)

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

May 19, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR BRIGHT BEGINNINGS - SAN MATEO
(G-18/D32) RECEIVED MAY 16, 1989

Dear Mr. Mortensen:

Based on the information provided on your resubmittal of May 16, 1989, listed are certain concerns that will need to be addressed prior to final approval:

1. Your proposed grading indicated you will be routing developed runoff towards Tract 3-A. Cross lot line drainage requires an easement.
2. Will the existing 40' alley remain or will it be vacated to accommodate the new alley design?
3. You indicate lot line elimination and a proposed lot line created. If a replat is proposed, please provide me with a copy.
4. Alley improvements will go through the Work Order process.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1032)

DRAINAGE INFORMATION SHEET

890146

PROJECT TITLE: BRIGHT BRUNINGS SAN ANTONIO ZONE ATLAS/DRAINAGE FILE # G 181 032

LEGAL DESCRIPTION: TRACT 3C-2 TREMONT

CITY ADDRESS: NOT KNOWN

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

OWNER: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

CONTRACTOR: GERALD MARTIN CONTACT: FRED GORENZ

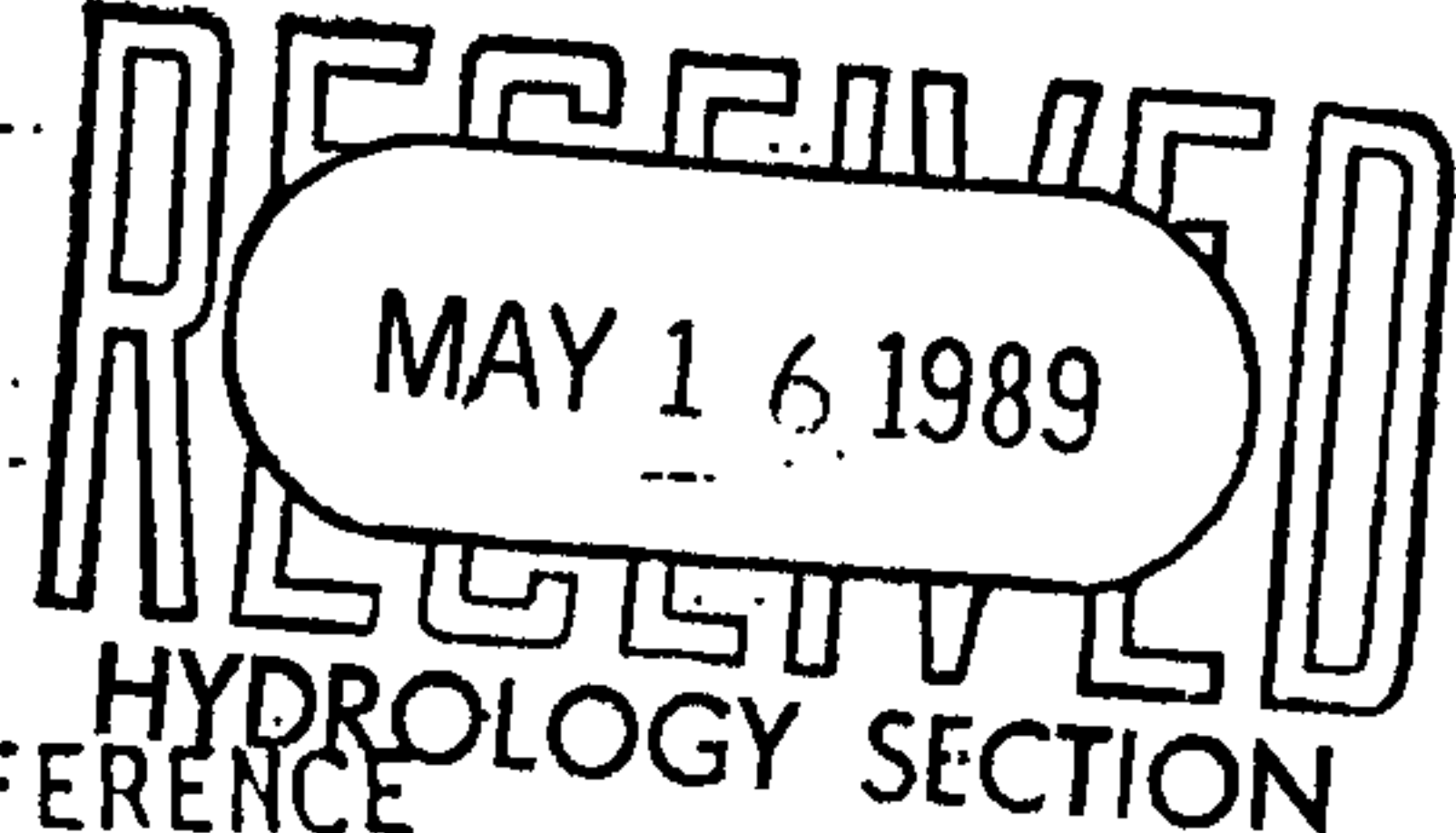
ADDRESS: 4001 BOGAN ROAD N.E. PHONE: 881-4646

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER REVISIONS (SPECIFY)

DATE SUBMITTED: 05-16-89

BY: Leonard P. Utter

FILE COPY

MEMORANDUM:

March 31, 1989



ENGINEERING GROUP

TO: Jacob Baca, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
BRIGHT BEGINNINGS - SAN MATEO (G-18/D32)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 31, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR BRIGHT BEGINNINGS (G-18/D32)
ENGINEER'S STAMP DATED MARCH 24, 1989

Dear Mr. Mortensen:

Based on the information provided on your submittal of March 24, 1989,
the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to
sign-off by Hydrology.

The alley way issues must be resolved prior to Certificate of Occupancy
release. Please be advised that a separate permit is required for
construction within the City right of way. A copy of this approval
letter will be required when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Becky Sandoval

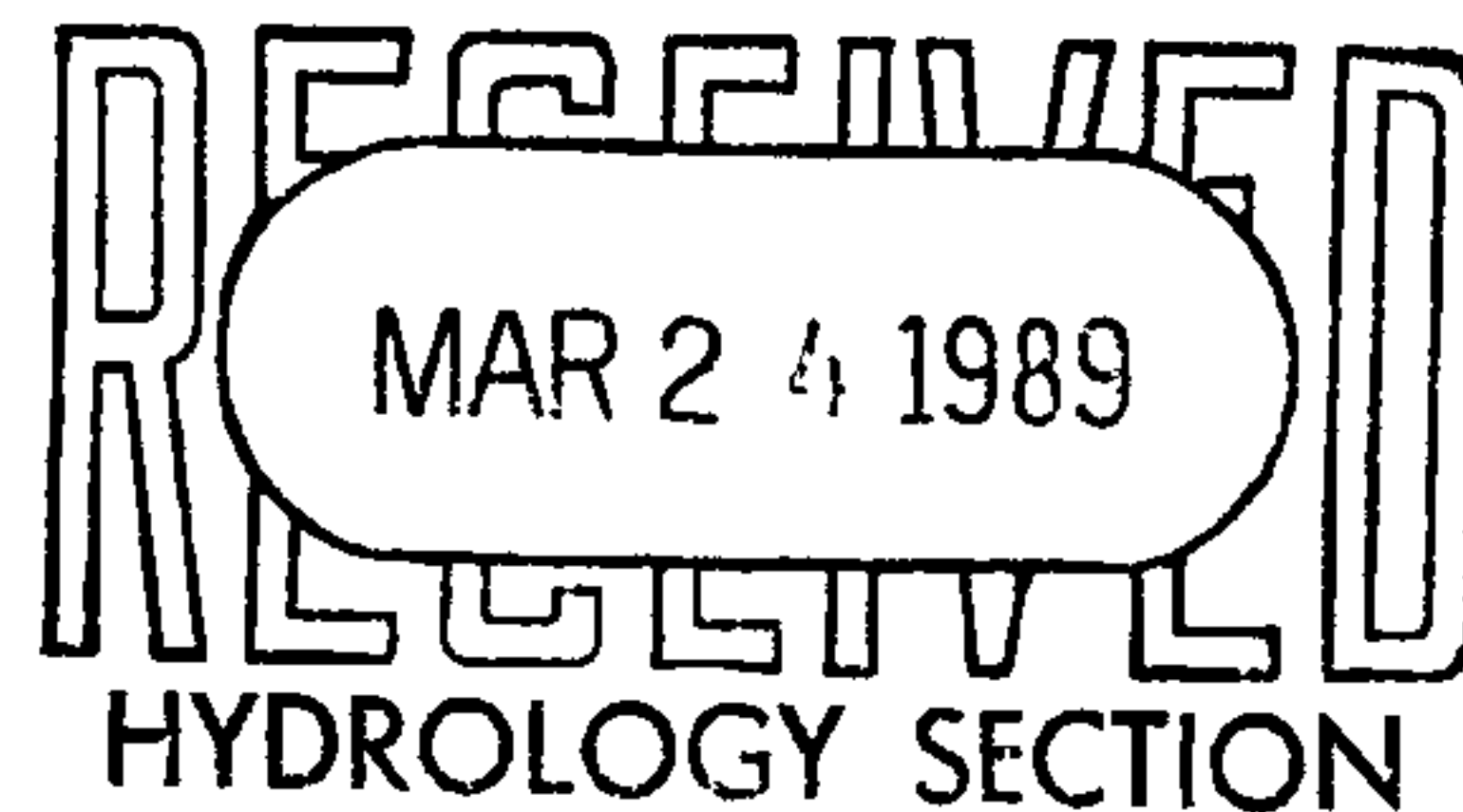
BJM/bsj
(WP+1038)



JEFF MORTENSEN & ASSOCIATES, INC. □ ENGINEERS □ 811 DALLAS N.E. □ ALBUQUERQUE □ NEW MEXICO 87110 □ (505) 265-5611

890141
March 24, 1989

Mr. Bernie Montoya
City of Albuquerque
Hydrology Section
P. O. Box 1293
Albuquerque, NM 87103



Re: Bright Beginnings - San Mateo (G-18/D32)

Dear Bernie:

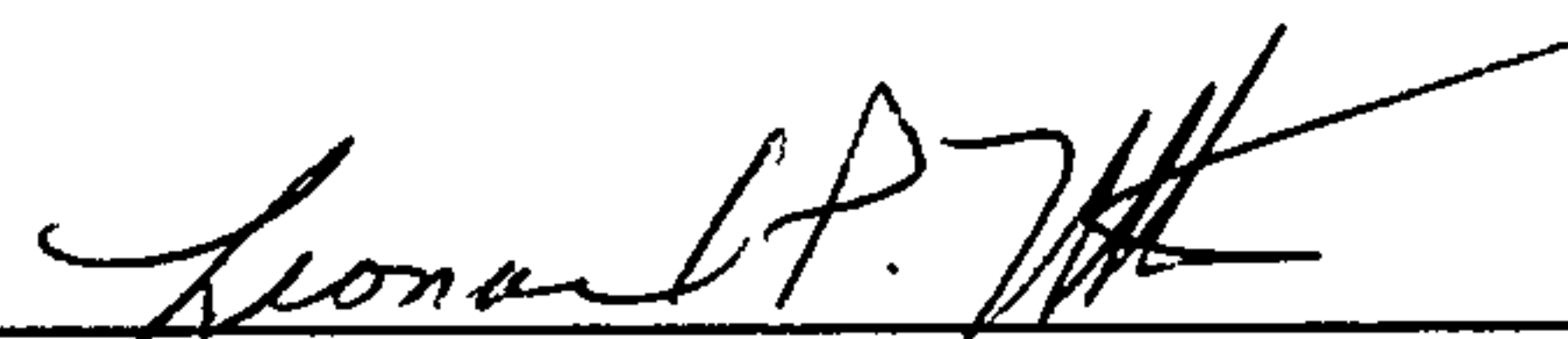
I have received your comments on the above subject project and have addressed them as follows:

1. The trash enclosure has been relocated out of the 40' easement.
2. The alley improvements are being addressed as discussed in the letter sent to Fred Aguirre dated 3-23-89.
3. Downstream analysis has been addressed as discussed in the text. Attached is a copy of the hydrograph for the analysis.
4. Note that a small portion of the alley will drain to the south. This is due to the City approved alley grades (Project No. 2067) and should not cause any erosion problems. The existing slope of the alley is 0.005±.

If you should have any questions or comments concerning any aspect of this matter, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



Leonard P. Utter
Staff Engineer

LPU:dj

Enclosure

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BRIGHT BEGINNINGS
SAN MATEO ZONE ATLAS/DRAINAGE FILE # G18/D32

LEGAL DESCRIPTION: TRACT 3C-2 TREMONT

CITY ADDRESS: NOT KNOWN

ENGINEERING FIRM: JEFF MORTENSEN + ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

OWNER: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN + ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

CONTRACTOR: GERALD MARTIN CONTACT: FRED GORENZ

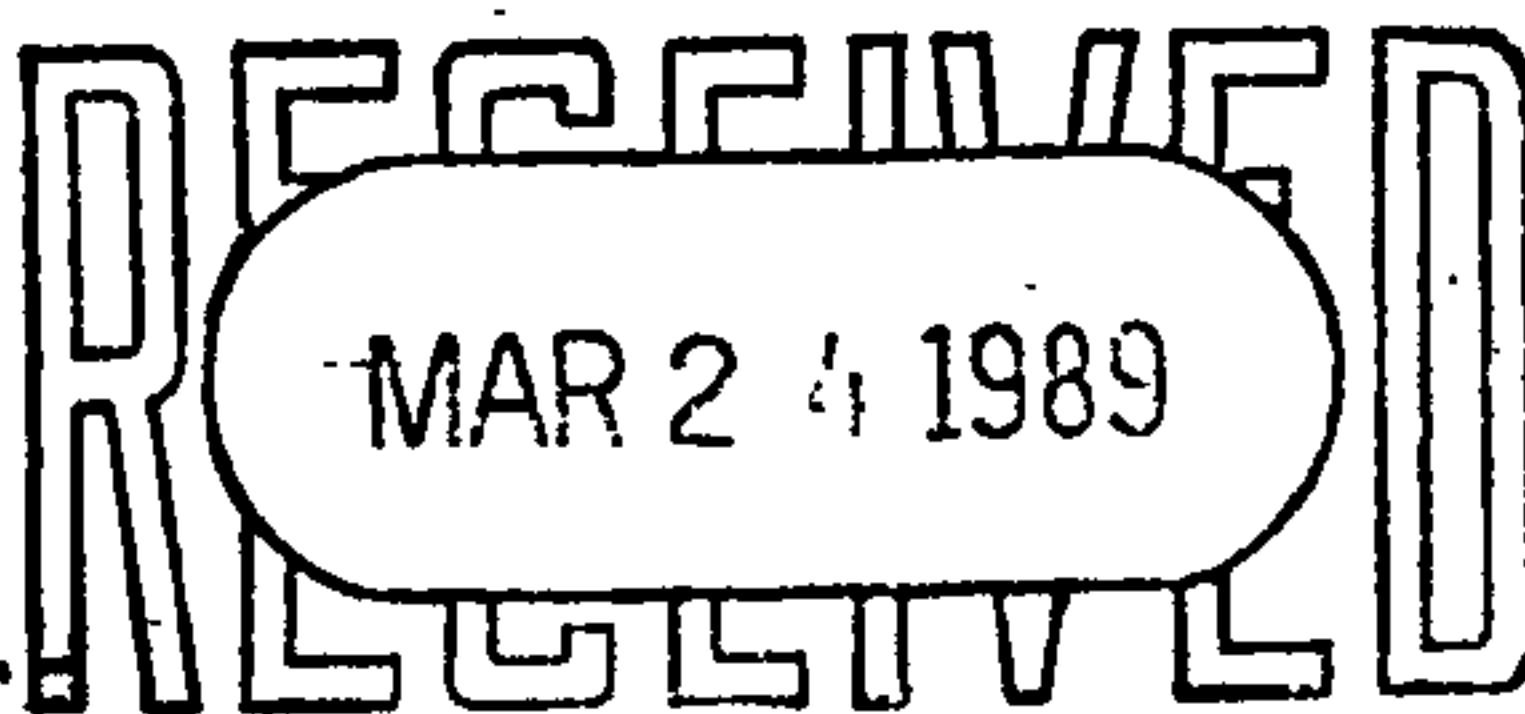
ADDRESS: 4001 BOGAN ROAD N.E. PHONE: 881-4646

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

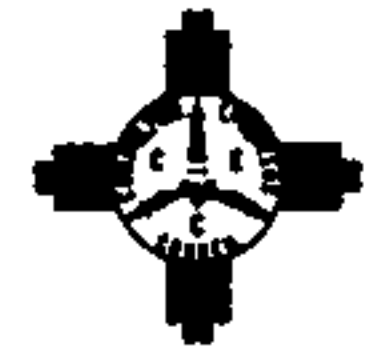
☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER REVISIONS (SPECIFY)

DATE SUBMITTED: 03-24-89

BY: Leonard P. Utter

5212 Approved Ed NE



JEFF MORTENSEN & ASSOCIATES, INC. □ ENGINEERS □ 811 DALLAS N.E. □ ALBUQUERQUE □ NEW MEXICO 87110 □ (505) 265-5611

890143

March 23, 1989

Mr. Fred J. Aguirre
City of Albuquerque
Hydrology Section

Mr. David W. Harmon
Transportation Department--Development Section
P. O. Box 1293
Albuquerque, NM 87103

Re: Bright Beginnings--San Mateo Site

Gentlemen:

Recent discussions have focused upon the status of the alley easement which is platted along the east boundary of Tract 3-C-2, Tremont. The alley easement is presently 40' in width and coincides with a public utility easement which includes water and sanitary sewer. It is the intent of the developer to vacate the alley easement which runs through the property. A DRB Application for Vacation will be submitted on March 24, 1989. We anticipate a hearing date of April 18, 1989. As you are well aware, the vacation of any portion of the alley will require a public hearing.

The developer is prepared to vacate all or a portion of the alley easement depending upon the outcome of the DRB public hearing. It has already been discussed that the existing width of 40' is far greater than what is usually required of a public alley right-of-way which is normally platted at 20' width. If the conditions or findings of the public hearing stipulate that an access easement be retained, it would be reasonable to reduce the existing 40' width to 20'. This would probably resolve those conflicts of private improvements within an access or alley easement. Whether the easement should be retained as public or private will need to be discussed at the DRB hearing.

As previously stated, it is the intent of the developer to begin construction as soon as possible. The developer fully realizes that the outcome of the Vacation hearing may require changes to the Site Plan and the extent of improvements required on the site. The developer will agree to make those changes necessary to bring the site plan into compliance following the DRB hearing. Lastly, it should be clarified that the status of the public utility easement will not be affected by the proposed Vacation action; the

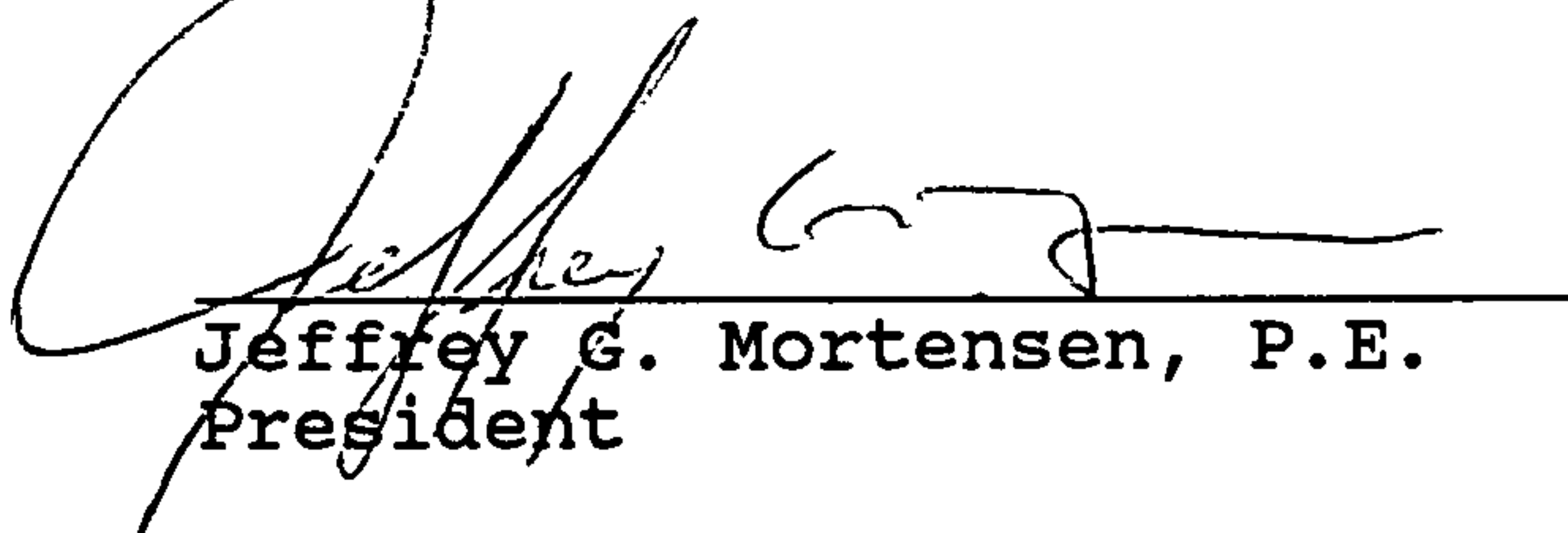
890143
March 23, 1989
Page 2

public utility easement will be retained.

If you should have any questions or comments concerning this information, or if we can be of further service to you, please do not hesitate to call. We sincerely appreciate the cooperation and assistance that the City has provided in response to this rather unique situation.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



Jeffrey G. Mortensen, P.E.
President

JGM:dj

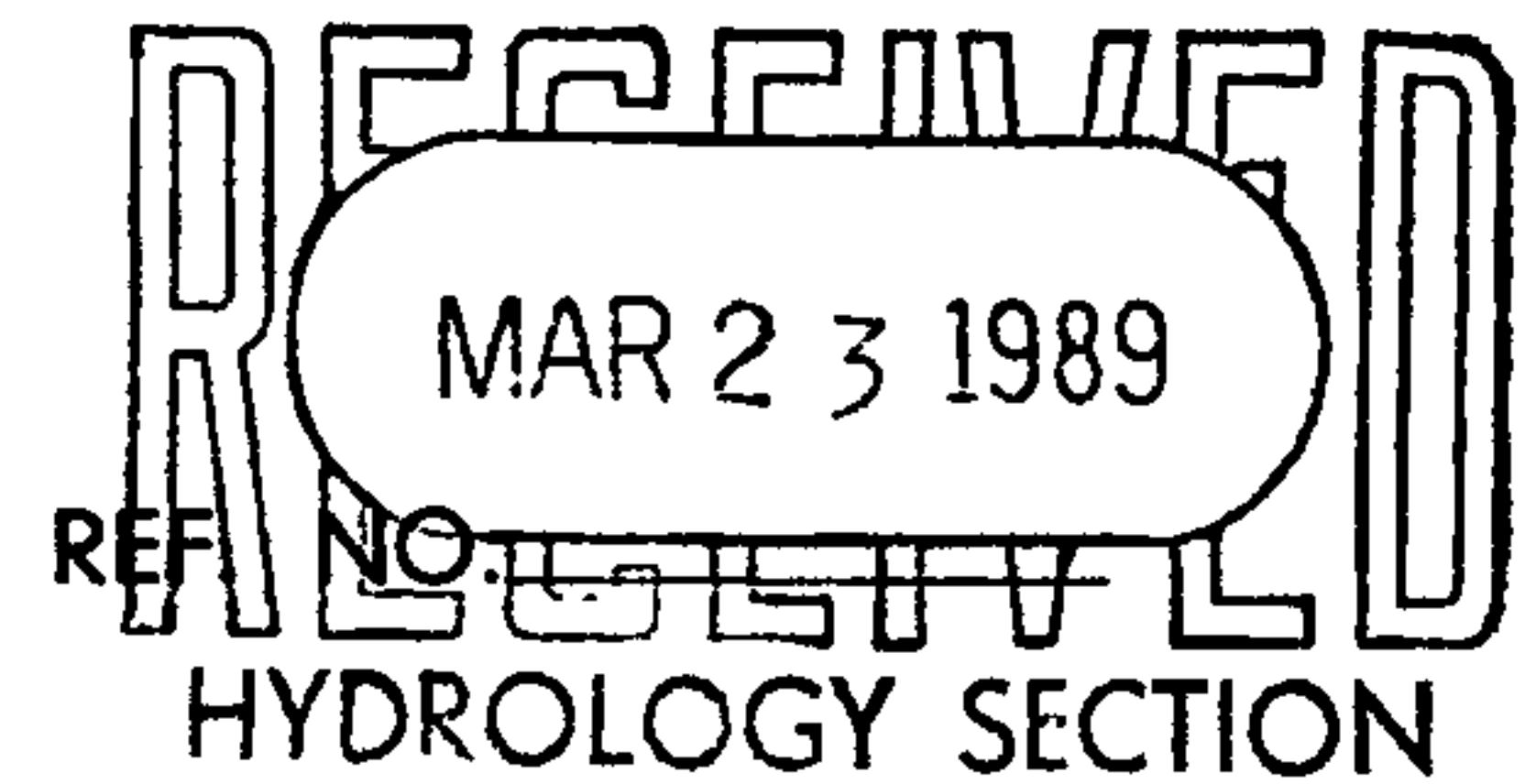
xc: Fred Gorenz

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

March 21, 1989



TO: Fred Aguirre, Hydrology, PWD
TO: Sylvia R. Fettes, Law Specialist
FROM: TREMONT REPLAT
SUBJECT:

Pursuant to your request, we have reviewed the subject replat and conclude that the 40 foot alley indicated on the replat as a 40 foot alley, sewer, water and public utility easement is a public alley and by virtue of the dedication language was dedicated to the City.

Please contact us if you need any further information.

APPROVED:

A handwritten signature in cursive script, appearing to read "Edward R. Pearson".

TED PEARSON
Assistant City Attorney

SRF/ab

*Policies
Legal opinions*

89 01250

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

March 3, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR BRIGHT BEGINNINGS (G-18/D32)
ENGINEER'S STAMP DATED FEBRUARY 28, 1989
RECEIVED FEBRUARY 28, 1989

Dear Mr. Mortensen:

Based on the information provided on your submittal of February 28, 1989, listed are some concerns that will need to be addressed prior to approval.

1. Proposed trash enclosure is too close to the utilities, please check with Jon Ertsgaard.
2. Pre-design indicated that alley improvements are required if used for access.
3. Downstream analysis is needed for justification for free discharge. Mr. Carlos Montoya has provided you with sufficient information to do the downstream analysis.
4. I recommend that you use the pre-design done by Mr. Montoya along with Mr. Reeder's to redesign your site.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1038)

DRAINAGE INFORMATION SHEET

~~BRIGHT B. NUNINGS~~PROJECT TITLE: SAN MATEO ZONE ATLAS/DRAINAGE FILE # G18/P32LEGAL DESCRIPTION: TRACT 3C-2 TREMONTCITY ADDRESS: NOT KNOWNENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTERADDRESS: 811 DALLAS N.E. PHONE: 265-5611OWNER: _____ CONTACT: CONTRACTOR

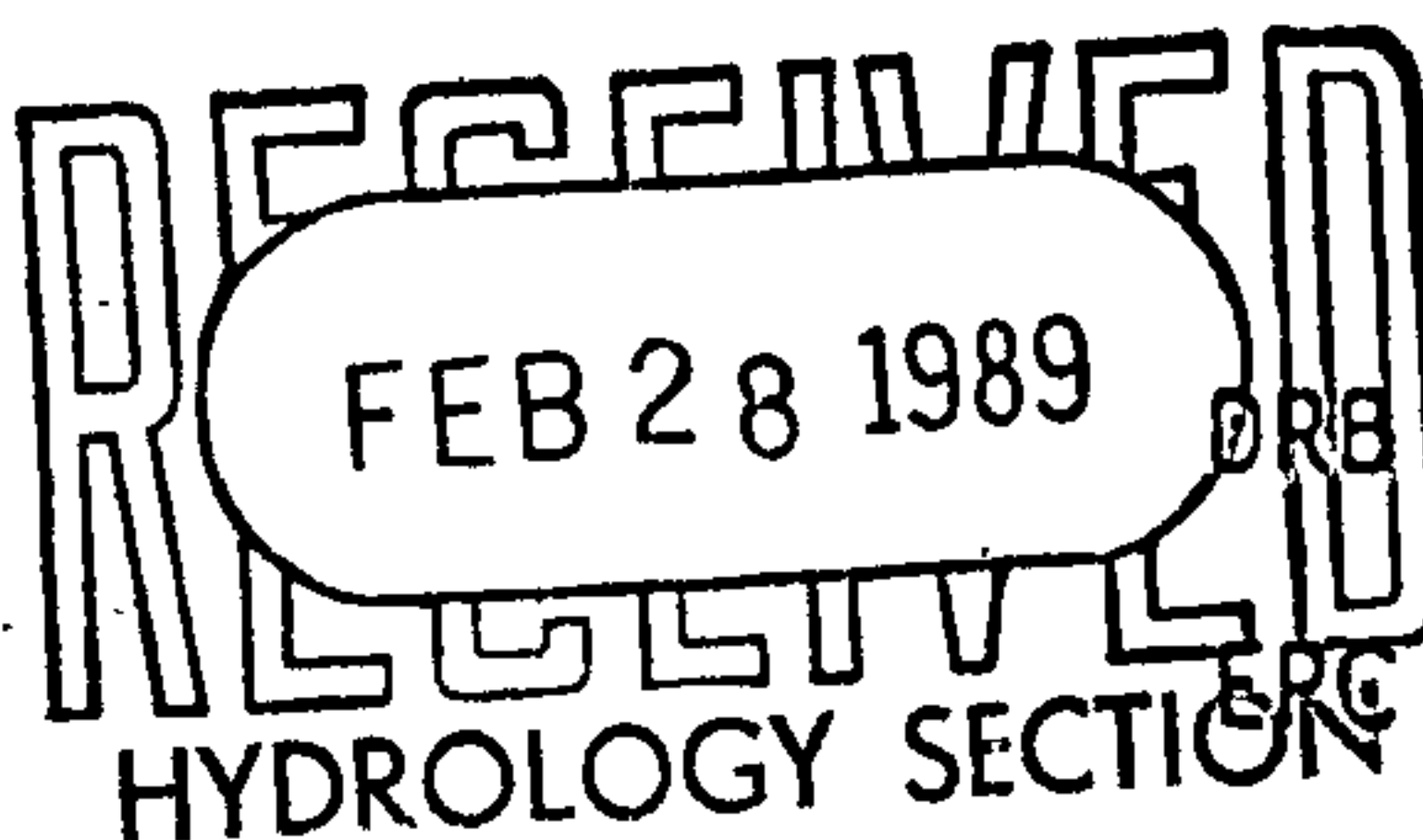
ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTERADDRESS: 811 DALLAS N.E. PHONE: 265-5611CONTRACTOR: GERALD MARTIN CONTACT: FRED GORENZADDRESS: 4001 BOGAN ROAD N.E. PHONE: 881-4646

PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: 02-28-89BY: Leonard P. Utter

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: 618 DATE: 1-10-88
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: San Mateo
STREET ADDRESS (IF KNOWN): T. 3C-2 Homestead Rd
SUBDIVISION NAME: San Mateo

APPROVAL REQUESTED:

<p><input checked="" type="checkbox"/> <u>Minor subd.</u> PRELIMINARY PLAT</p> <p>____ SITE DEVELOPMENT PLAN</p> <p>____ OTHER</p>	<p><input checked="" type="checkbox"/> FINAL PLAT</p> <p><input checked="" type="checkbox"/> BUILDING PERMIT</p> <p>____ ROUGH GRADING</p>
--	--

WHO	REPRESENTING
ATTENDANCE: <u>Ricardo Sanchez</u>	_____
<u>San Mateo</u>	_____
_____	_____

FINDINGS:

- ① Need drainage plan to Barlowe Pond
- ② Need curb & gutter and improved street to east property line
- ③ Free discharge allowed to Homestead R. a. No floodplain on San Mateo b. Inlet site c. S.D. on San Mateo
- ④ If alley used for access need work order to improve alley
- ⑤ If alley does not go through W.O. then need to get public & private off-site flows. Need public comments & consent.
- ⑥ To use public consent need to vacate property through DEB

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>J. L. H. Montoya</u>	SIGNED: <u>Michael Smith</u>
TITLE: _____	TITLE: _____
DATE: <u>1-10-88</u>	DATE: <u>1-10-88</u>

****NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL**



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 20, 1993

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR AN ADDITION TO BRIGHT BEGINNINGS @ HOMESTEAD
(G18-D42) ENGINEER'S STAMP DATED 9/2/93.

Dear Mr. Mortensen:

Based on the information provided on your August 27, 1993 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/7993

xc: Alan Martinez
—File.

PUBLIC WORKS DEPARTMENT

Tony w/
Gerald Martin

5212 Homestead

269 948/

HOLNAM

9429, Censhute

$$\begin{array}{r} 71.08 \\ 214 \\ \hline 13.24 \end{array}$$

DRAINAGE INFORMATION SHEET

890148

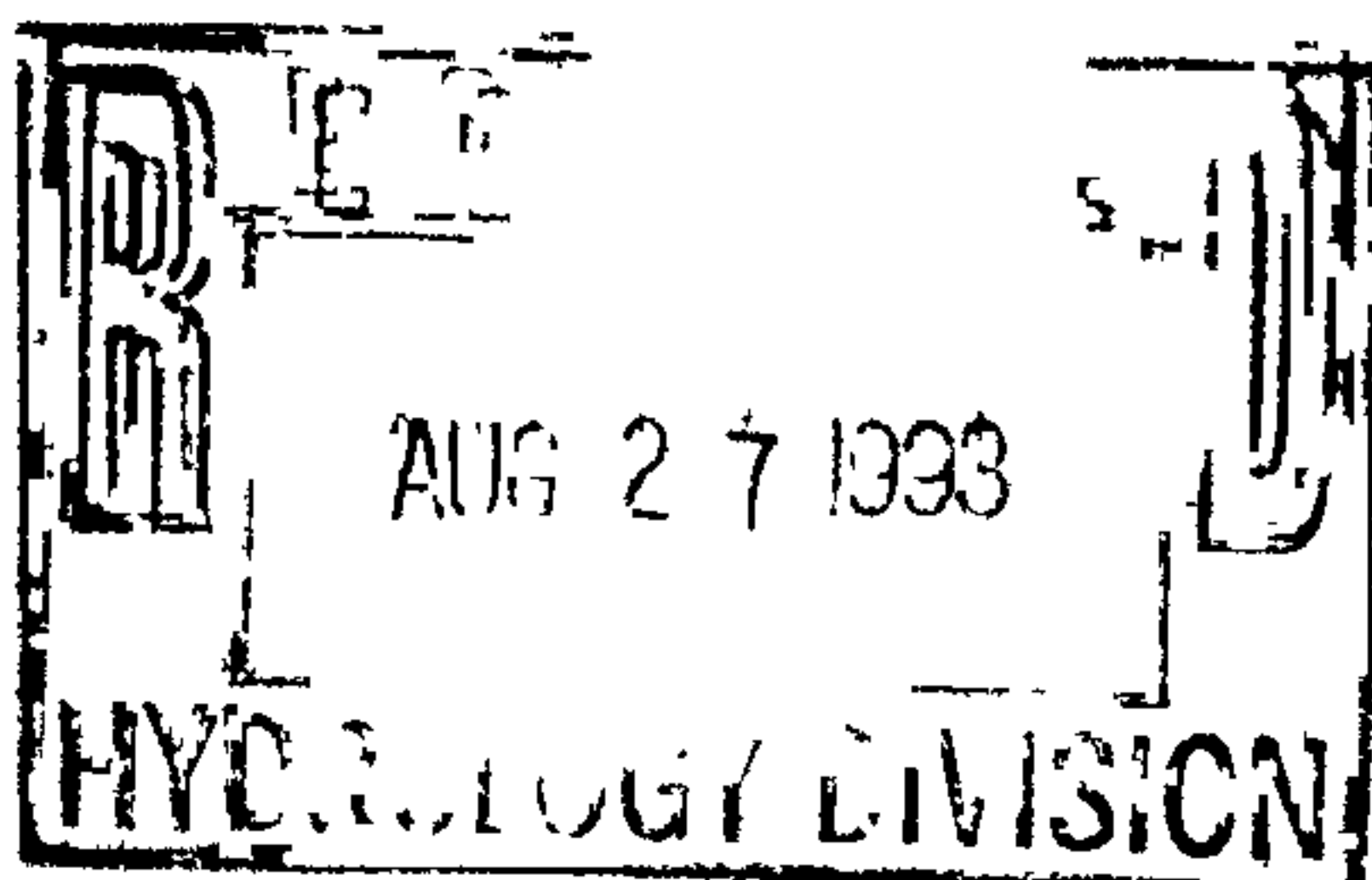
PROJECT TITLE: BRIGHT BEGINNINGS
HOMESTEAD ZONE ATLAS/DRNG. FILE #: G18 / 032
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TRACT 3C-2-A, TREMONT
CITY ADDRESS: _____
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: NEW VISTAS CONTACT: CHARLIE MOLLO
ADDRESS: % CONTRACTOR PHONE: _____
ARCHITECT: RAY MITCHAM CONTACT: RAY MITCHAM
ADDRESS: ROSWELL, NM PHONE: _____
SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
CONTRACTOR: GERALD MARTIN CONTACT: FRED GORENBERG
ADDRESS: _____ PHONE: 828-1144

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

08-27-93

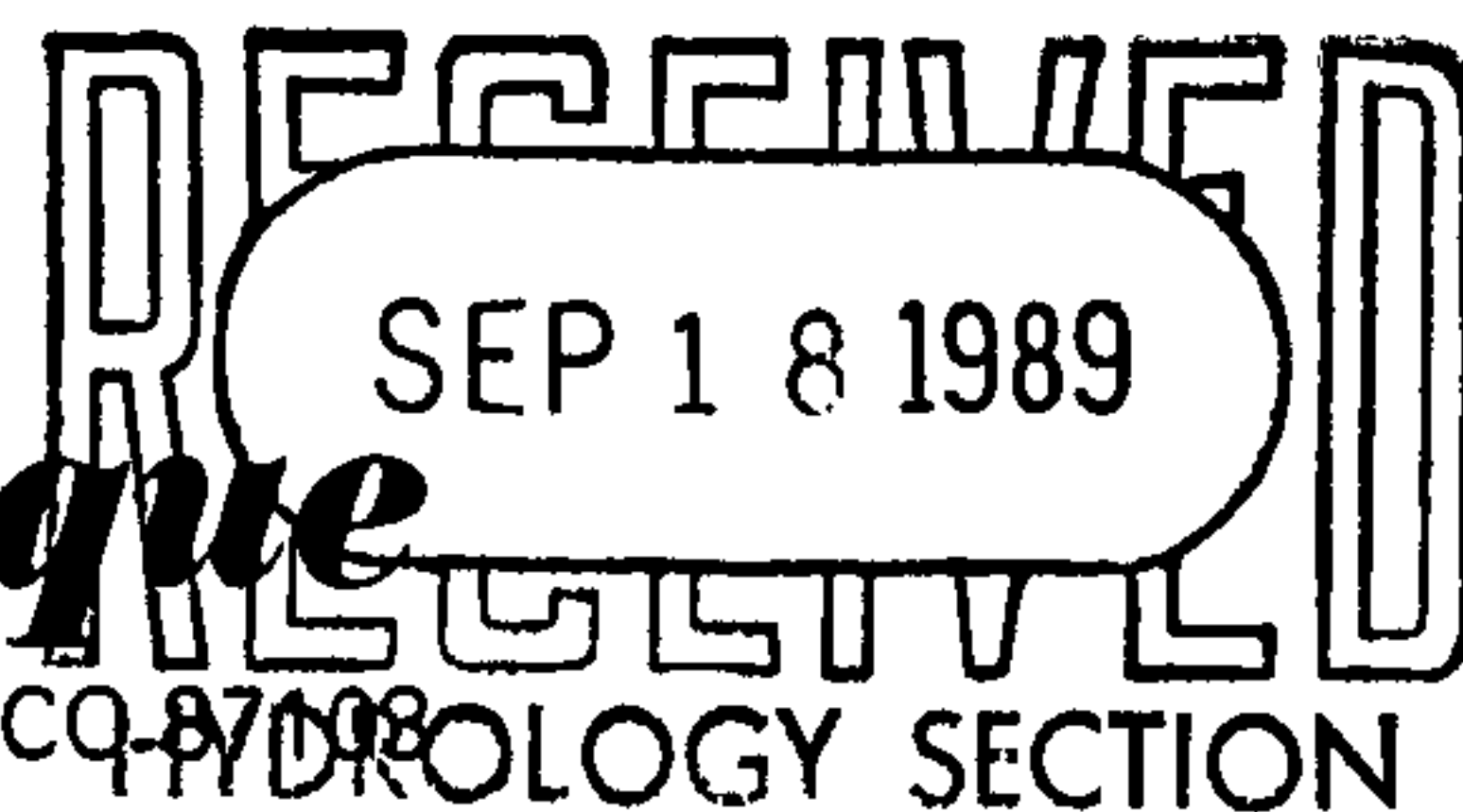
BY:

JEFFREY G. MORTENSEN



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87108



KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

September 15, 1989

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Fred Gorenz
New Vistas Investment Corporation
c/o P.O. Box 36960
Albuquerque, NM 87176-6960

RE: PROJECT NO. 3774, BRIGHT BEGINNINGS ALLEY, (MAP NO. G-18)

Dear Mr. Gorenz:

This is to certify that the City of Albuquerque accepts Project No. 3774 as being completed according to approved plans and construction specifications. If all required right-of-ways and/or easements have been dedicated, the City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3774. If the required right-of-ways and/or easements have not been dedicated, the City of Albuquerque cannot accept the project for continuous maintenance and said maintenance will be the responsibility of the developer. When a final plat has been filed it will be the developer's responsibility to provide the Construction Management Division with a copy, at which time the City will fully accept Project No. 3774.

The project is described as follows:

- Contractor built alley paving between San Mateo Blvd. N.E. and Madeira Dr. N.E. from Homestead Rd. N.E., STATION 0+08 to 2+98 21. Valley gutter and mountable curb were not done under this work order.
- The contractor's warranty begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer
Construction Mgmt. Division
Engineering Group
Public Works Department

RBG:kt

LETTER OF ACCEPTANCE FOR PROJECT NO. 3774
September 15, 1989
Page Two (2)

xc: Jeff Mortensen & Associates, Inc.
Gerald A. Martin, Ltd.
Fred Aguirre, Engineering Group, PWD
[Alan Martinez, Engineering Group, PWD
Phil Fischer, Engineering Group, PWD
Ray Pang, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Connie Lujan, Engineering Group, PWD
Jeanette Barrett, Special Assessments
A. N. Gaume, Operations Group, PWD
Jim Fink, Operations Group, PWD
Ray Chavez, Operations Group, PWD
Jon Ertsgaard, Engineering Group, PWD
Dave Parks, Engineering Group, PWD
Tom Kennerly, Operations Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Della Gallegos, Engineering Group, PWD
Fred Gomez, Engineering Group, PWD
Judy Aguilar, Engineering Group, PWD
f/Project 3774
f/Warranty
f/Readers

(INP 137995)

DRAINAGE INFORMATION SHEET

890146

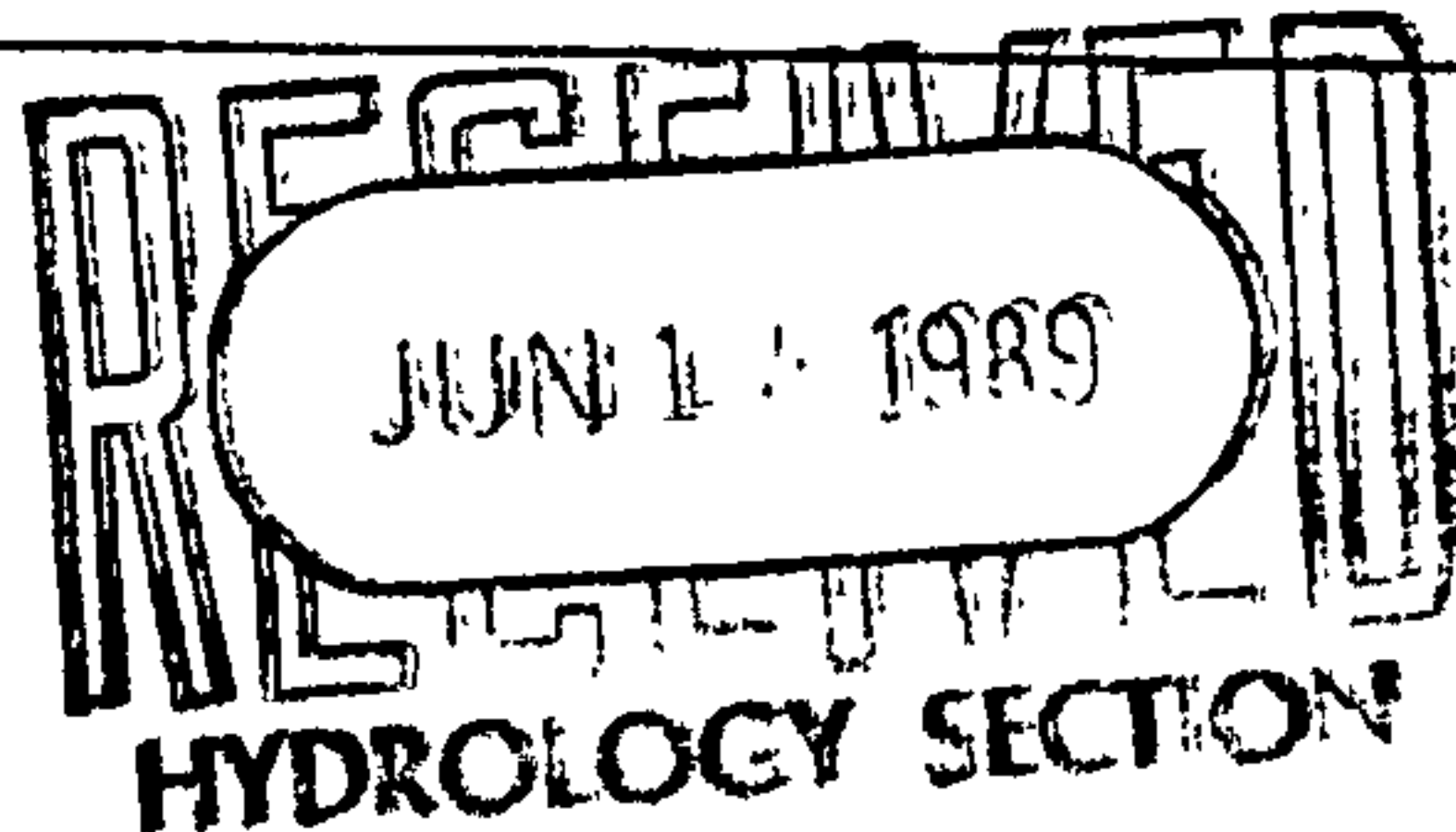
BRIGHT BEGINNINGS -

PROJECT TITLE: SAN MATEO ZONE ATLAS/DRNG. FILE #: 918-D32
 LEGAL DESCRIPTION: TRACT 3C2 TREMONT
 CITY ADDRESS: HOMESTEAD NE
 ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
 ADDRESS: 811 DALLAS NE 87110 PHONE: 265-5611
 OWNER: NEW VISTAS INVESTMENTS CONTACT: CONTRACTOR
 ADDRESS: _____ PHONE: _____
 ARCHITECT: RAY MITCHAM CONTACT: CONTRACTOR
 ADDRESS: _____ PHONE: _____
 SURVEYOR: JMA CONTACT: ENGINEER
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: GERALD MARTIN CONTACT: FRED GORSZ
 ADDRESS: _____ PHONE: 881-4646

PRE-DESIGN MEETING:

☒ YES☐ NO

☐ COPY OF CONFERENCE RECAP
 SHEET PROVIDED



DRB NO.

89-279

EPC NO.

PROJ. NO.

3774

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER REVISION (SPECIFY)

DATE SUBMITTED:

06-14-89

BY:

JEFF MORTENSENATTN: STUART REEDER

JEFF MORTENSEN & ASSOCIATES, INC.
 811 Dallas NE
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 265-5611

JOB 890141
 SHEET NO. _____ OF _____
 CALCULATED BY _____ DATE _____
 CHECKED BY _____ DATE _____
 SCALE _____

Flows going west on Montgomery
 from San Mateo -
 AMDS Analysis Point 206

RECEIVED
 MAR 24 1989
 HYDROLOGY SECTION

OVERLAND FLOW HYDROGRAPH
 PER AMDS MODEL RUNS

STORM SEWER HYDROGRAPH
 PER AMDS MODEL RUNS

FULL DEVELOPMENT (TRACT 322/HOMESTEAD)
 HYDROGRAPH

EXISTING CONDITION (TRACT 322/HOMESTEAD)
 HYDROGRAPH

t, hrs

0.17 0.28