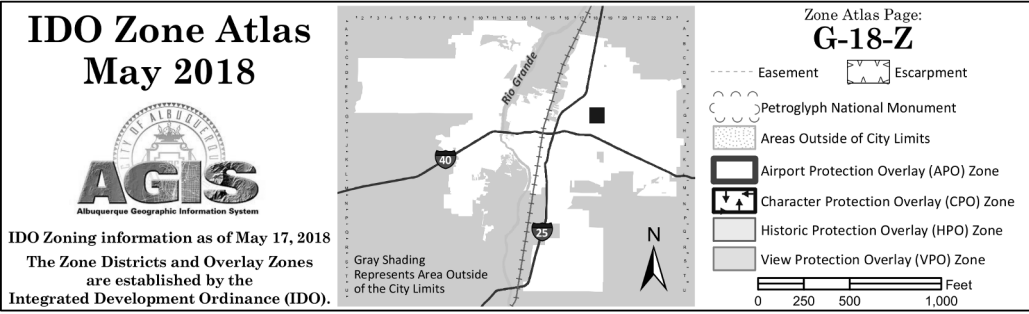


KEYNOTE LEGEND

02 00 00.06	EXISTING REFUSE DUMPSTERS TO REMAIN
02 00 00.07	EXISTING PIPE GATE TO REMAIN
02 00 00.08	EXISTING PARKING ISLAND TO REMAIN
02 00 00.09	EXISTING PARKING TO REMAIN
02 00 00.12	EXISTING SIDEWALK TO REMAIN
02 00 00.17	PRESUMED PROPERTY LINE
02 00 00.18	EXISTING "NO PARKING ANY TIME" STREET SIGN
02 00 00.19	EXISTING CURB PAINTED YELLOW DESIGNATING "NO PARKING"
12 93 13.BR	BICYCLE RACK - REFER TO DETAIL
32 00 00.TS1	TRAFFIC SIGN, TYPE TS1 - REFER TO DETAIL
32 00 00.TS2	TRAFFIC SIGN, TYPE TS2 - REFER TO DETAIL
32 00 00.TS3	TRAFFIC SIGN, TYPE TS3 - REFER TO DETAIL
32 13 13.SW6	CONCRETE SIDEWALK, 6'-0" WIDE
32 17 13.PB	PARKING BUMPER
32 17 23.AI	PAINTED ADA ACCESS AISLE, 4" WIDE, 45 DEGREE DIAGONAL STRIPS AT 24" OC. AISLE WIDTH AS INDICATED
32 17 23.L	PAINTED LETTERING, "NO PARKING", 8" TALL AT END OF ACCESS AISLE
32 17 23.PM4	PAINTED PAVEMENT MARKINGS, 4" WIDE
32 17 23.S	PAINTED ADA SYMBOL - REFER TO DETAIL

LEGEND

	EXISTING BUILDINGS TO REMAIN
	NEW BUILDINGS
	NEW CONCRETE PAVING
	NEW ASPHALT PAVING
	SLURRY COAT OVER EXISTING ASPHALT PAVING



EXECUTIVE SUMMARY

THIS PROJECT INCLUDES:

- THE CREATION OF AN ACCESSIBLE ENTRANCE TO THE POOL FACILITY
- THE ADDITION OF AN OFFICE AND FAMILY RESTROOM/SHOWERS BUILDING
- VARIOUS SITE IMPROVEMENTS TO INCLUDE IMPROVED PARKING AREAS, SIDEWALKS, AND AN ACCESSIBLE RAMP FROM THE PARKING AREA TO THE FACILITY

NO WORK WILL TAKE PLACE IN THE EXISTING BUILDING

TOTAL NEW BUILDING AREA	1,248 SF
OFFICE =	178 SF
RESTROOMS & MECH/ELEC =	640 SF
BREEZEWAY =	430 SF

EXISTING BUILDING AREA =	2,340 SF
EXISTING BATH HOUSE =	1,760 SF
EXISTING PUMP HOUSE =	580 SF

TRAFFIC CIRCULATION WILL CONSIST OF:

- IMPROVEMENTS TO THE EXISTING NORTH PARKING AREA TO INCLUDE CRACK AND HOLE REPAIRS, NEW SLURRY COAT AND RE-STRIPING. ADA ACCESSIBLE PARKING WILL BE PROVIDED AT THE NEW ENTRANCE TO THE FACILITY.
- TRAFFIC WILL FLOW IN TWO DIRECTIONS, IDENTICAL TO EXISTING PATTERNS. THE EXISTING SITE ENTRANCE FROM PALO DURO WILL REMAIN UNCHANGED. TRAFFIC ENTERS FROM PALO DURO, DRIVES THROUGH THE SITE TO THE NORTH. TRAFFIC EXITS IN THE REVERSE PATTERN.
- PARKING AND DRIVE AISLES WILL REMAIN UNCHANGED ALONG THE WEST SIDE OF THE SITE.
- A NEW 6'-0" WIDE SIDEWALK WILL BE INSTALLED ALONG THE ENTIRE EAST SIDE OF THE SITE. NEW SIDEWALKS, CURBS AND RAMPS WILL BE INSTALLED TO FACILITATE ACCESSIBLE ROUTES TO THE NEW FACILITY ENTRANCE.

GENERAL SHEET NOTES

- ALL CONCRETE CURBS AND GUTTERS SHALL CONFORM WITH COA SPEC SECTION 300.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH COA SPEC SECTION 400 AND THE MANUAL ON UNIFORM TRAFFICE CONTROL DEVICES (MUTCD).
- CLEAR SITE TRIANGLES: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE TRIANGLE REQUIREMENTS. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SITE TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2430 & 2415A.



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CONSULTANT

ZONING REVIEW

ADDRESS: 5301 PALO DURO AVENUE NE

BERNALILLO COUNTY UPC: 101806009531920304

LEGAL DESCRIPTION: MONTGOMERY PARK

IDO ZONE ATLAS MAP: G-18-Z

IDO ZONE DISTRICT: NR-PO-A

IDO ALLOWABLE USES PER TABLE 4-2-1:
COMMUNITY CENTER/RECREATIONAL = PERMISSIVE (P)
PARK/ OPEN SPACE = PERMISSIVE (P)

OVERLAY ZONES: NONE

USE SPECIFIC STANDARDS: NONE

DEVELOPMENT STANDARDS: SITE, SETBACK AND HEIGHT STANDARDS PER IDO TABLE 5-1-1, ZONE R-18.

DEVELOPMENT WILL OCCUR WITHIN THE BOUNDARIES OF THE EXISTING MUNICIPAL POOL SITE LOCATED IN MONTGOMERY PARK. MONTGOMERY PARK ALSO HOLDS THE PALO DURO SENIOR CENTER AND THE ERNA FERGUSON LIBRARY. THE PROPOSED BUILDING WILL INCLUDE AN OFFICE AND ADA ACCESSIBLE FAMILY RESTROOMS. THERE ARE CURRENTLY NO ADA ACCESSIBLE RESTROOM OR SHOWER FACILITIES ON THE SITE.

ACCESS TO THE SITE WILL CONTINUE TO BE FROM PALO DURO AVENUE NE. THE ENTRANCE TO THE FACILITY WILL BE MOVED FROM THE SOUTH SIDE OF THE EXISTING BUILDING TO THE NE CORNER OF THE PROPERTY WHERE AN ACCESSIBLE RAMP WILL BE CONSTRUCTED AND NEW ADA PARKING SPACES WILL BE CREATED. A NEW 6'-0" WIDE SIDEWALK ALONG THE EAST SIDE OF THE PROPERTY WILL BE PROVIDED TO THE NEW MAIN ENTRANCE.

OFF-STREET PARKING REQUIREMENTS:

REQUIRED PARKING SPACES:
SWIMMING POOL = 1 SPACE/3 PERSONS OF DESIGN CAPACITY
FOR 139 PERSONS, BATHING LOAD CAPACITY)

REQUIRED PARKING SPACES:	REQUIRED	PROVIDED
REGULAR PARKING SPACES:	47	48
PROXIMITY TO TRANSIT CREDIT (30%)	14	
ON-STREET PARKING CREDIT:	0	
TOTALS:	33 NET REQUIRED	58 PROVIDED (INCL N & W LOTS)
ADA PARKING SPACES	3 (1 VAN)	7 (1 VAN)
MOTORCYCLE PARKING SPACES:	2	2
BICYCLE PARKING:	3, OR 10% OF REQ'D	4

***REDUCTION TO PROXIMITY TO TRANSIT - IDO 5-5(C)(5)(C):**
MINIMUM NUMBER OF OFF-STREET PARKING MAY BE REDUCED BY 30 PERCENT IF LOCATED WITHIN 1,320 FT (1/4 MILE) OF A TRANSIT STOP WITH PEAK FREQUENCY BETWEEN 15 AND 45 MINUTES



MONTGOMERY POOL
PHASE 1 - ENTRY & FAMILY RESTROOMS PAVILION

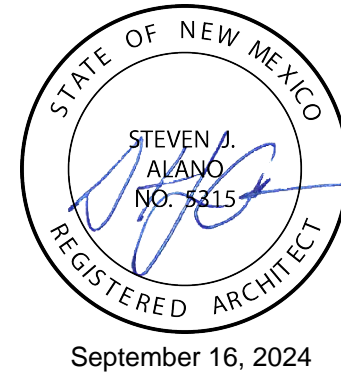
SHEET INFORMATION
GS PROJECT NO. 5511.04
ISSUE DATE SEPTEMBER 16, 2024

REVISIONS

NO.	DESCRIPTION	DATE
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THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED BELOW.

SEAL



SHEET TITLE
TRAFFIC CIRCULATION LAYOUT - SITE PLAN

DRAWING SHEET

TCL1

D

C

B

A

D

C

B

A

GS

ARCHITECTURE

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CONSULTANT

MONTGOMERY POOL
PHASE 1 - ENTRY & FAMILY RESTROOMS PAVILION

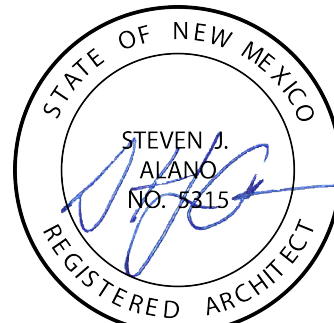
CITY OF ALBUQUERQUE
5301 PALO DURO AVENUE NE
ALBUQUERQUE, NEW MEXICO 87110

SHEET INFORMATION
GS PROJECT NO. 5511.04
ISSUE DATE SEPTEMBER 16, 2024

REVISIONS		
NO.	DESCRIPTION	DATE

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SEAL:



September 16, 2024

SHEET TITLE
DETAILS - TCL

DRAWING SHEET

TCL2

1

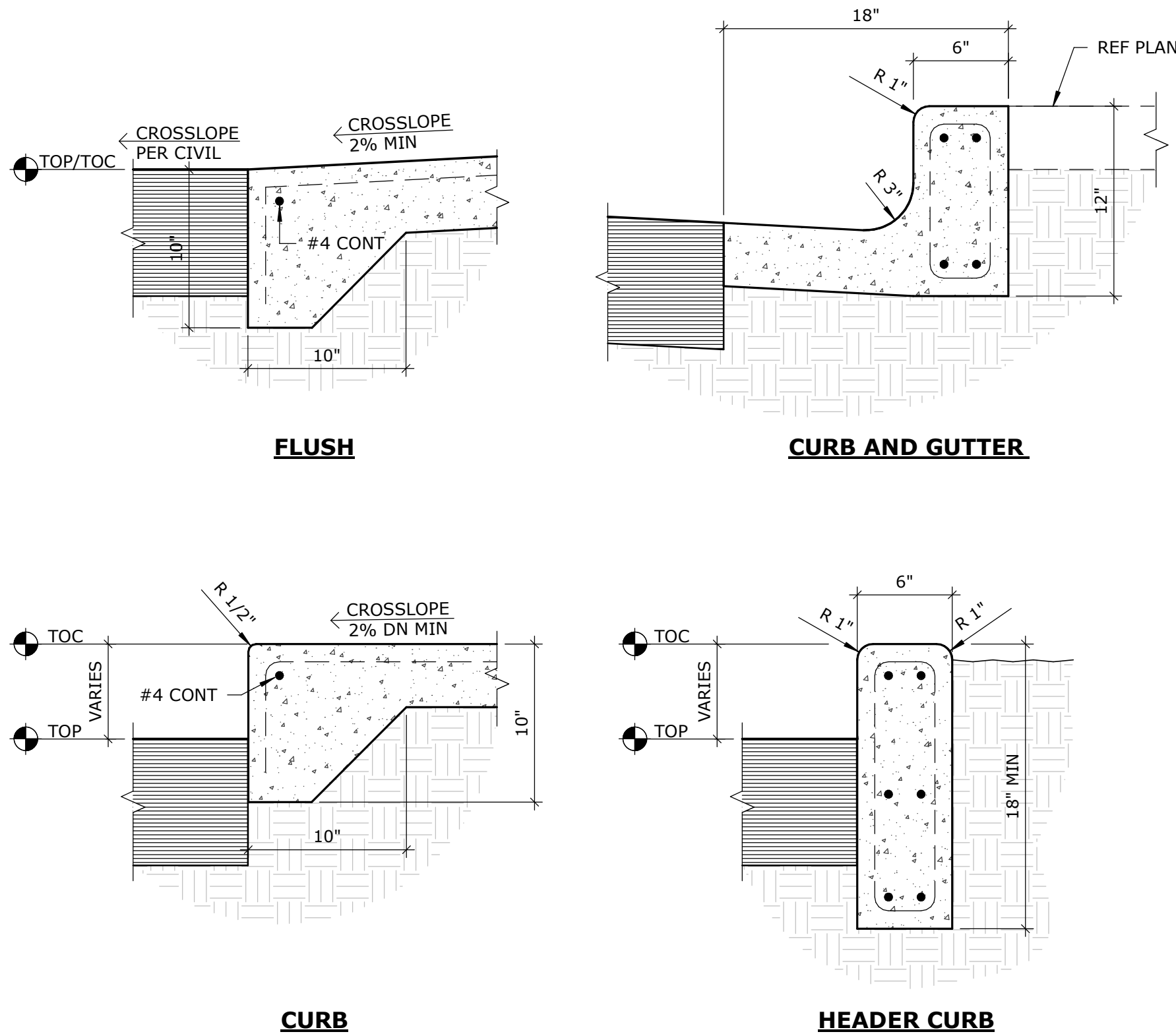
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3

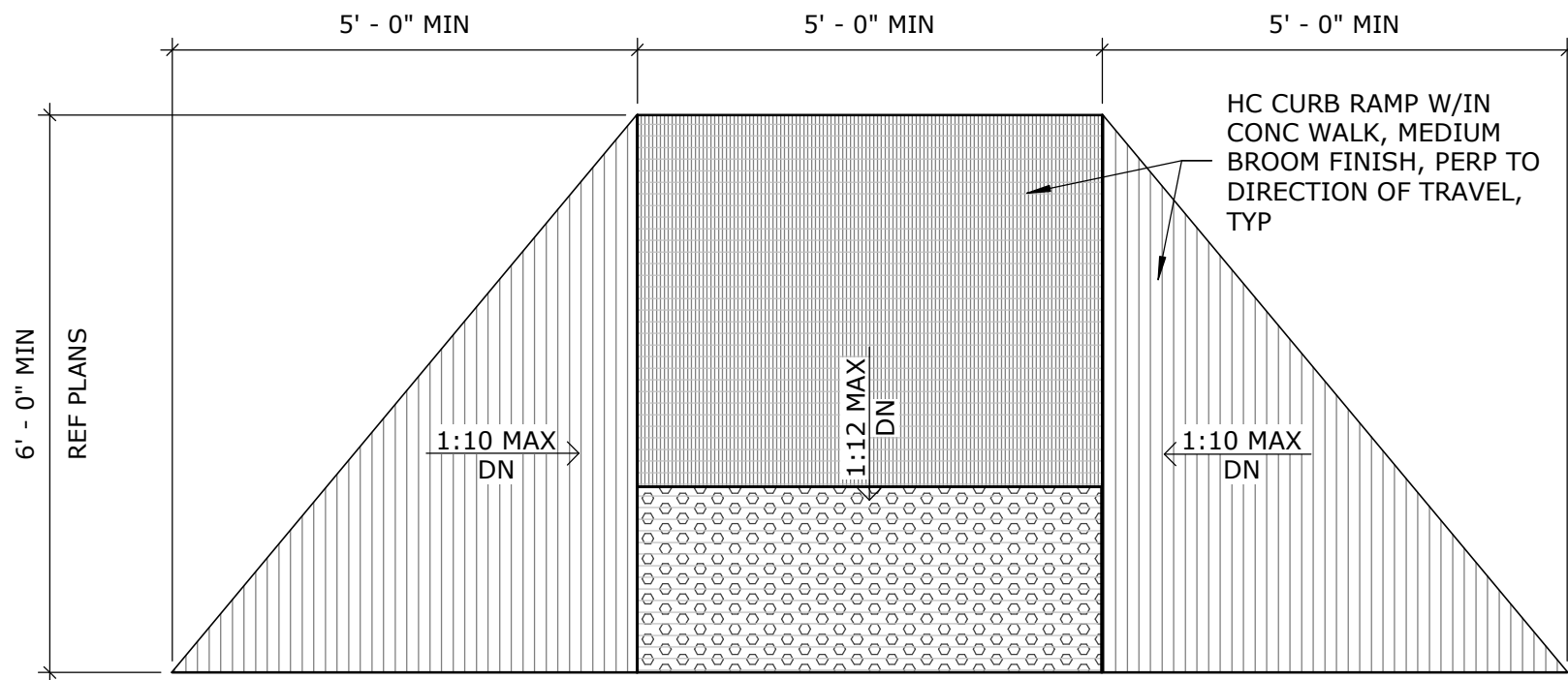
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5

B1 CONCRETE CURB EDGES
1 1/2" = 1'-0"

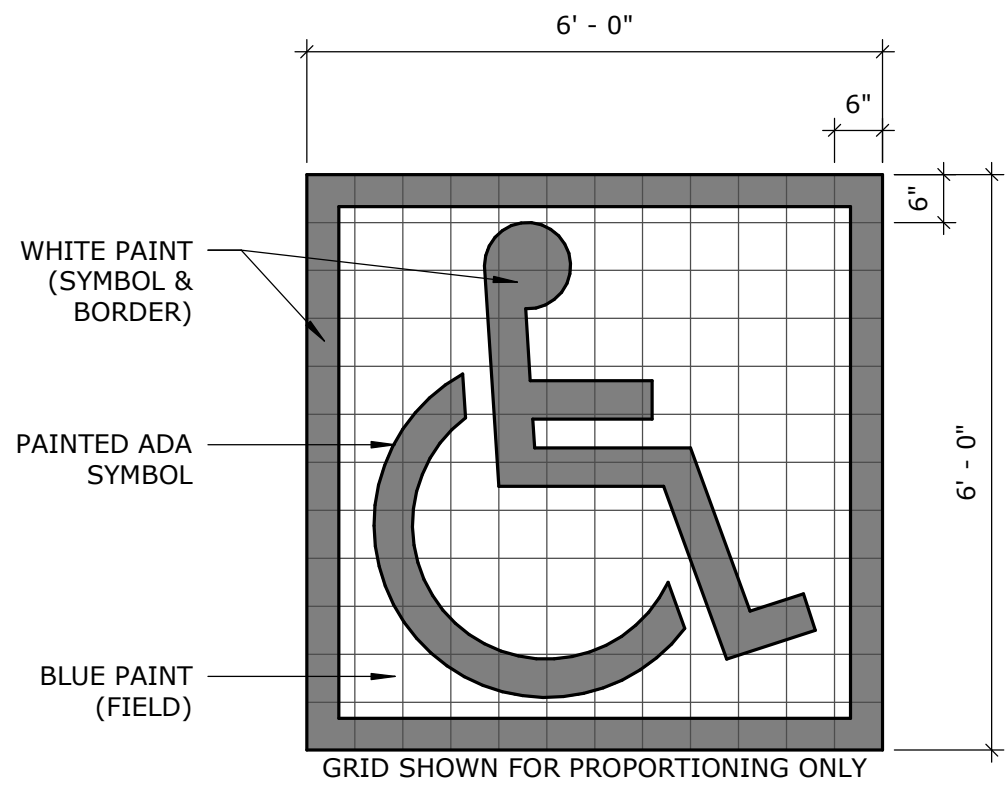


A1 HANDICAP ACCESS RAMP
1/2" = 1'-0"

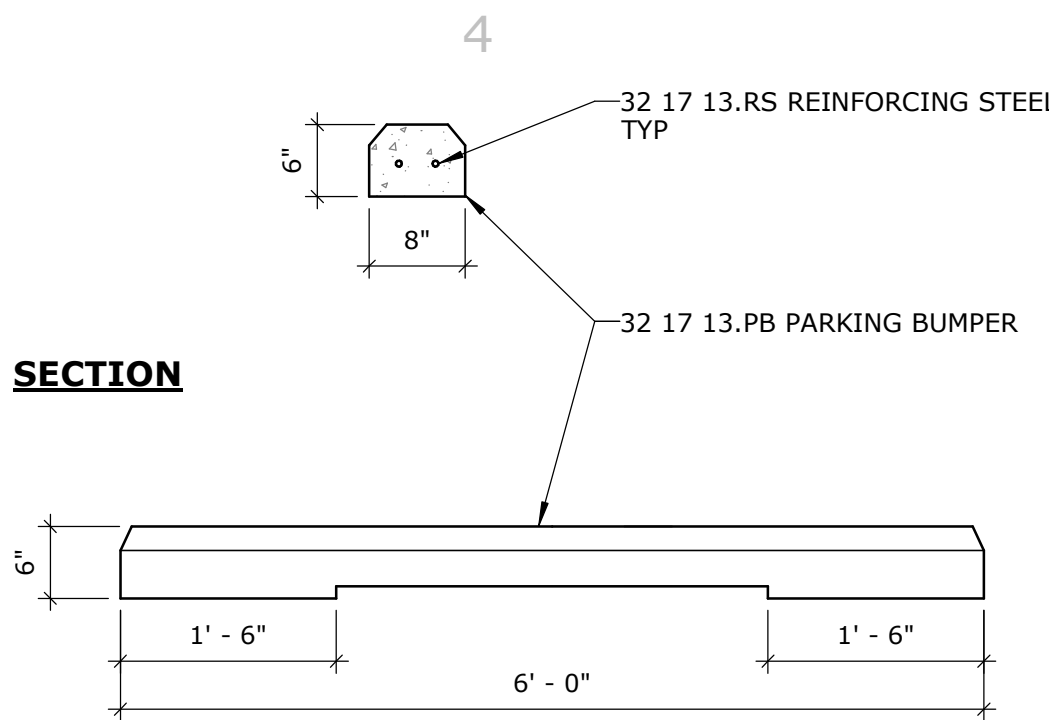
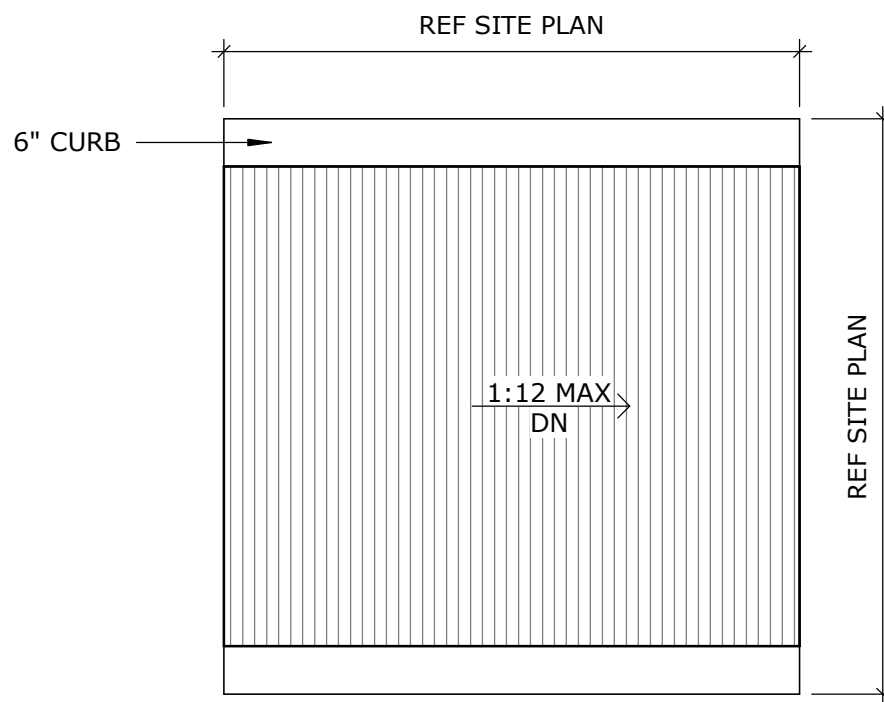
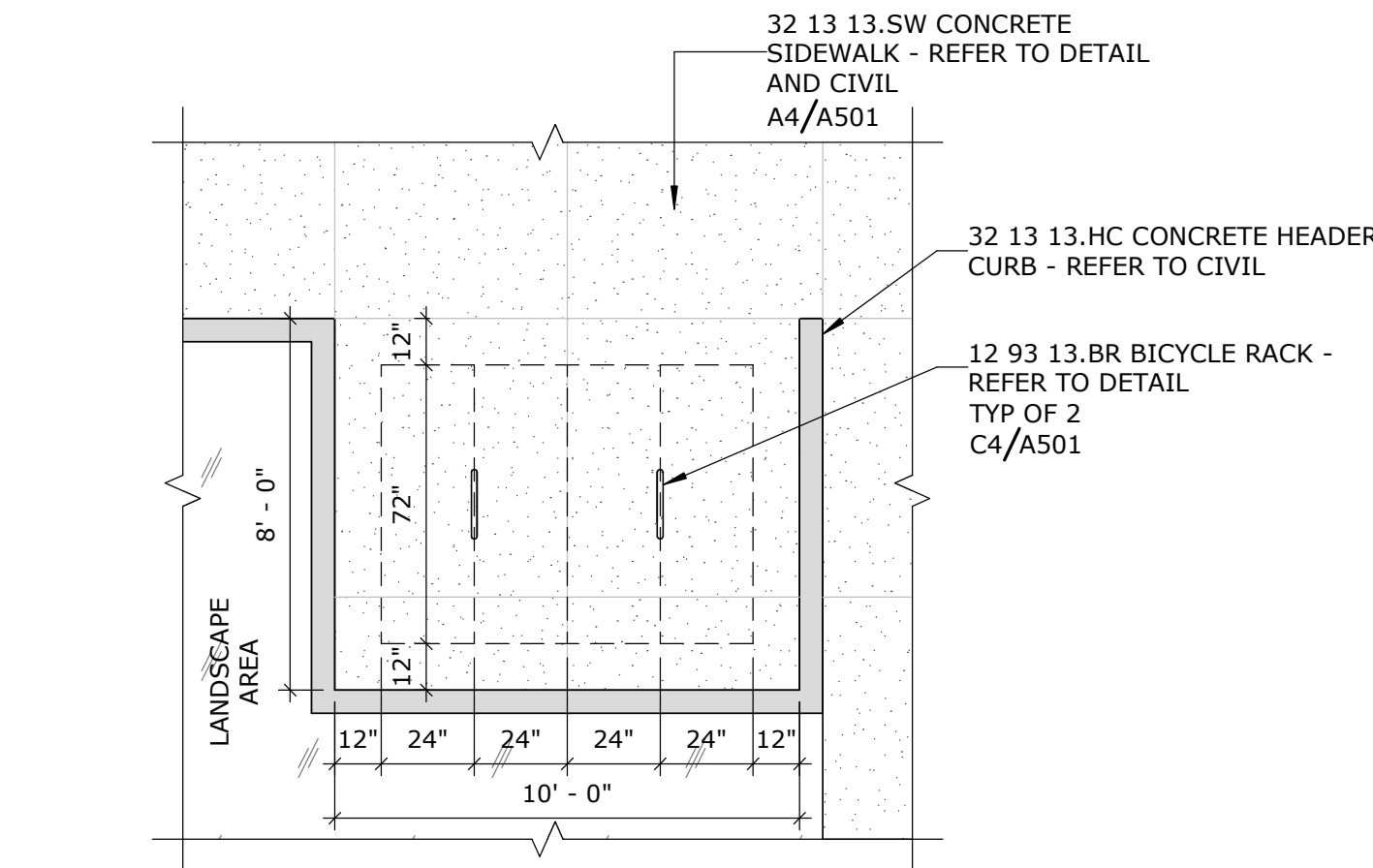


C3

PAINTED HC SYMBOL
1/2" = 1'-0"

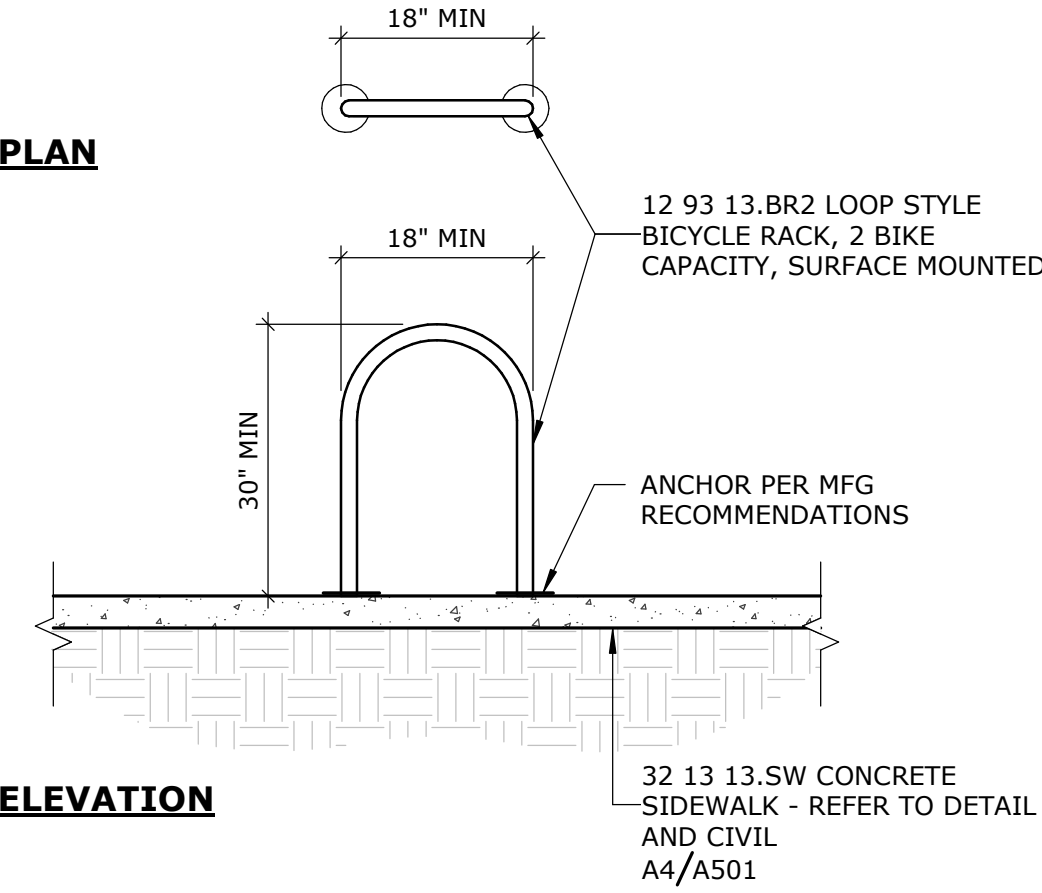


B3 BICYCLE PARKING
1/4" = 1'-0"



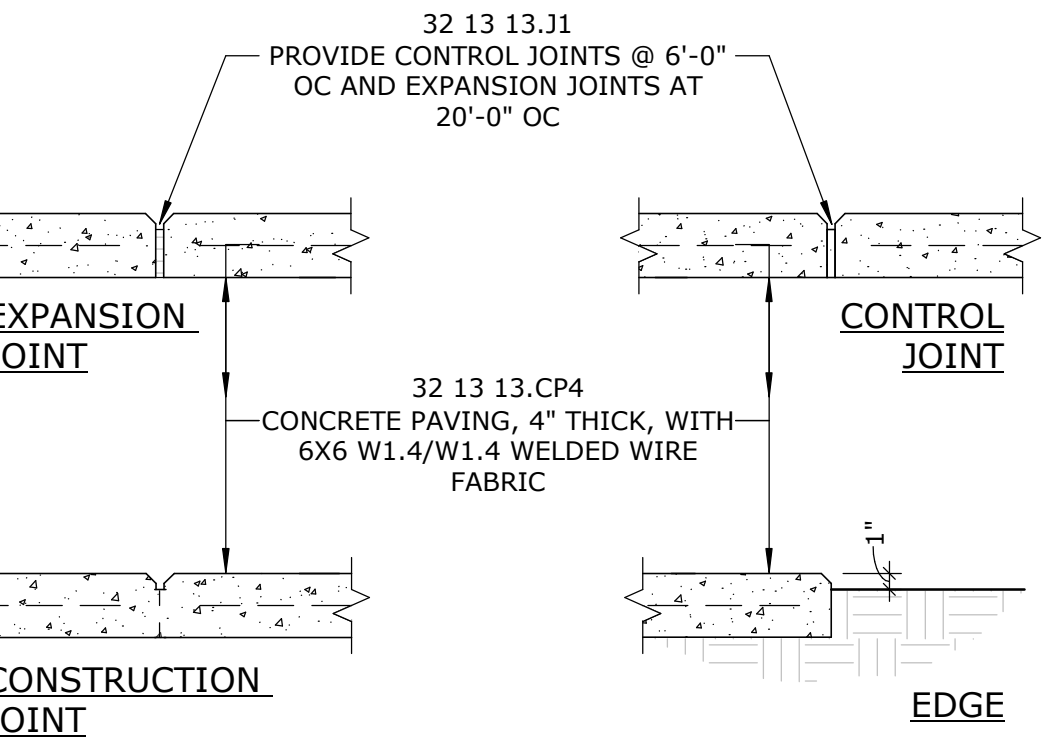
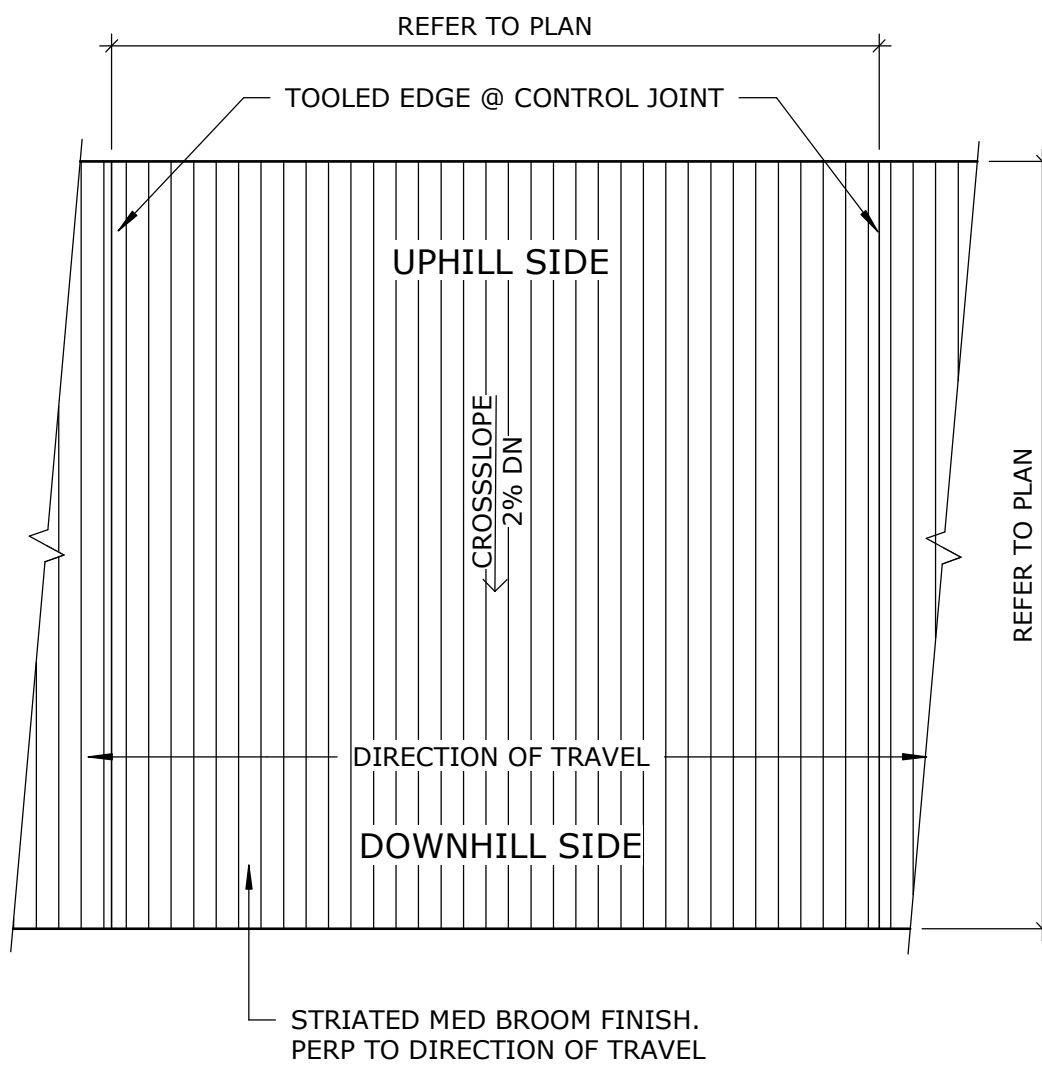
ELEVATION

D4 PARKING BUMPER
3/4" = 1'-0"



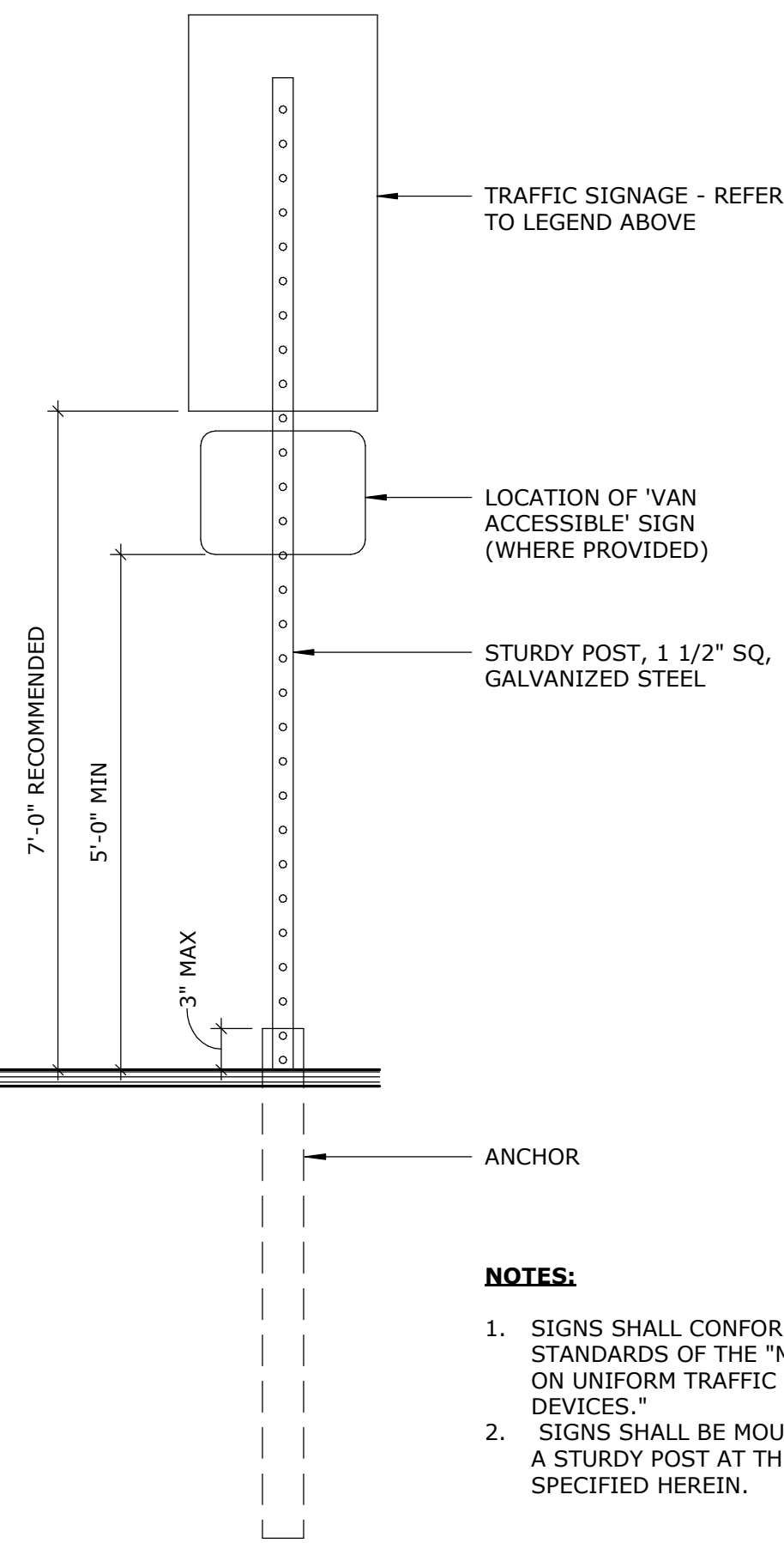
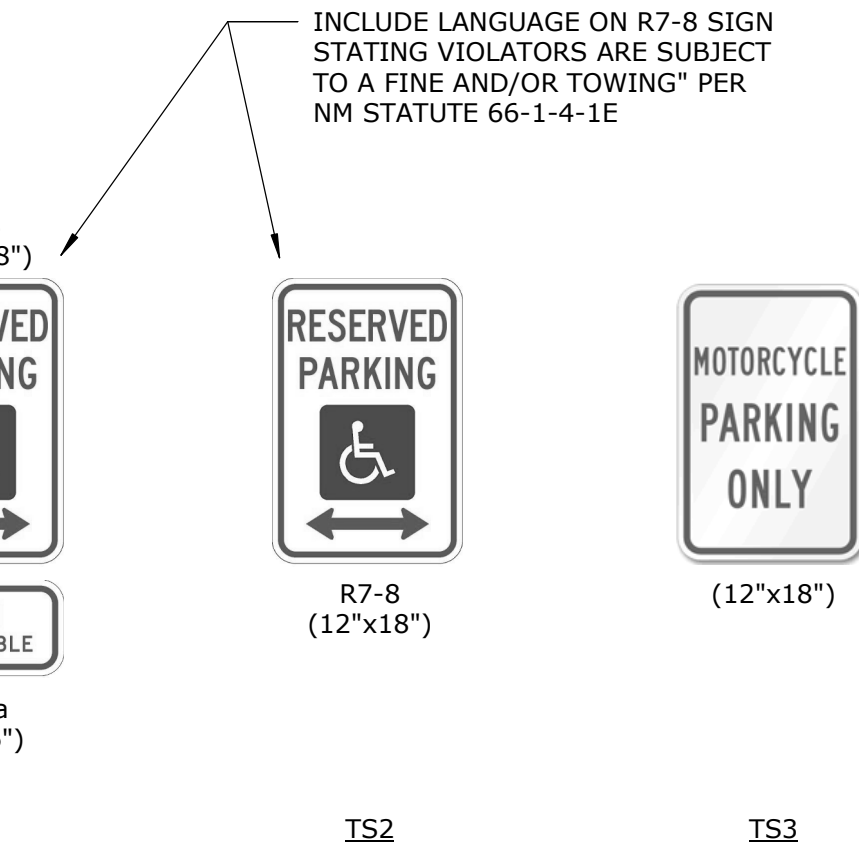
ELEVATION

C4 BIKE RACK
1/2" = 1'-0"



A4 CONCRETE WALK
1" = 1'-0"

C4



A5 TRAFFIC SIGNAGE
1" = 1'-0"

- NOTES:
- SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN.