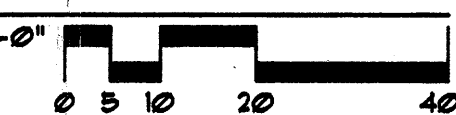


ENLARGED SITE PLAN

SCALE: 1" = 20'-0"



TRAFFIC CIRCULATION LAYOUT
APPROVED
11/22/06
Signed _____ Date _____

KEYED NOTES

- EXISTING ASPHALT CONC. PAVING TO REMAIN
- REPAINT EXISTING PAVEMENT MARKINGS
- NEW PAVEMENT MARKINGS
- NEW 4" PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41.
- EXISTING PORTLAND CEMENT CONCRETE PAVING W/ 3 FT. X 5 FT. JOINT LAYOUT PATTERN SPACING
- ADDITIONAL PORTLAND CEMENT CONC. PAVING AT ALBUQUERQUE STANDARD DETAILS (SEE CIVIL FOR DRAWING NUMBERS)
- REPAINT UNBELCHER SYMBOL. SEE DETAIL SHEET C41.
- NEW MEDIAN CONC. CURBS 4" GUTTER. SEE DETAIL SHEET C41.
- NEW STANDARD CONC. CURBS AND GUTTER. SEE DETAIL SHEET C41.
- NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING AT HATCHED AREA. SEE C41.
- STEEL PIPE BOLLARDS AT 4'-0" O.C. PAINT SEE DETAIL SHEET C41.
- ASPHALT PAVING FLUSH WITH CONCRETE PAVING
- REPAINT EXISTING AISLE AND ACCESSIBLE ROUTE W/ BLUE STRIPES AS SHOWN
- CONTRACTOR STAGING AREA. SEE DETAIL SHEET C41.
- EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
- EXISTING CURB RAMP TO REMAIN
- EXISTING CROSSWALK W/ REFLECTIVE WHITE TRAFFIC PAINT
- REFLECTIVE DIRECTIONAL TRAFFIC ARROWS. SEE DETAIL SHEET C41.
- EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
- STEEL PIPE FENCE. SEE DETAIL SHEET C41.
- EXISTING TRAILERS TO REMAIN IN THIS AREA. PROTECT PLANTS
- EXISTING IRRIGATION SYSTEM OPERATIONAL DURING CONSTRUCTION
- SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
- CONCRETE BENCH. SEE DETAIL T/C41.
- NOT USED
- LIMIT OF NEW ASPHALT PAVING
- EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
- EXISTING BREED HUMP TO REMAIN
- EXISTING PARENT DROP-OFF LANE
- EXISTING RELOCATED GROUND MOUNTED FLAG POLE. SEE DETAIL SHEET C41.
- UNPAVED AREA TO REMAIN
- EXISTING BUS DROP-OFF LANE
- SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41.
- SWINGING STEEL PIPE GATE. SEE DETAIL SHEET C41.
- EXISTING CONCRETE WALK TO REMAIN
- 5'-0" X 5'-0" CONCRETE PAVING. CONTRACTOR'S OPTION TO SALVAGE EXISTING PATIO FOR PAVING.
- EXISTING BOLLARDS TO REMAIN
- NEW PARKING ISLAND. SEE DETAIL SHEET C41.
- EXISTING CHAIN LINK GATE TO REMAIN
- EXISTING CONCRETE VALLEY GUTTER
- PEDESTRIAN CROSSING SIGNAGE. EXISTING
- NO PARKING ANYTIME. EXISTING SIGNAGE
- TRUCKS ONLY. EXISTING SIGNAGE
- "PARKING" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
- "ONE WAY" EXISTING SIGNAGE. RELOCATED
- "DO NOT ENTER" EXISTING SIGNAGE. RELOCATED
- NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41.
- NEW "STOP" SIGN. SEE DETAIL SHEET C41.
- HANDICAP PARKING EXISTING SIGNAGE TO REMAIN
- "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
- "SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
- "APD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
- CONTRACTOR'S CONSTRUCTION TRAILER
- NEW NO RIGHT TURN SIGN
- EROSION CONTROL FOR ROOF OF DRAIN. SEE CIVIL
- EXISTING CONCRETE CURBS 4" GUTTER TO REMAIN
- SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
- TRASH RECEPTACLE. EXISTING RELOCATED
- EXISTING BACKFLOW PREVENTER
- PAINT CURB FACE AND TOP RED FOR FIRE LANE. STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10'-0" O.C. FROM RAISED CROSSWALK TO NATALIE AVENUE
- NEW CHAIN LINK FENCING TO MATCH EXISTING
- NEW RECYCLED PLASTIC DECKING, "TREX" OR EQUAL
- PROPERTY LINE
- NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE DETAIL SHEET C41.
- DOUBLE YELLOW TRAFFIC STRIPE
- REFER TO FLOOR PLAN FOR SITEWORK ADJACENT TO BUILDING
- NEW SIGNAGE "CLEVELAND MID-SCHOOL" TO MATCH SIGNAGE ON MINI-GYM IN FONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH

COA DTL 2430

COA DTL 2426

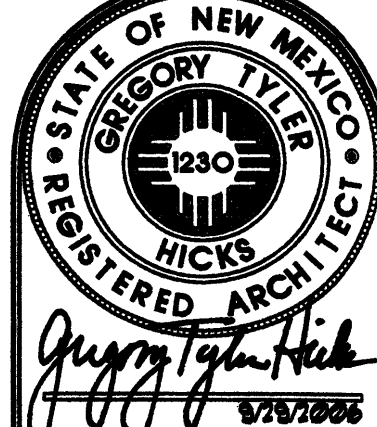
COA DTL 2415

MSH 11-17-06

TRAFFIC CIRCULATION LAYOUT
APPROVED
11/22/06
Signed _____ Date _____

GENERAL NOTES

- COORDINATE WORK WITH SITE LANDSCAPE, GRADING & DRAINAGE AND UTILITIES PLANS AND LANDSCAPE CONTRACTOR. THESE DRAWINGS HAVE BEEN PREPARED WITH THE AID OF PHOTOGRAPHS, FIELD MEASUREMENTS AND OTHER POTENTIALLY INEXACT METHODS. EXISTING CONDITIONS AND LOCATIONS OF IMPROVEMENTS ON THIS SITE PLAN ARE APPROXIMATE. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- THE OWNER MAINTAINS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT INDICATED FOR REUSE. THE CONTRACTOR SHALL DELIVER SUCH ITEMS AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE OWNER'S STORAGE FACILITY. ITEMS THAT ARE NOT REQUESTED FOR SALVAGE TO THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.
- MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASSES, CROSSES-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
- UTILITY LINES, PIPELINES AND UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE IN LOCATION ONLY. LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNER, FIELD OBSERVATIONS OR FROM EXISTING DRAWINGS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE LOCATIONS OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND INSTALLATION IN OR NEAR THE WORK AREA PRIOR TO AND DURING EXCAVATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES CAUSED BY ITS FAILURE TO IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES -- AT NO COST TO THE OWNER.
- CURB DIMENSIONS AND RADII SHOWN ARE TO THE BACK OF CURBS UNLESS NOTED OTHERWISE. TYPICAL CURB RADIUS IS 4'-6" MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE.
- INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.



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CLEVELAND MIDSCHOOL

ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS

6910 Natalie Avenue NE

Albuquerque, New Mexico 87110

C3.2

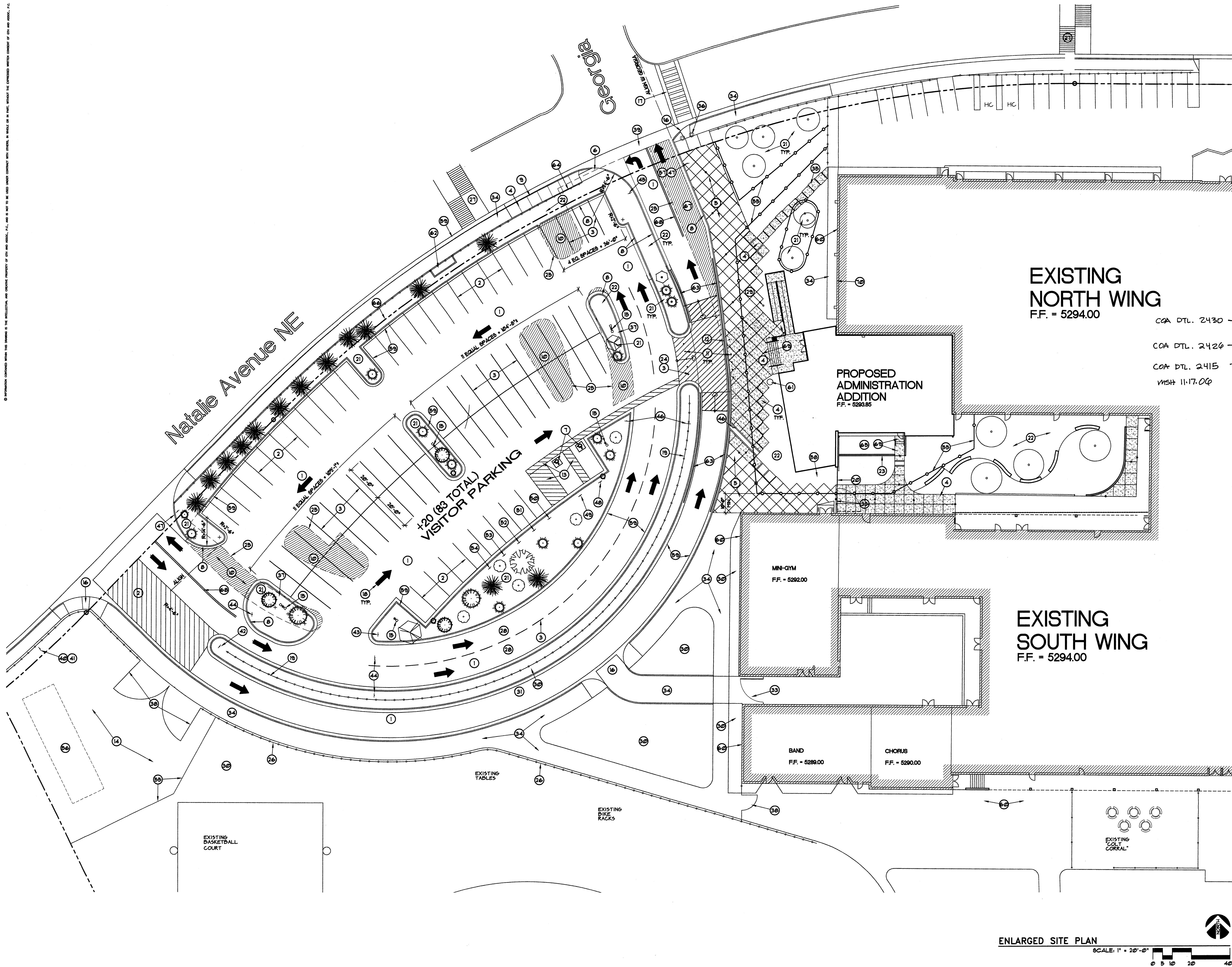
SHEET TITLE:
ENLARGED
SITE PLAN

RECEIVED

AUG 03 2007

HYDROLOGY SECTION

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EXISTING
NORTH WING
F.F. = 5294.00

COA DTL. 2430

COA DTL. 2426

COA DTL. 2415

MSH 11-17-06

PROPOSED
ADMINISTRATION
ADDITION
F.F. = 5293.85

EXISTING
SOUTH WING
F.F. = 5294.00

MINI-GYM
F.F. = 5292.00

BAND
F.F. = 5289.00

CHORUS
F.F. = 5290.00

GENERAL NOTES

- COORDINATE WORK WITH SITE LANDSCAPE, GRADING & DRAINAGE AND UTILITIES PLANS AND LANDSCAPE CONTRACTOR.
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- THE OWNER MAINTAINS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT INDICATED FOR REMOVAL. THE CONTRACTOR SHALL DELIVER SUCH ITEMS AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE OWNER'S STORAGE FACILITY. ITEMS THAT ARE NOT REQUESTED FOR SALVAGE TO THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.
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- CURB DIMENSIONS AND RADIUS SHOWN ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE. TYPICAL CURB RADIUS 18" 4'-6". MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE.
- INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.

KEYED NOTES

- EXISTING ASPHALT CONC. PAVING TO REMAIN
- REPAINT EXISTING PAVEMENT MARKINGS
- NEW PAVEMENT MARKINGS
- NEW 4" TH. PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41
- EXISTING PORTLAND CEMENT CONC. PAVING W/ 5 FT. X 9 FT. JOINT LAYOUT PATTERN SPACING
- HANDICAP RAMPS PER CITY OF ALBUQUERQUE STANDARD DETAILS (SEE CIVIL DRAWING NUMBERS)
- REPAINT WHEELCHAIR SYMBOL. SEE DETAIL SHEET C41
- NEW MEDIAN CONC. CURB & GUTTER. SEE DETAIL 4/C41
- NEW STANDARD CONC. CURB & GUTTER. SEE DETAIL 5/C41
- NEW STANDARD-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE C41
- STEEL PIPE BOLLARDS AT 4'-0" O.C. PAINT
- SEE DETAIL SHEET C41
- ASPHALT PAVING FLUSH WITH CONCRETE PAVING
- REPAINT EXISTING AISLE AND ACCESSIBLE ROUTE W/ BLUE STRIPES AS SHOWN
- CONTRACTOR STAGING AREA
- EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
- EXISTING CURB RAMP TO REMAIN
- EXISTING CROSSWALK W/ REFLECTIVE WHITE TRAFFIC PAINT
- REFLECTIVE DIRECTIONAL TRAFFIC ARROW. SEE DETAIL SHEET C41
- EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
- STEEL PIPE FENCE. SEE SHEET C41
- EXISTING TREES/SHRUBS TO REMAIN THIS AREA. PROTECT PLANTS
- MAINTAIN OPERATIONAL SYSTEMS DURING CONSTRUCTION
- SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
- CONCRETE BENCH. SEE DETAIL 1/C41
- NOT USED
- LIMIT OF NEW ASPHALT PAVING
- EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
- EXISTING SPEED HUMP TO REMAIN
- EXISTING PARENT DROP-OFF LANE
- EXISTING RELOCATED GROUND MOUNTED FLAG POLE. SEE DETAIL SHEET C41
- UNPAVED AREA TO REMAIN
- EXISTING BUS DROP-OFF LANE
- SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41
- SLIDING STEEL PIPE GATE. SEE DETAIL SHEET C41
- EXISTING CONCRETE WALK TO REMAIN
- 5'-0" X 5'-0" CONCRETE PAVING. CONTRACTOR'S OPTION TO SALVAGE EXISTING PAVING FOR PAVING
- EXISTING BOLLARDS TO REMAIN
- NEW PARKING ISLAND. SEE DETAIL SHEET C41
- EXISTING CONCRETE VALLEY GUTTER
- PEDESTRIAN CROSSING SIGNAGE. EXISTING
- NO PARKING ANYTIME. EXISTING SIGNAGE
- "BUSSES ONLY. EXISTING SIGNAGE
- "PARKING" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
- "ONE WAY" EXISTING SIGNAGE. RELOCATED
- "DO NOT ENTER" EXISTING SIGNAGE. RELOCATED
- NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41
- NEW "STOP" SIGN. SEE DETAIL SHEET C41
- HANDICAP PARKING EXISTING SIGNAGE TO REMAIN
- "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
- "SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
- "APD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
- CONTRACTOR'S CONSTRUCTION TRAILER
- NEW "NO RIGHT TURN" SIGN
- EROSION CONTROL FOR ROOF DRAIN. SEE CIVIL
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
- TRASH RECEPTACLE. EXISTING RELOCATED
- EXISTING BACKFLOW PREVENTER
- PAINT CURB FACE AND TOP RED FOR FIRE LANE
- STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10'-0" O.C. FROM RAISED CROSSWALK TO NATALIE AVENUE
- NEW CHAIN LINK FENCING TO MATCH EXISTING
- NEW RECYCLED PLASTIC DECKING, "TREX" OR EQUAL
- PROPERTY LINE
- NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE DETAIL SHEET C41
- DOUBLE YELLOW TRAFFIC STRIPE
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- NEW SIGNAGE "CLEVELAND MID-SCHOOL" TO MATCH SIGNAGE ON MINI-GYM IN FRONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH

TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature] 11/22/06
Signed Date

ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

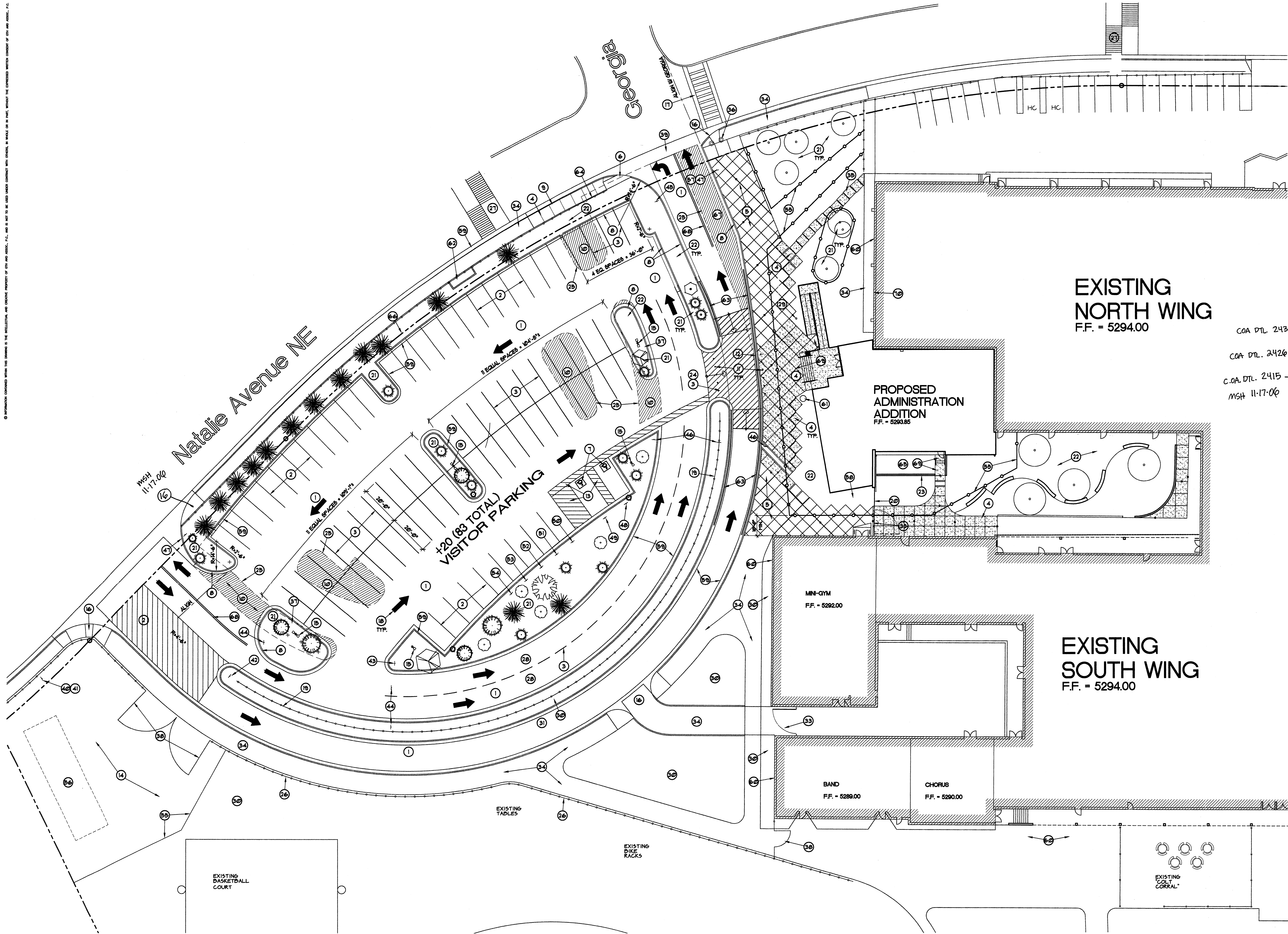
NOV 22 2006
HYDROLOGY SECTION

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CLEVELAND MIDSCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
ENLARGED
SITE PLAN

C3.2



EXISTING
NORTH WING
F.F. = 5294.00

PROPOSED
ADMINISTRATION
ADDITION
F.F. = 5293.85

EXISTING
SOUTH WING
F.F. = 5294.00

GENERAL NOTES

- A. COORDINATE WORK WITH SITE LANDSCAPE, GRADING & DRAINAGE AND UTILITIES PLANS AND LANDSCAPE CONTRACTOR.
- B. THESE DRAWINGS HAVE BEEN PREPARED WITH THE AID OF PHOTOGRAPHS, FIELD MEASUREMENTS AND OTHER POTENTIALLY INEXACT METHODS. EXISTING CONDITIONS AND LOCATIONS OF IMPROVEMENTS ON THIS SITE PLAN ARE APPROXIMATE. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
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- D. MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
- E. UTILITY LINES, PIPELINES AND UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE IN LOCATION ONLY. LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS. FIELD OBSERVATIONS OR FROM EXISTING DRAWINGS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE LOCATIONS OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND INSTALLATION IN OR NEAR THE WORK AREA PRIOR TO AND DURING EXCAVATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES CAUSED BY ITS FAILURE TO IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES - AT NO COST TO THE OWNER.
- F. CURB DIMENSIONS AND RADII SHOWN ARE TO THE BACK OF CURBS UNLESS NOTED OTHERWISE. TRY TO MATCH EXISTING. MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE. INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.
- G. INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.

KEYED NOTES

1. EXISTING ASPHALT CONC. PAVING TO REMAIN
2. REPAINT EXISTING PAVEMENT MARKINGS
3. NEW PAVEMENT MARKINGS
4. NEW 4" PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41
5. EXISTING PORTLAND CEMENT CONC. PAVING W/ 5 FT. X 5 FT. JOINT LAYOUT PATTERN AS SHOWN
6. HANDICAP RAMPING PER CITY OF ALBUQUERQUE STANDARD DETAILS (SEE CIVIL FOR DRAWING NUMBERS)
7. REPAINT WHEELCHAIR SYMBOLS. SEE DETAIL SHEET C41
8. NEW MEDIAN CONC. CURBS & GUTTER. SEE DETAIL 4/C41
9. NEW STANDARD CONC. CURBS AND GUTTER. SEE DETAIL 5/C41
10. NEW STANDARD DUTY ASPHALTIC CONCRETE PAVING AT HATCHED AREA. SEE C41
11. STEEL PIPE BOLLARDS AT 4'-0" O.C. PAINT
12. SEE SITE DETAIL SHEET C41
13. ASPHALT PAVING FLUSH WITH CONCRETE PAVING
14. REPAINT EXISTING AISLE AND ACCESSIBLE ROUTE
15. W/ BLUE STRIPES AS SHOWN
16. CONTRACTOR STAGING AREA
17. EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
18. EXISTING CURBS TO REMAIN
19. EXISTING CROSSLINK W/ REFLECTIVE WHITE TRAFFIC PAINT
20. REFLECTIVE DIRECTIONAL TRAFFIC ARROWS. SEE DETAIL SHEET C41
21. EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
22. STEEL PIPE FENCE. SEE SHEET C41
23. EXISTING TREES/ SHRUBS TO REMAIN IN THIS AREA. PROTECT PLANTS & MAINTAIN IRRIGATION SYSTEM OPERATIONAL DURING CONSTRUCTION
24. SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
25. CONCRETE BENCH. SEE DETAIL 1/C41
26. NOT USED
27. LIMIT OF NEW ASPHALT PAVING
28. EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
29. EXISTING SPEED HUMP TO REMAIN
30. EXISTING PARENT DROP-OFF LANE
31. EXISTING RELOCATED GROUND MOUNTED FLAG POLE, SEE DETAIL SHEET C41
32. UNPAVED AREA TO REMAIN
33. EXISTING BUS DRIVING OFF
34. SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41
35. GUINING STEEL PIPE GATE. SEE DETAIL SHEET C41
36. EXISTING CONCRETE VALLEY GUTTER
37. 5'-0" X 5'-0" CONCRETE PAVERS. CONTRACTOR'S OPTION TO SALVAGE EXISTING PAVERS FOR PAVERS.
38. EXISTING BOLLARDS TO REMAIN
39. NEW PARKING ISLAND. SEE DETAIL SHEET C41
40. EXISTING CHAIN LINK GATE TO REMAIN
41. EXISTING CONCRETE VALLEY GUTTER
42. PEDESTRIAN CROSSING SIGNAGE EXISTING
43. "NO PARKING ANYTIME" EXISTING SIGNAGE
44. "BUSES ONLY" EXISTING SIGNAGE
45. "PARKING" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
46. "ONE WAY" EXISTING SIGNAGE, RELOCATED
47. "DO NOT ENTER" EXISTING SIGNAGE, RELOCATED
48. NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41
49. NEW STOP SIGN. SEE DETAIL SHEET C41
50. HANDICAP PARKING EXISTING SIGNAGE TO REMAIN
51. "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
52. "SECRETARY" EXISTING SIGNAGE TO REMAIN
53. "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
54. "ASSISTANT SECRETARY" EXISTING SIGNAGE TO REMAIN
55. "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
56. "ADD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
57. TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
58. CONTRACTOR'S CONSTRUCTION TRAILER
59. NEW "NO RIGHT TURN" SIGN
60. EROSION CONTROL FOR ROOF DRAIN. SEE CIVIL
61. EXISTING CONCRETE CURBS & GUTTER TO REMAIN
62. SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
63. TRASH RECEPTACLE EXISTING RELOCATED
64. EXISTING BACKSLOPE FIRE LATER
65. PAINT CURB FACE AND TOP RED FOR FIRE LANE
66. STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10'-0" O.C. FROM RAISED CROSSLINK TO NATALIE AVENUE
67. NEW CHAIN LINK FENCING TO MATCH EXISTING
68. NEW RECYCLED PLASTIC DECKING, "TREX" OR EQUAL
69. PROPERTY LINE
70. NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE SITE DETAILS
71. ACQUIRE YELLOW TRAFFIC STRIPE
72. REFER TO FLOOR PLAN FOR SITEWORK ADJACENT TO BUILDING
73. NEW SIGNAGE "CIVIL AND MATCHING" TO MATCH SIGNAGE ON MINI-GYM IN FRONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH

TRAFFIC CIRCULATION LAYOUT
APPROVED

11/22/06
Signed Date

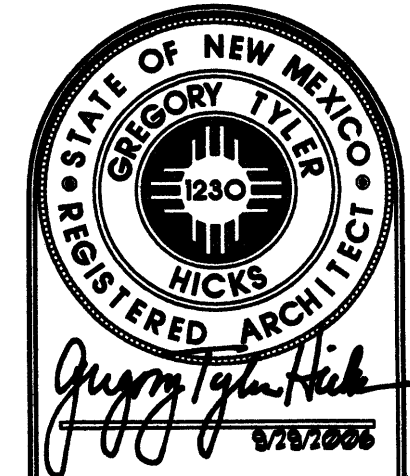
ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

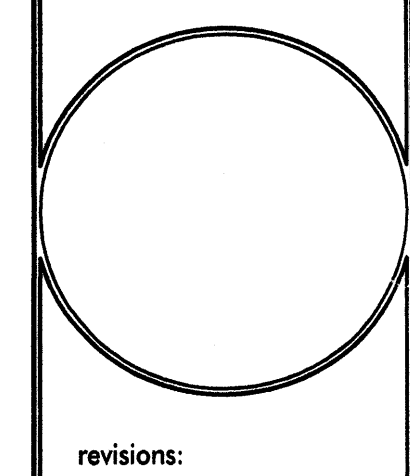
ARCHITECT'S NOTES

NO OUTSTANDING ITEMS

STATE OF NEW MEXICO
JAY GILBERT
DAVIS
NO. 1338
5/24/07



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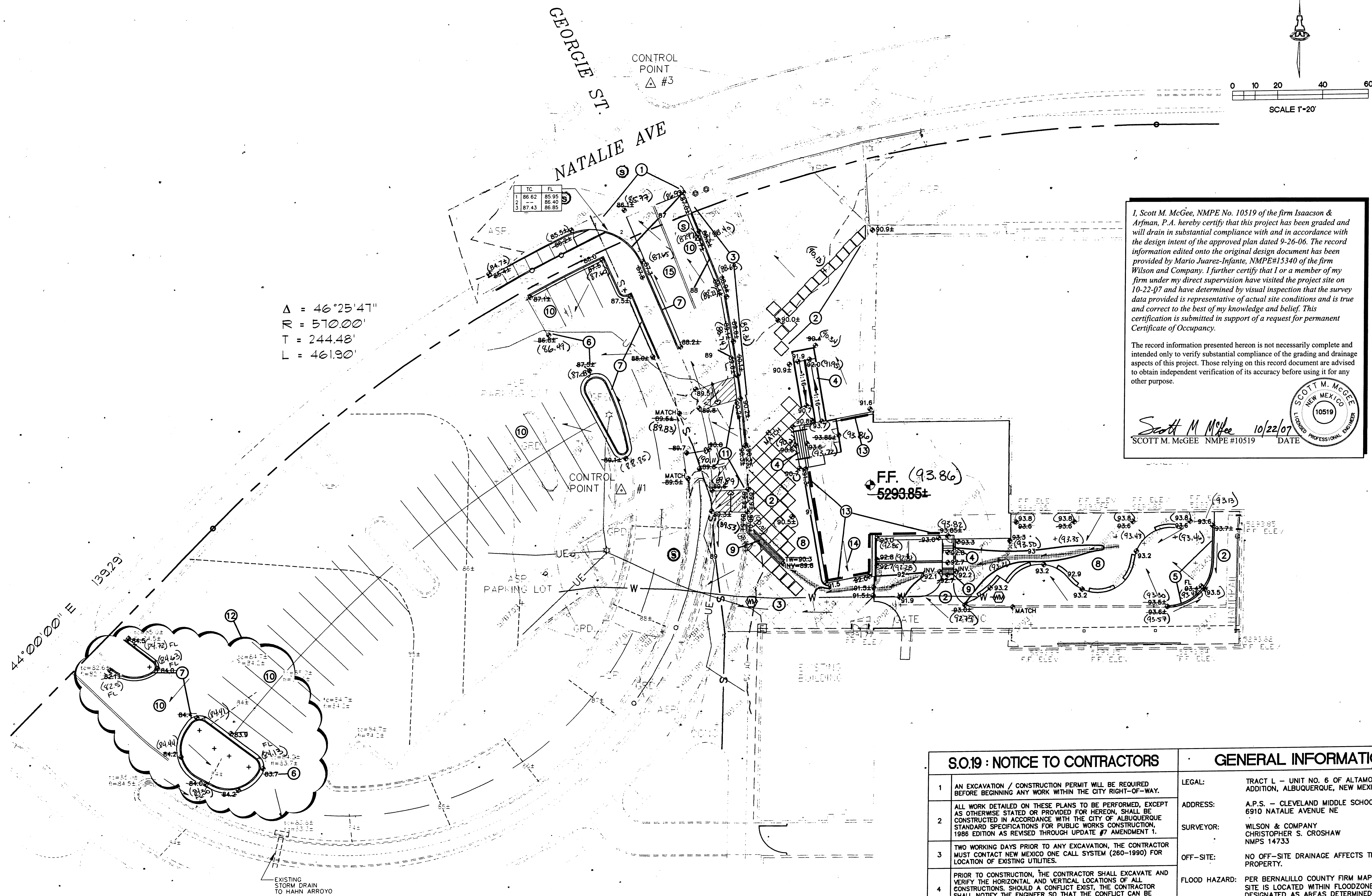
revisions:
proj. no.: 0514
coord file: 0514C32
date: 9/29/06

CLEVELAND MIDDLE SCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
ENLARGED
SITE PLAN

C3.2

DATE: 10/22/07
PROJECT: CLEVELAND MID-SCHOOL ADMINISTRATION ADDITION
SHEET: 10/22/07
SCALE: 1" = 20'

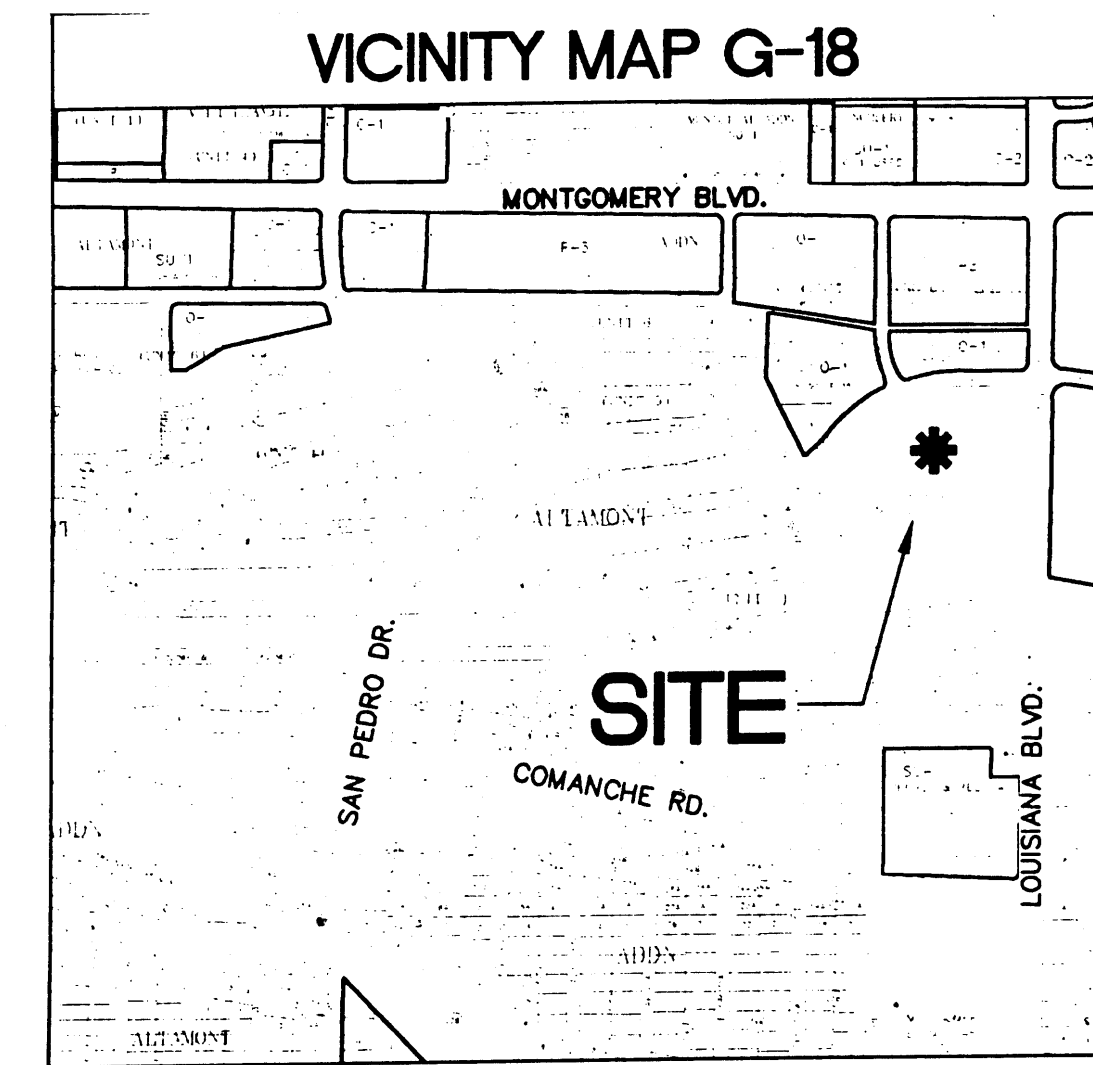
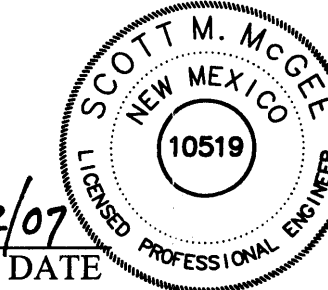


$\Delta = 46^{\circ}25'47''$
 $R = 570.00'$
 $T = 244.48'$
 $L = 461.90'$

I, Scott M. McGee, NMPE No. 10519 of the firm Isaacson & Arfman, P.A. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9-26-06. The record information edited onto the original design document has been provided by Mario Juarez-Infante, NMPEH15340 of the firm Wilson and Company. I further certify that I or a member of my firm under my direct supervision have visited the project site on 10-22-07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee 10/22/07
SCOTT M. MCGEE NMPE #10519 DATE

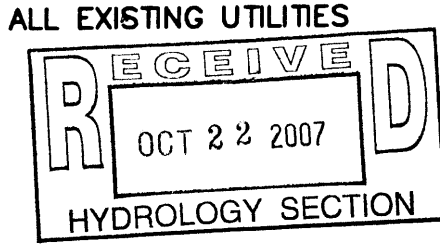


KEYED NOTES

- SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING SITE ENTRANCE. CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH STANDARD CURB AND GUTTER (WITHIN R.O.W.). CONCRETE VALLEY GUTTER (EXISTING MAY BE REUSED IF POSSIBLE) AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWGS. 2415, 2426 AND 2441 (SIM.). SAWCUT EXISTING AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PAVING OVER COMPACTED SUBGRADE. SEE ARCHITECTURAL SITE DETAILS. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- EXISTING CONCRETE PAVING TO REMAIN THIS AREA. CONSTRUCT MEDIAN CURB AND GUTTER ALONG WEST EDGE OF SAWCUT WALK. TOP OF EXISTING WALK = TOP OF NEW CURB.
- CONSTRUCT CONCRETE RAMP (SLOPE = 1:16) AND/OR STEPS TO ACCESS NEW BUILDING ENTRANCE. SEE ARCHITECTURAL FOR DETAILS.
- NEW WALL / SEAT AREA. GRADE TO DRAIN AT ELEVATIONS SHOWN. PROVIDE MIN. 6" WIDE X 6" HIGH OPENING AT LOW POINT TO PASS FLOW TO LANDSCAPED AREA.
- ALL PROPOSED SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR TOP OF NEW CURB / TOP OF NEW WALK ELEVATIONS UNLESS NOTED.
- CONSTRUCT CONCRETE MEDIAN CURB & GUTTER FOR ALL NEW ON-SITE CURB. SEE ARCHITECTURAL SITE DETAILS. NOTE: PROVIDE ON-SITE TRANSITION BETWEEN 6" HIGH MEDIAN CURB AND 8" HIGH STANDARD CURB AND GUTTER WITHIN R.O.W.
- INNER COURTYARD CURRENTLY ACCEPTS ROOF DRAINAGE FROM SURROUNDING BUILDINGS. UTILIZES FOR WATER HARVESTING FOR EXISTING LANDSCAPING AND RELEASES EXCESS TO WEST PAVEMENT. NEW LANDSCAPING THIS AREA TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING. FINE GRADE A SHALLOW SWALE WITH PERMANENT EROSION CONTROL (SEE LANDSCAPE PLAN) INTEGRATED WITH COURTYARD LANDSCAPING TO DIRECT DRAINAGE WEST TO PROPOSED SIDEWALK CULVERT(S). PROVIDE PRECAST CONCRETE SPASHBLOCKS AT ALL ROOF DRAINS. FIELD ADJUST TO MISS EXISTING SITE FEATURES.
- CONSTRUCT 2' WIDE (BOTTOM WIDTH) X LENGTH REQ'D "U" SHAPED CONCRETE CHANNEL. SEE STEEL PLATE TOP TO PASS FLOW. SEE DETAIL THIS SHEET.
- SEE DEMOLITION PLAN FOR DEMOLITION THIS AREA. PATCH ASPHALT THIS AREA. ENSURE SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- INSTALL NEW ASPHALT PAVING FLUSH WITH TOP OF WALK THIS AREA.
- NO AS-BUILT TOPOGRAPHY DATA PROVIDED FOR THIS AREA. (SPOTS AND CONTOURS SHOWN ARE ORIGINAL DESIGN GRADES). SEE GENERAL NOTES "B" AND "C".
- CONSTRUCT BUILDING EXTENDED / RETAINING STEK WALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN.
- PROPOSED ROOF DISCHARGE LOCATION. PROVIDE PRECAST CONCRETE SPASHBLOCKS AT ALL ROOF DRAIN OUTLETS AND PERMANENT EROSION CONTROL (SEE LANDSCAPE PLAN) ALONG SWALE FLOWLINE TO PROPOSED SIDEWALK CULVERT.
- EXISTING ASPHALT TO REMAIN. SAWCUT TO PROVIDE SMOOTH BONDING EDGE AND RIDING TRANSITION WITH NEW ASPHALT. SEE ARCHITECTURAL FOR EXTENTS OF NEW PAVING.

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- AT ALL TRANSITIONS BETWEEN EXISTING AND PROPOSED, MATCH EXISTING TOP OF ASPHALT / CONCRETE CURB / CONCRETE WALK FOR SMOOTH TRANSITION. ALL SITE IMPROVEMENTS WITH ELEVATIONS SHOWN AS "±" SHALL BE FIELD ADJUSTED FOR SMOOTH TRANSITION TO EXISTING. MAINTAIN POSITIVE DRAINAGE - NO BIRDBATHS.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.



LEGEND

- | | |
|-----------|-------------------------|
| + 5288.99 | EXISTING SPOT ELEVATION |
| - 5287 | EXISTING CONTOUR |
| ± 88.5 | PROPOSED SPOT ELEVATION |
| - 92 | PROPOSED CONTOUR |
| FF | FINISHED FLOOR |
| FL | FLOWLINE |
| SW | SIDEWALK |
| → | FLOW ARROW |
| (24.21) | AS-BUILT INFORMATION |

S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME _____ DATE _____
INSPECTOR _____

GENERAL INFORMATION

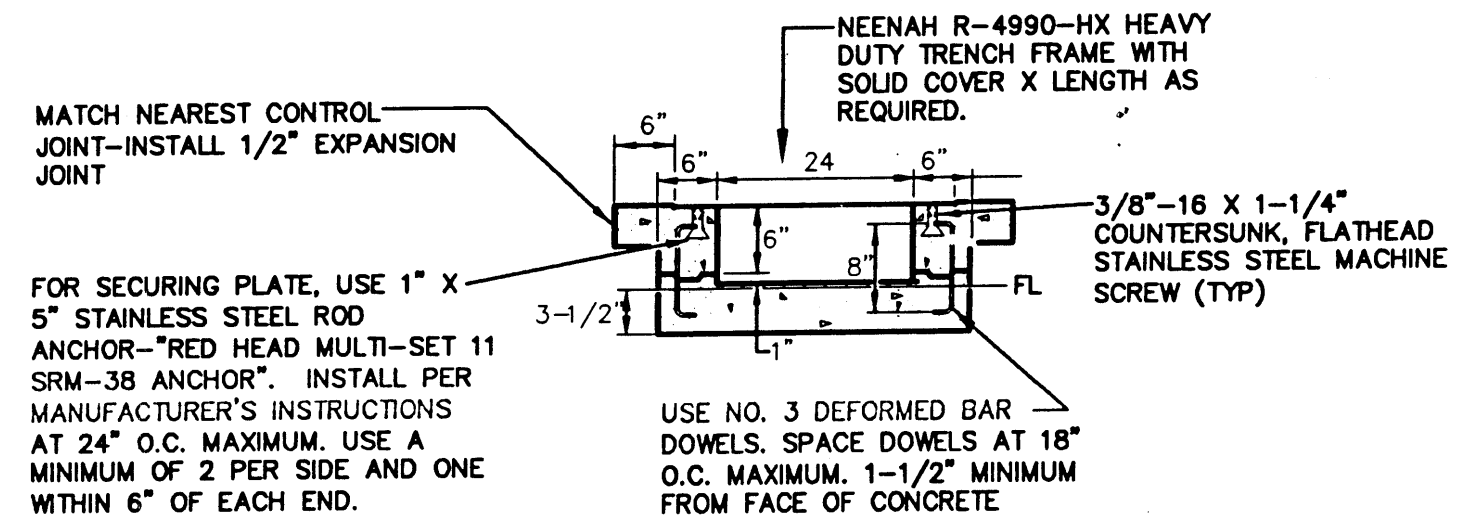
LEGAL: TRACT L - UNIT NO. 6 OF ALTAMONT ADDITION, ALBUQUERQUE, NEW MEXICO
ADDRESS: A.P.S. - CLEVELAND MIDDLE SCHOOL 6910 NATALIE AVENUE NE
SURVEYOR: WILSON & COMPANY CHRISTOPHER S. CROSHAW NMFS 14733
OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.
FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #139, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.
EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

PROJECT SCOPE

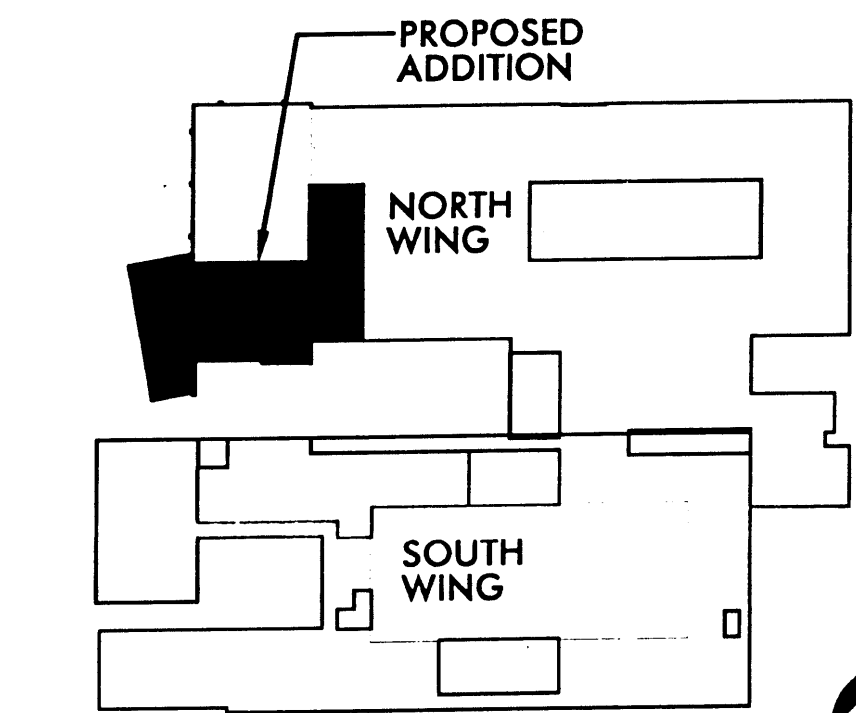
THE PROPOSED IMPROVEMENTS INCLUDE A NEW SCHOOL ADDITION WITH ASSOCIATED ASPHALT PARKING RECONFIGURATION AND LANDSCAPING.
THE SITE IS A LOT LOCATED WITHIN C.O.A. VICINITY MAP G-18. THE SITE IS BOUND TO THE EAST BY LOUISIANA BLVD., NE, TO THE NORTH BY NATALIE AVE., TO THE WEST BY DEVELOPED RESIDENTIAL AND TO THE SOUTH BY THE HAHN ARROYO.
THE INTENT OF THIS PLAN IS TO SHOW:
• GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
• THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
• THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
• THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.
DRAINAGE PLAN CONCEPT:
THE PROPOSED DEVELOPMENT WILL REPLACE PAVEMENT WITH BUILDING. NO INCREASE IN THE TOTAL DEVELOPED DISCHARGE VOLUME WILL OCCUR. ALL DISCHARGE WILL CONTINUE TO FOLLOW HISTORIC FLOWPATHS.

SURVEY GENERAL NOTES

- SURVEY GENERAL NOTES:
- FIELD SURVEY PERFORMED ON DECEMBER 2005.
 - THIS TOPOGRAPHIC SURVEY IS NOT INTENDED TO BE A BOUNDARY SURVEY.
 - BENCHMARK USED IS AN ACS 1-3/4" ALUMINUM DISK STAMPED "ACS BM 13-019", EPOXYED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, ESE QUADRANT OF MONTGOMERY BLVD. & LOUISIANA BLVD. NE, ON NORTHEASTERLY CORNER OF SAID CONCRETE BASE. ELEVATION: 5309.844' (NGVD29)
 - COORDINATES ARE GROUND PROJECT COORDINATES BASED ON NAD 27 (HORIZONTAL) AND NGVD 29 (VERTICAL).

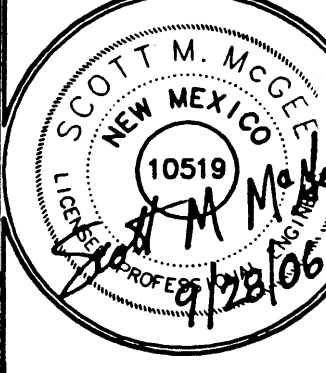


SIDEWALK CULVERT



KEY PLAN

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Albuquerque, New Mexico 87102
(505) 243-7972 fax (505) 243-1106
e-mail: gthicks@hicks.com
SINCE 1980



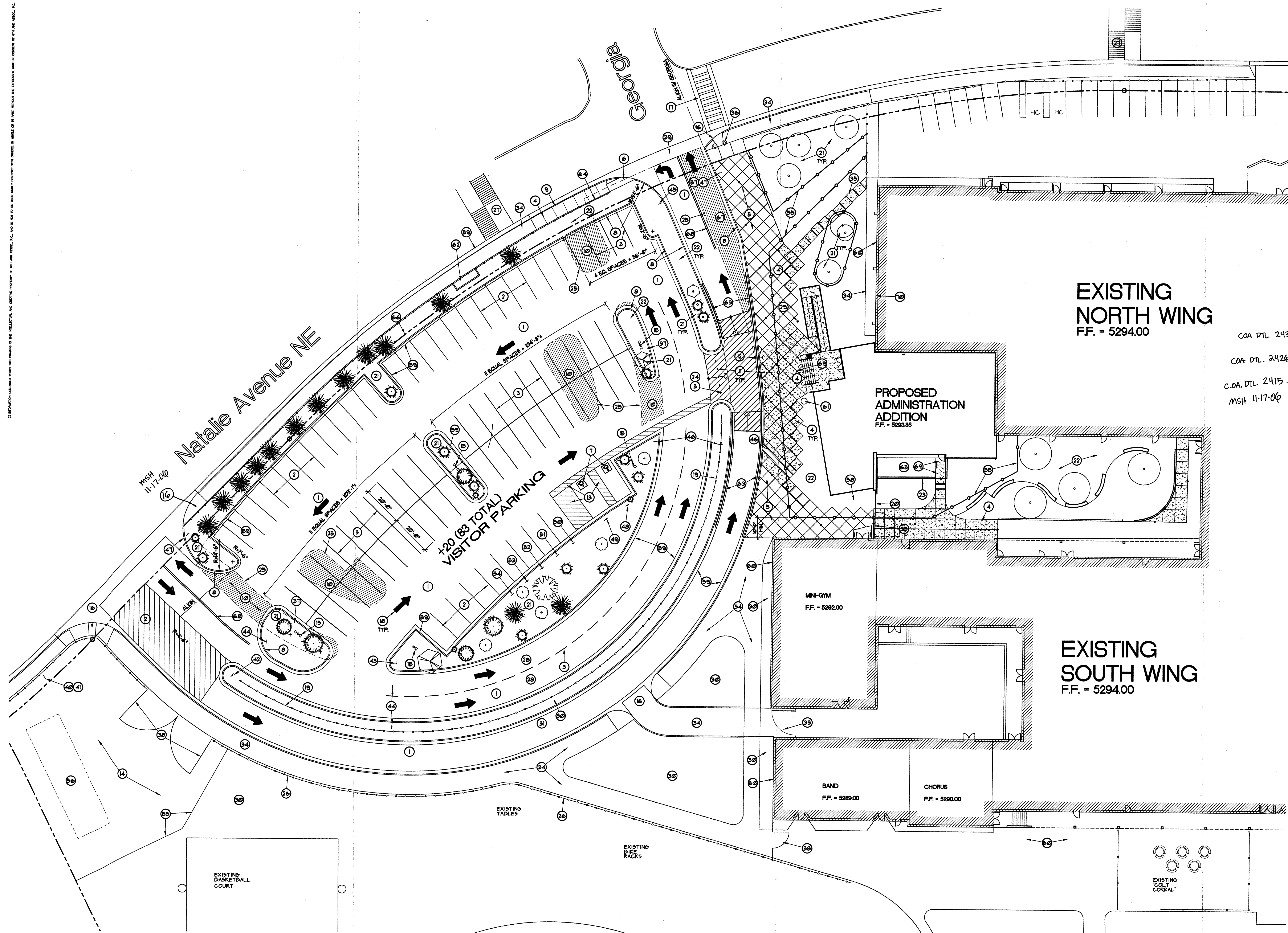
revisions:
proj. no.: 0514
ocad file: 0514C32
date: 09/29/06

CLEVELAND MID-SCHOOL
ADMINISTRATION ADDITION
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
GRADING AND
DRAINAGE PLAN

C1.1

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- GENERAL NOTES**
- COORDINATE WORK WITH SITE LANDSCAPE, GRADING & DRAINAGE AND UTILITIES PLANS AND LANDSCAPE CONTRACTOR. THESE DRAWINGS HAVE BEEN PREPARED WITH THE AID OF PHOTOGRAPHS, FIELD MEASUREMENTS AND OTHER POTENTIALLY INEXACT METHODS. EXISTING CONDITIONS AND LOCATIONS OF IMPROVEMENTS ON THIS SITE ARE APPROXIMATE. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
 - THE OWNER WANTS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT INDICATED FOR REUSE. THE CONTRACTOR SHALL DELIVER SUCH ITEMS AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE OWNER'S STORAGE FACILITY. ITEMS THAT ARE NOT REQUESTED FOR SALVAGE TO THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.
 - MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BY-PASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
 - UTILITY LINES, PIPELINES AND UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE IN LOCATION ONLY. LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNER, FIELD OBSERVATIONS OR FROM EXISTING DRAWINGS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE LOCATIONS OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND INSTALLATION IN OR NEAR THE WORK AREA PRIOR TO AND DURING EXCAVATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES CAUSED BY ITS FAILURE TO IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES - AT NO COST TO THE OWNER.
 - CURB DIMENSIONS AND RADII SHOWN ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE. TYPICAL CURB RADIUS IS 4'-0". MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE.
 - INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.

- KEYED NOTES**
- EXISTING ASPHALT CONC. PAVING TO REMAIN
 - REPAINT EXISTING PAVEMENT MARKINGS
 - NEW PAVEMENT MARKINGS
 - NEW 4" THICK PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41
 - EXISTING PORTLAND CEMENT CONC. PAVING W/ 5 FT. X 5 FT. JOINT LAYOUT PATTERN SPACING
 - HANDICAP RAMPS PER CITY OF ALBUQUERQUE STANDARD DETAILS (SEE CIVIL FOR DRAWING NUMBERS)
 - REPAIR UNWEAR SURF WITH CONC. BASE TO REMAIN
 - NEW MEDIAN CONC. CURBS & GUTTER. SEE DETAIL 4/C41
 - NEW STANDARD CONC. CURBS AND GUTTER. SEE DETAIL 5/C41
 - NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING AT HATCHED AREA. SEE C41
 - STEEL PIPE BOLLARDS AT 4'-0" O.C. PAINT
 - SEE DETAIL SHEET C41
 - ASPHALT PAVING FLUSH WITH CONC. BASE TO REMAIN
 - REPAINT EXISTING ASBLE AND ACCESSIBLE ROUTE W/ BLUE STRIPES
 - CONTRACTOR STAGING AREA
 - EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
 - EXISTING CURB TO REMAIN
 - EXISTING CROSSWALK W/ REFLECTIVE WHITE TRAFFIC PAINT
 - REFLECTIVE DIRECTIONAL TRAFFIC ARROW. SEE DETAIL SHEET C41
 - EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
 - STEEL PIPE FENCE. SEE SHEET C41
 - EXISTING TREES TO REMAIN IN THIS AREA. PROTECT PLANTS
 - MAINTAIN IRRIGATION SYSTEM OPERATIONAL DURING CONSTRUCTION
 - SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
 - CONCRETE BENCH. SEE DETAIL 1/C41
 - NOT USED
 - LIMIT OF NEW ASPHALT PAVING
 - EXISTING 8'-0" HIGH CHAIN LINK FENCE TO REMAIN
 - EXISTING SPEED HUMP TO REMAIN
 - EXISTING PARENT DROP-OFF LANE
 - EXISTING RELOCATED GROUND MOUNTED FLAG POLE. SEE DETAIL SHEET C41
 - UNPAVED AREA TO REMAIN
 - EXISTING BUS DROP-OFF LANE
 - SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41
 - SLIDING STEEL PIPE GATE. SEE DETAIL SHEET C41
 - EXISTING CONC. TO REMAIN
 - 8'-0" X 5'-0" CONCRETE PAVERS. CONTRACTOR'S OPTION TO SALVAGE EXISTING PAVERS FOR PAVERS.
 - EXISTING BOLLARDS TO REMAIN
 - NEW PARKING ISLAND. SEE DETAIL SHEET C41
 - EXISTING CHAIN LINK GATE TO REMAIN
 - EXISTING CONCRETE VALLEY GUTTER
 - PEDESTRIAN CROSSING SIGNAGE. EXISTING
 - "NO PARKING ANYTIME" EXISTING SIGNAGE
 - "BUSES ONLY" EXISTING SIGNAGE
 - "ARROWS" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
 - "ONE WAY" EXISTING SIGNAGE. RELOCATED
 - "DO NOT ENTER" EXISTING SIGNAGE. RELOCATED
 - NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41
 - NEW "STOP" SIGN. SEE DETAIL SHEET C41
 - HANDICAP PARKING SIGNAGE TO REMAIN
 - "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
 - "SECRETARY'S" EXISTING SIGNAGE TO REMAIN
 - "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
 - NEW "NO PARKING" SIGNAGE TO REMAIN
 - "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
 - "YARD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
 - TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
 - CONTRACTOR'S CONSTRUCTION TRAILER
 - NEW "NO RIGHT TURN" SIGN
 - EROSION CONTROL FOR ROOF DRAIN. SEE CIVIL
 - EXISTING CONCRETE CURBS & GUTTER TO REMAIN
 - SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
 - TRASH RECEPTACLE. EXISTING RELOCATED
 - EXISTING BACKFLOW PREVENTER
 - PAINT CURBS FACE AND TOP RED FOR FIRE LANE
 - STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 8'-0" O.C. FROM RAISED CROSSWALK TO NATALIE AVENUE
 - NEW CHAIN LINK FENCING TO MATCH EXISTING
 - NEW RECYCLED PLASTIC DECKING, "TREX" OR EQUAL
 - "PROPERTY" LINE
 - NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE SITE DETAILS
 - DOOR ERECTION TRAFFIC STRIPE
 - REFER TO FLOOR PLAN FOR SITEWORK ADJACENT TO BUILDING
 - NEW SIGNAGE (CLEVELAND MID-SCHOOL) TO MATCH SIGNAGE ON MINI-GYM IN FONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 11/25/06

ENLARGED SITE PLAN
SCALE: 1" = 20'-0"

ARCHITECT'S NOTES
NO OUTSTANDING ITEMS.

STATE OF NEW MEXICO
JAY GILBERT
DAVIS
NO. 1338
9/14/07

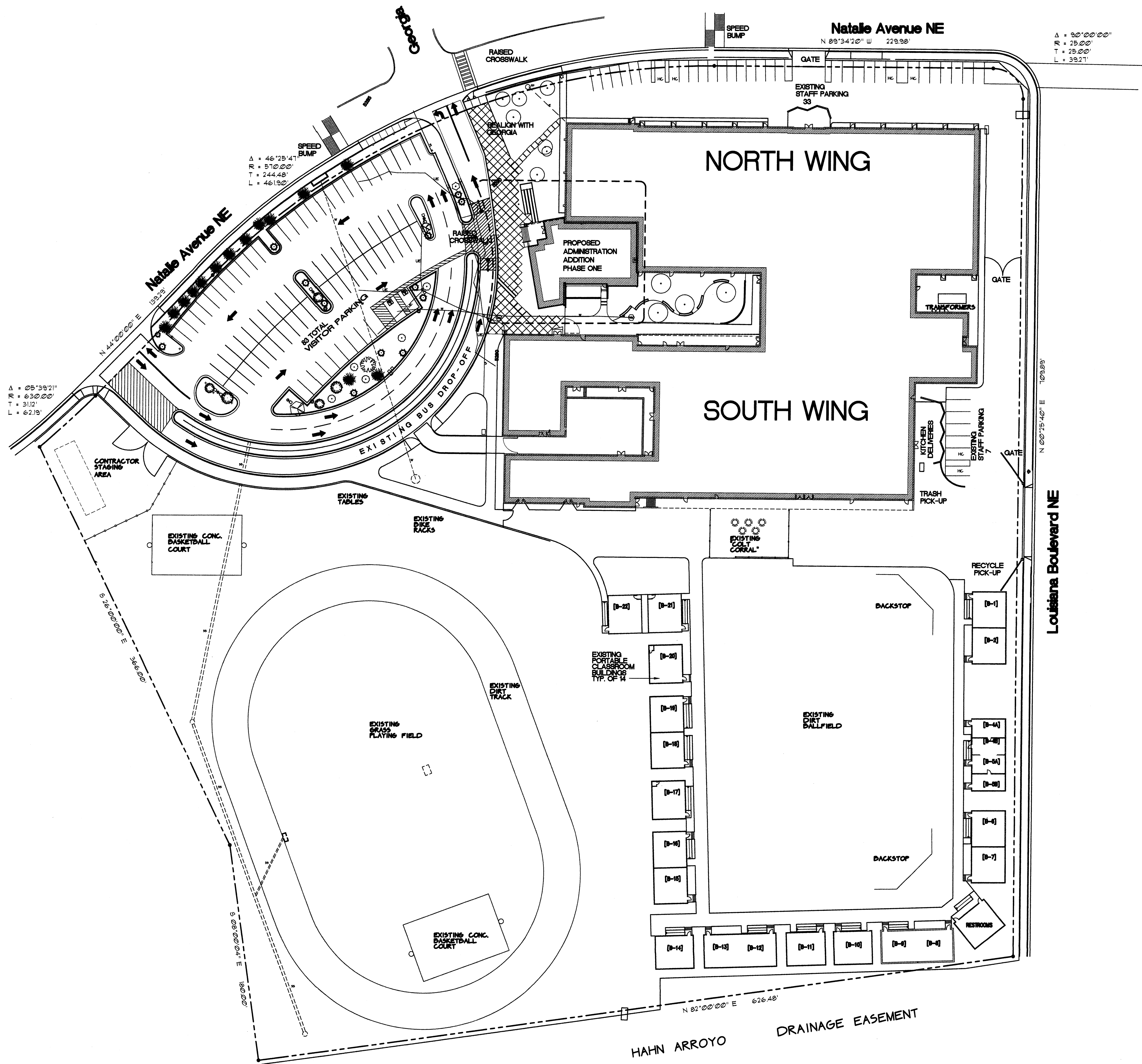
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SEP 13 2007
HYDROLOGY SECTION

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CLEVELAND MIDSCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
ENLARGED
SITE PLAN

C3.2



OVERALL SITE PLAN

SCALE: 1" = 40'-0"

GENERAL NOTES

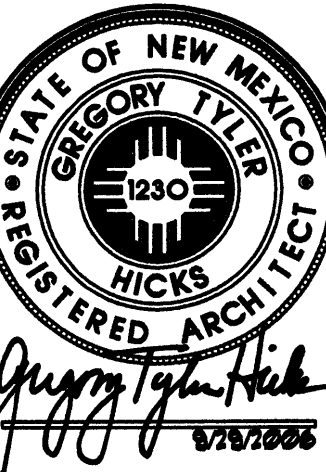
A. SEE ENLARGED SITE PLAN FOR ADDITIONAL INFORMATION

LEGEND

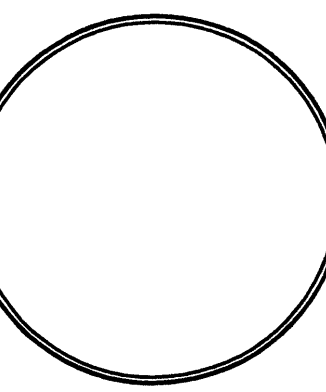
- WATER METER
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- CHAINLINK FENCE
- LIGHT POLE
- POWER POLE
- EXISTING LANDSCAPING, SEE ENLARGED SITE PLAN
- EXISTING BOLLARD TO REMAIN

PARKING REQUIREMENTS

CITY OF ALBUQUERQUE
COMPREHENSIVE CITY ZONING CODE - UPDATED JANUARY 2006
OFF-STREET PARKING REGULATIONS 14-16-3-1 A28
SCHOOL, ELEMENTARY AND MIDDLE: ONE SPACE FOR EACH EMPLOYEE
(NO REQUIREMENTS FOR VISITORS)
THIS PROPERTY IS ELIGIBLE FOR A 10% REDUCTION BECAUSE IT IS
WITHIN 300 FT. OF A REGULAR BUS ROUTE
NUMBER OF STAFF MEMBERS: 81 (FULL AND PART TIME)
NUMBER OF PARKING SPACES PROVIDED:
EXISTING STAFF PARKING - 40 SPACES
EXISTING VISITOR PARKING - 83
TOTAL PARKING SPACES - 123
NUMBER OF HANDICAP SPACES REQUIRED:
MINIMUM NUMBER OF H.C. SPACES FOR 121-300 SPACES IS 8
ONE SPACE MUST BE VAN ACCESSIBLE
NUMBER OF HANDICAP SPACES PROVIDED: 8, ONE IS VAN ACCESSIBLE



GREGORY T. HICKS & ASSOC., P.C.
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e-mail: ghicks@ghicks.com
• DESIGNING TODAY DESIGNING TOMORROW •



revisions:

proj. no.: 0514

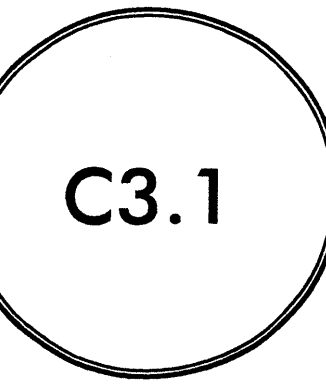
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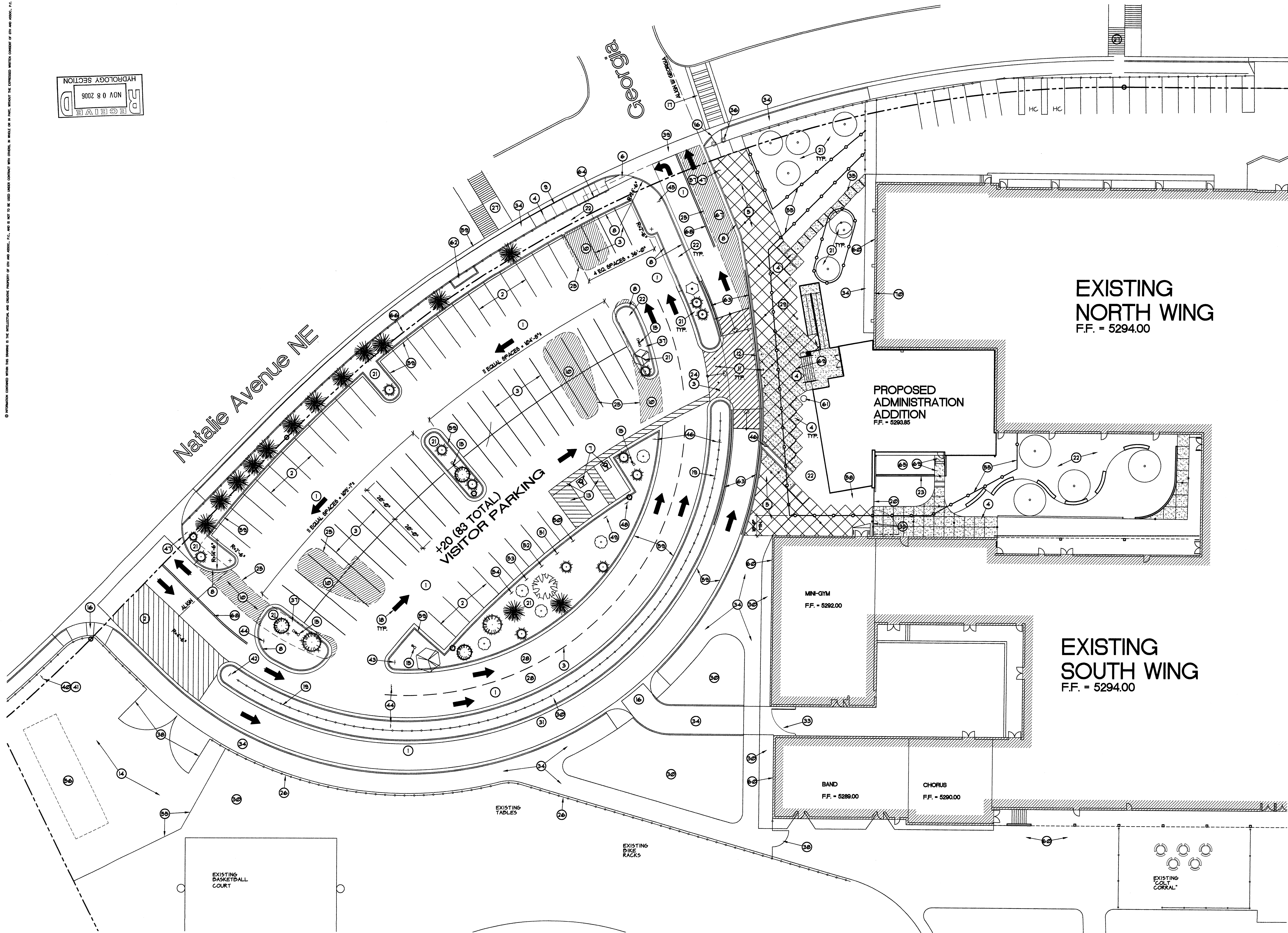
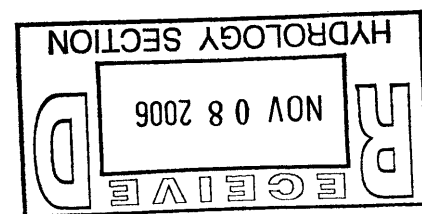
date: 9/29/06

CLEVELAND MIDSCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:

OVERALL
SITE PLAN





ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES

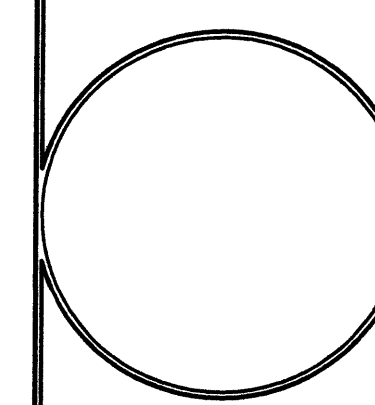
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- THE OWNER MAINTAINS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT INDICATED FOR REUSE. THE CONTRACTOR SHALL DELIVER SUCH ITEMS AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE OWNER'S STORAGE FACILITY. ITEMS THAT ARE NOT REQUESTED FOR SALVAGE TO THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.
- MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BY-PASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
- UTILITY LINES, PIPELINES AND UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE IN LOCATION ONLY. LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNER, FIELD OBSERVATIONS OR FROM EXISTING DRAWINGS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE LOCATIONS OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND INSTALLATION IN OR NEAR THE WORK AREA PRIOR TO AND DURING EXCAVATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES CAUSED BY ITS FAILURE TO IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES -- AT NO COST TO THE OWNER.
- CURB DIMENSIONS AND RADII SHOWN ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE. TYPICAL CURB RADIUS IS 4'-6" MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE.
- INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING

KEYED NOTES

- EXISTING ASPHALT CONC. PAVING TO REMAIN
- REPAINT EXISTING PAVEMENT MARKINGS
- NEW PAVEMENT MARKINGS
- NEW 4" THICK PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41
- EXISTING PORTLAND CEMENT CONC. PAVING W/ 5 FT. X 5 FT. JOINT LAYOUT PATTERN (SPACING)
- HANDICAP RAMP PER CITY OF ALBUQUERQUE STANDARD DETAILS (SEE CIVIL FOR DRAWING NUMBERS)
- REPAINT WHEELCHAIR SYMBOL. SEE DETAIL SHEET C41
- NEW MEDIAN CONC. CURB & GUTTER. SEE DETAIL 4/C41
- NEW STANDARD CONC. CURB AND GUTTER. SEE DETAIL 5/C41
- NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING AT HATCHED AREA. SEE C41
- STEEL PIPE BOLLARDS AT 4'-0" O.C. PAINT
- SEE DETAIL SHEET C41
- ASPHALT PAVING FLUSH WITH CONCRETE PAVING
- REPAINT EXISTING AISLE AND ACCESSIBLE ROUTE W/ BLUE STRIPES AS SHOWN
- CONTRACTOR STAGING AREA
- EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
- EXISTING CURB RAMP TO REMAIN
- EXISTING CROSSWALK W/ REFLECTIVE WHITE TRAFFIC PAINT
- REFLECTIVE DIRECTIONAL TRAFFIC ARROW. SEE DETAIL SHEET C41
- EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
- STEEL PIPE FENCE. SEE SHEET C41
- EXISTING TREES & SHRUBS TO REMAIN THIS AREA. PROTECT PLANTS
- MAINTAIN EXISTING SYSTEM OPERATIONAL DURING CONSTRUCTION
- SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
- CONCRETE BENCH. SEE DETAIL 1/C41
- NOT USED
- LIMIT OF NEW ASPHALT PAVING
- EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
- EXISTING SPEED HUMP TO REMAIN
- EXISTING PARENT DROP-OFF LANE
- EXISTING RELOCATED GROUND MOUNTED FLAG POLE. SEE DETAIL SHEET C41
- UNPAVED AREA TO REMAIN
- EXISTING BUS DROP-OFF LANE
- SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41
- SLIDING STEEL PIPE GATE. SEE DETAIL SHEET C41
- EXISTING CONCRETE WALK TO REMAIN
- 5'-0" X 8'-0" CONCRETE PAVES. CONTRACTOR'S OPTION TO SALVAGE EXISTING PATIO FOR PAVES.
- EXISTING BOLLARDS TO REMAIN
- NEW PARKING ISLAND. SEE DETAIL SHEET C41
- EXISTING CHAIN LINK GATE TO REMAIN
- EXISTING CONCRETE VALLEY GUTTER
- PEDESTRIAN CROSSING SIGNAGE. EXISTING
- "NO PARKING ANYTIME" EXISTING SIGNAGE
- "BUSES ONLY" EXISTING SIGNAGE
- "PARKING" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
- "ONE WAY" EXISTING SIGNAGE. RELOCATED
- "DO NOT ENTER" EXISTING SIGNAGE. RELOCATED
- NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41
- NEW "STOP" SIGN. SEE DETAIL SHEET C41
- HANDICAP PARKING EXISTING SIGNAGE TO REMAIN
- "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
- "SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
- "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
- "JAPD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
- TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
- CONTRACTOR'S CONSTRUCTION TRAILER
- NEW "NO RIGHT TURN" SIGN
- EROSION CONTROL FOR ROOF DRAIN. SEE CIVIL
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
- EXISTING BACKFLOW PREVENTER
- PAINT CURB FACE AND TOP RED FOR FIRE LANE
- STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 12'-0" O.C. FROM RAISED CROSSWALK TO NATALIE AVENUE
- NEW CHAIN LINK FENCING TO MATCH EXISTING
- NEW RECTIFIED PLASTIC DECKING, "TREX" OR EQUAL
- PROPELTY LINE
- NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE SITE DETAILS
- DOUBLE YELLOW TRAFFIC STRIPE
- REFER TO FLOOR PLAN FOR SITEWORK ADJACENT TO BUILDING
- NEW SIGNAGE "CLEVELAND MIDDLE SCHOOL" TO MATCH SIGNAGE ON MINI-GYM IN FONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH



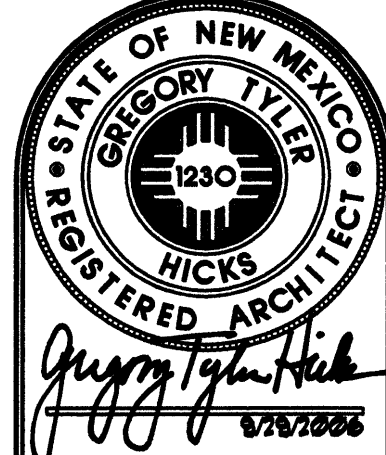
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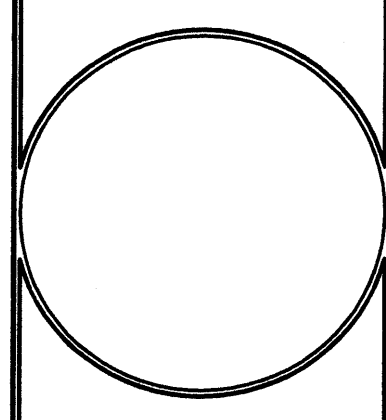
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sheet title:
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SITE PLAN



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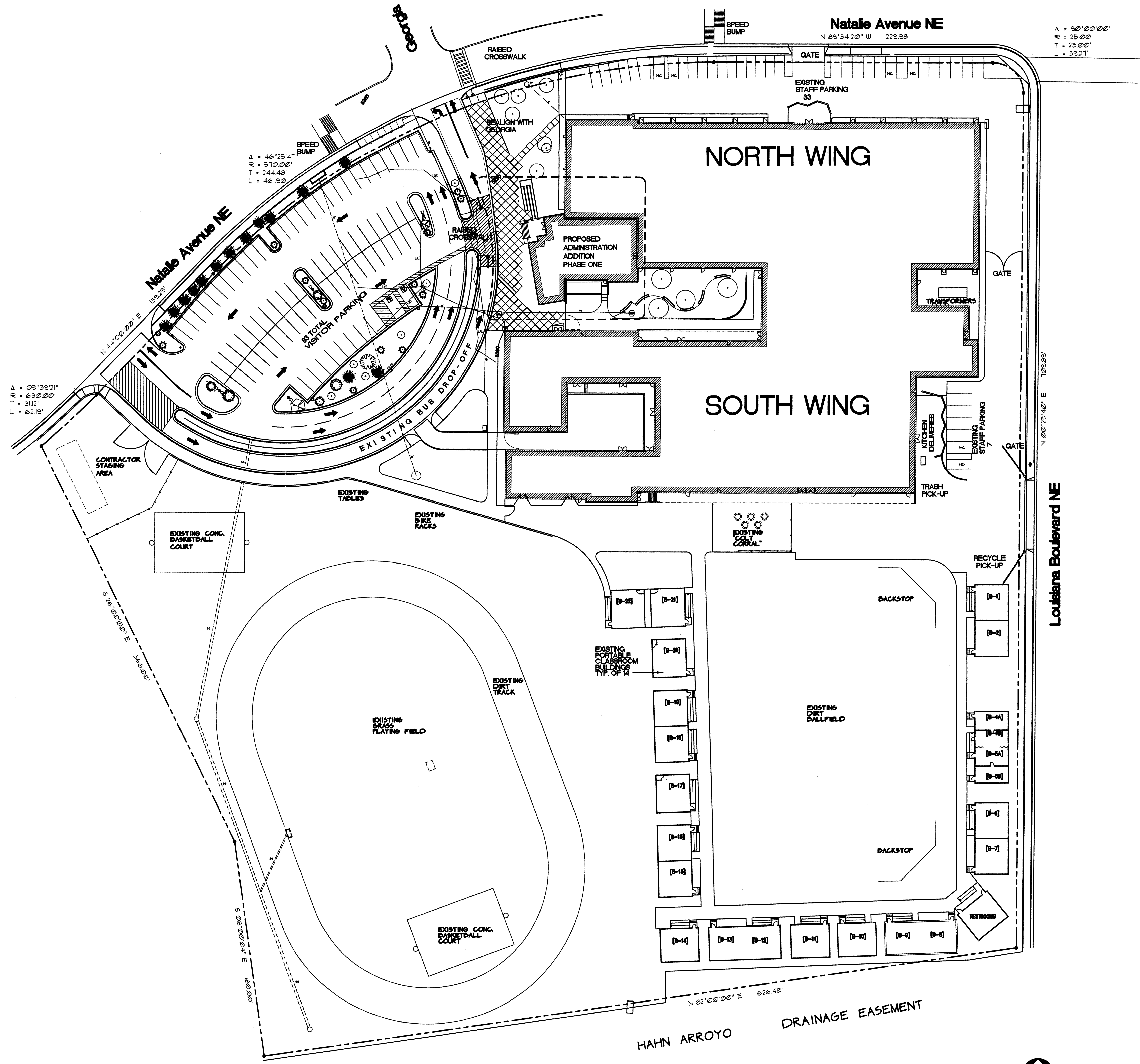
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CLEVELAND MIDSCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
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sheet title:
OVERALL
SITE PLAN

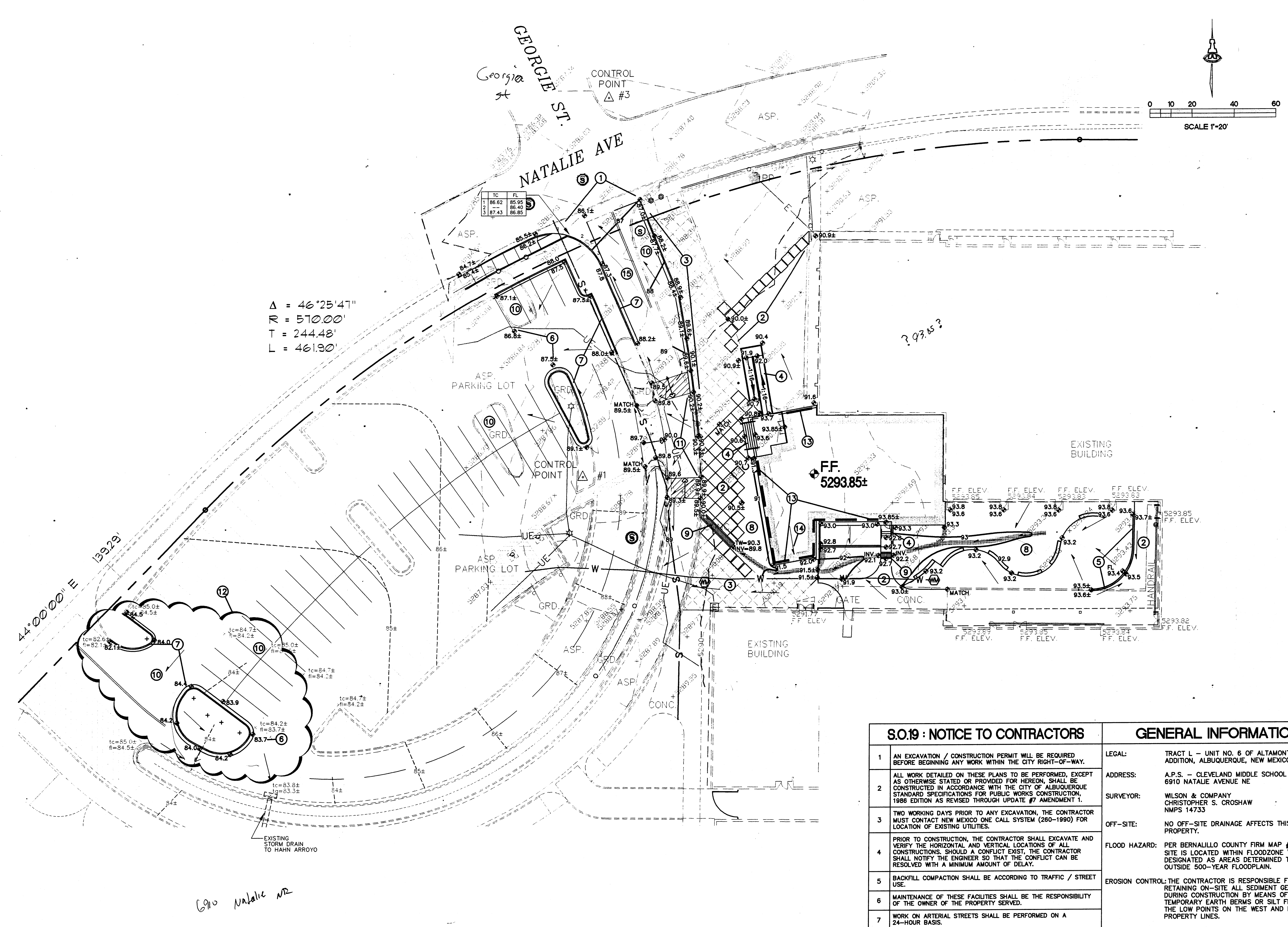


LEGEND	
⊕	WATER METER
⊕	FIRE HYDRANT
⊕	SANITARY SEWER MANHOLE
⊕	ELECTRIC BOX
—	CHAINLINK FENCE
*	LIGHT POLE
OP	POWER POLE
○	EXISTING LANDSCAPING SEE ENLARGED SITE PLAN
•	EXISTING BOLLARD TO REMAIN

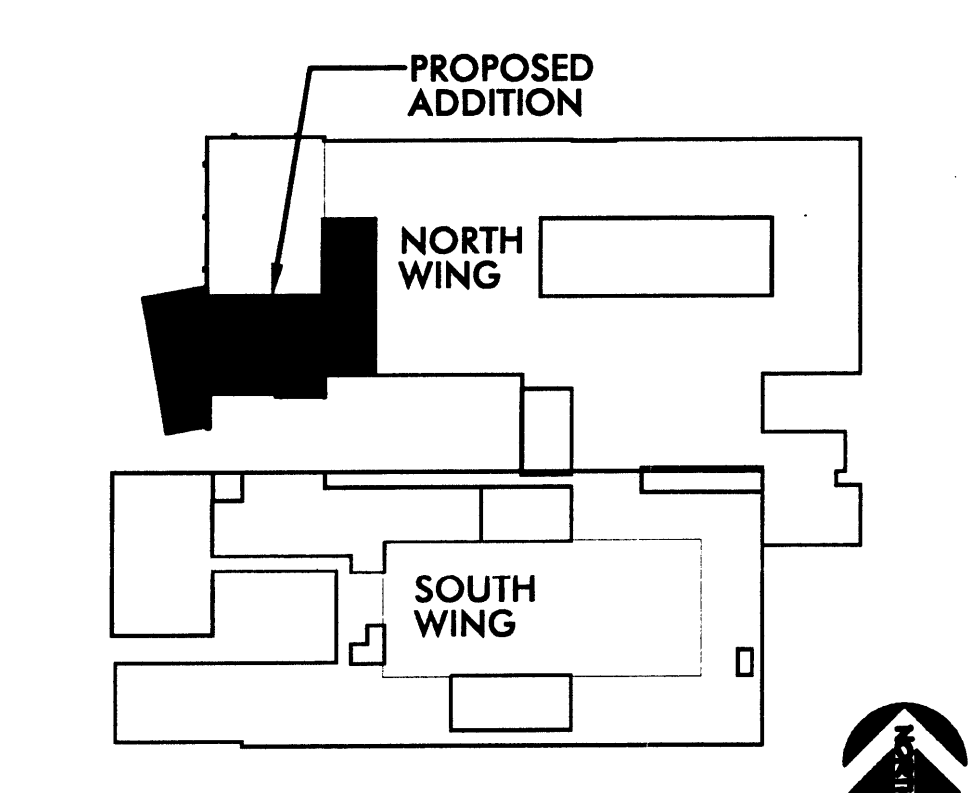
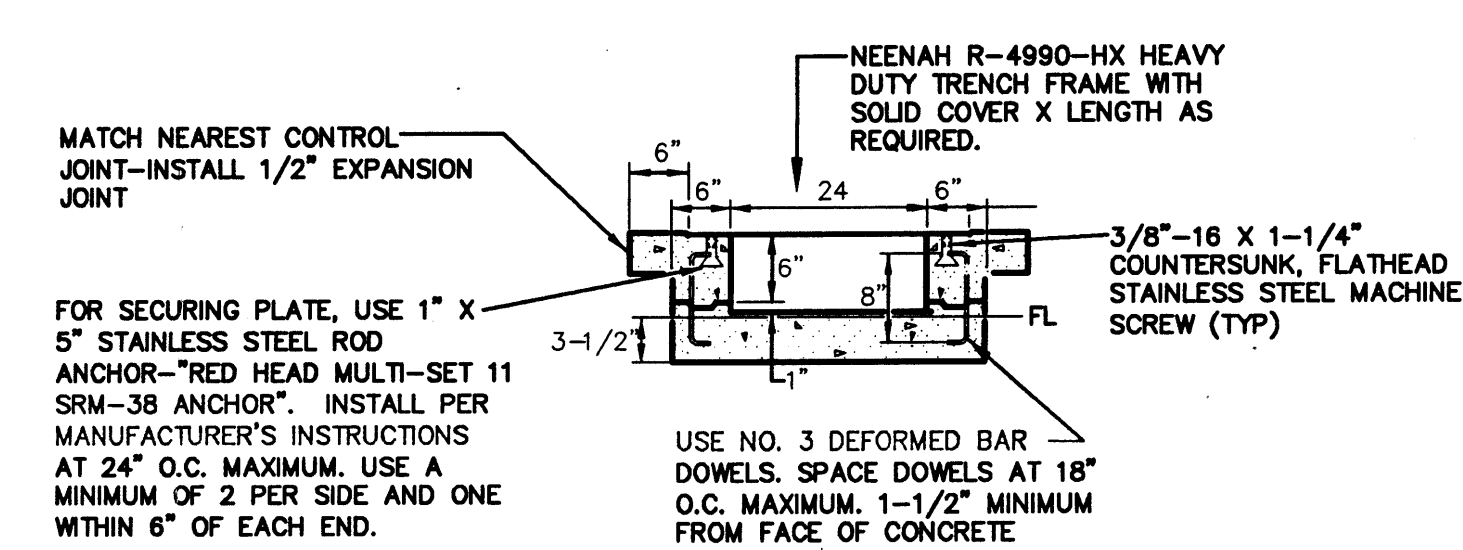
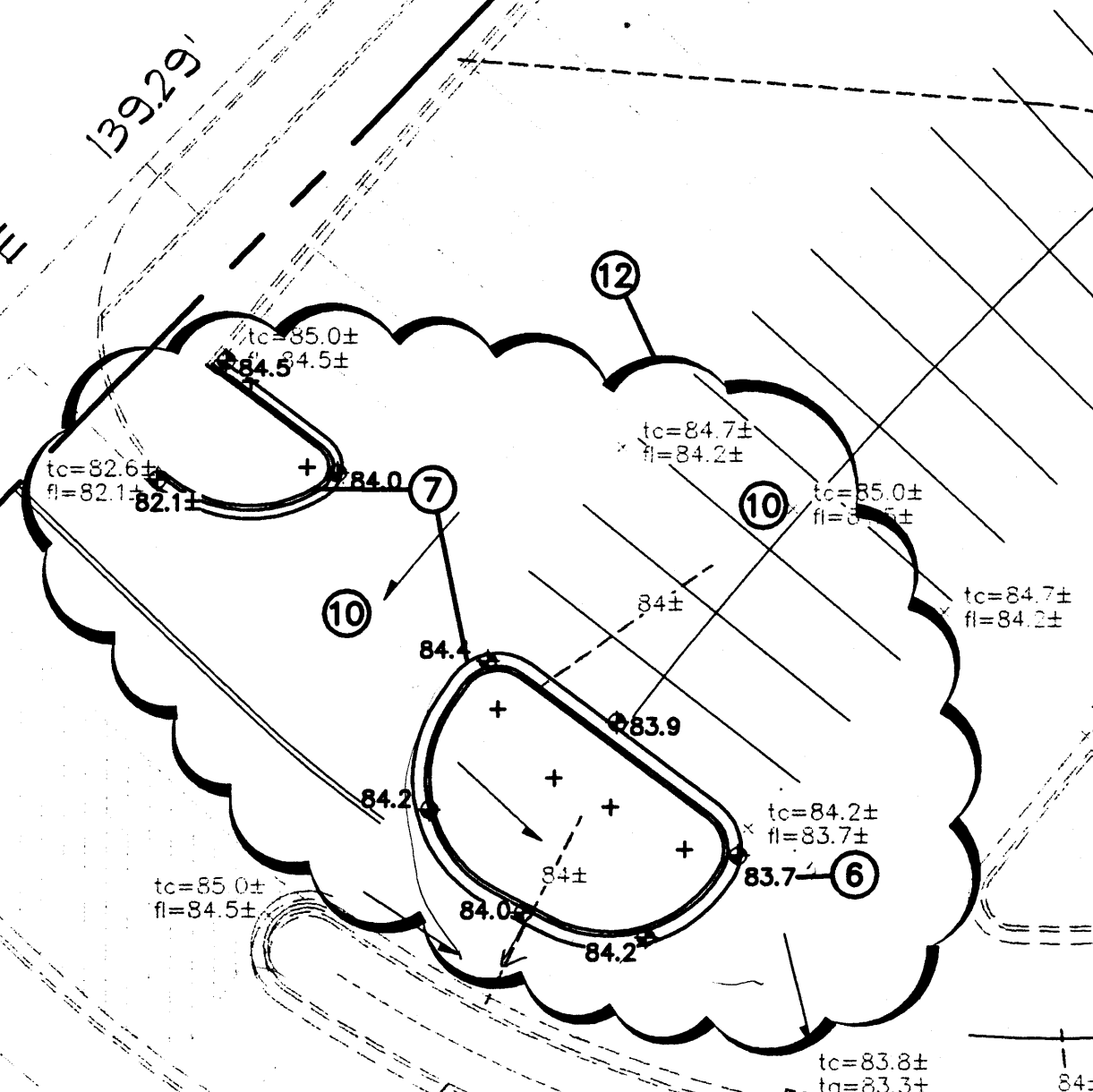
PARKING REQUIREMENTS
CITY OF ALBUQUERQUE
COMPREHENSIVE CITY ZONING CODE - UPDATED JANUARY 2006
OFFSTREET PARKING REGULATIONS 14-16-3-1 A28
SCHOOL ELEMENTARY AND MIDDLE: ONE SPACE FOR EACH EMPLOYEE
(NO REQUIREMENTS FOR VISITORS)
THIS PROPERTY IS ELIGIBLE FOR A 10% REDUCTION BECAUSE IT IS
WITHIN 300 FT. OF A REGULAR BUS ROUTE
NUMBER OF STAFF MEMBERS: 81 (FULL AND PART TIME)
NUMBER OF PARKING SPACES PROVIDED:
EXISTING STAFF PARKING - 40 SPACES
EXISTING VISITOR PARKING - 83
TOTAL PARKING SPACES - 123
NUMBER OF HANDICAP SPACES REQUIRED:
MINIMUM NUMBER OF H.C. SPACES FOR 101-300 SPACES IS 8
ONE SPACE MUST BE VAN ACCESSIBLE
NUMBER OF HANDICAP SPACES PROVIDED: 8, ONE IS VAN ACCESSIBLE

OVERALL SITE PLAN
SCALE: 1" = 40'-0"
0 10 20 40 80'

M:\ACTIV\ID 2006\1530\dwg\1530GRD.dwg, layout1, 9/29/2006 4:13:33 PM



$\Delta = 46^\circ 25' 47''$
 $R = 570.00'$
 $T = 244.48'$
 $L = 461.90'$



S.O.19 : NOTICE TO CONTRACTORS

- 1 AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

SURVEY GENERAL NOTES

- SURVEY GENERAL NOTES:
1. FIELD SURVEY PERFORMED ON DECEMBER 2005.
 2. THIS TOPOGRAPHIC SURVEY IS NOT INTENDED TO BE A BOUNDARY SURVEY.
 3. BENCHMARK USED IS AN ACS 1-3/4" ALUMINUM DISK STAMPED "ACS BM, 13-619", EPOXYED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, ESE QUADRANT OF MONTGOMERY BLVD. & LOUISIANA BLVD. NE., ON NORTHEASTERLY CORNER OF SAID CONCRETE BASE. ELEVATION: 5309.844' (NGVD29)
 4. COORDINATES ARE GROUND PROJECT COORDINATES BASED ON NAD 27 (HORIZONTAL) AND NGVD 29 (VERTICAL).

GENERAL INFORMATION

LEGAL: TRACT L - UNIT NO. 6 OF ALTAMONT ADDITION, ALBUQUERQUE, NEW MEXICO

ADDRESS: A.P.S. - CLEVELAND MIDDLE SCHOOL 6910 NATALIE AVENUE NE

SURVEYOR: WILSON & COMPANY CHRISTOPHER S. CROSHAW NMPS 14723

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #139, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMES OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

PROJECT SCOPE

THE PROPOSED IMPROVEMENTS INCLUDE A NEW SCHOOL ADDITION WITH ASSOCIATED ASPHALT PARKING RECONFIGURATION AND LANDSCAPING.

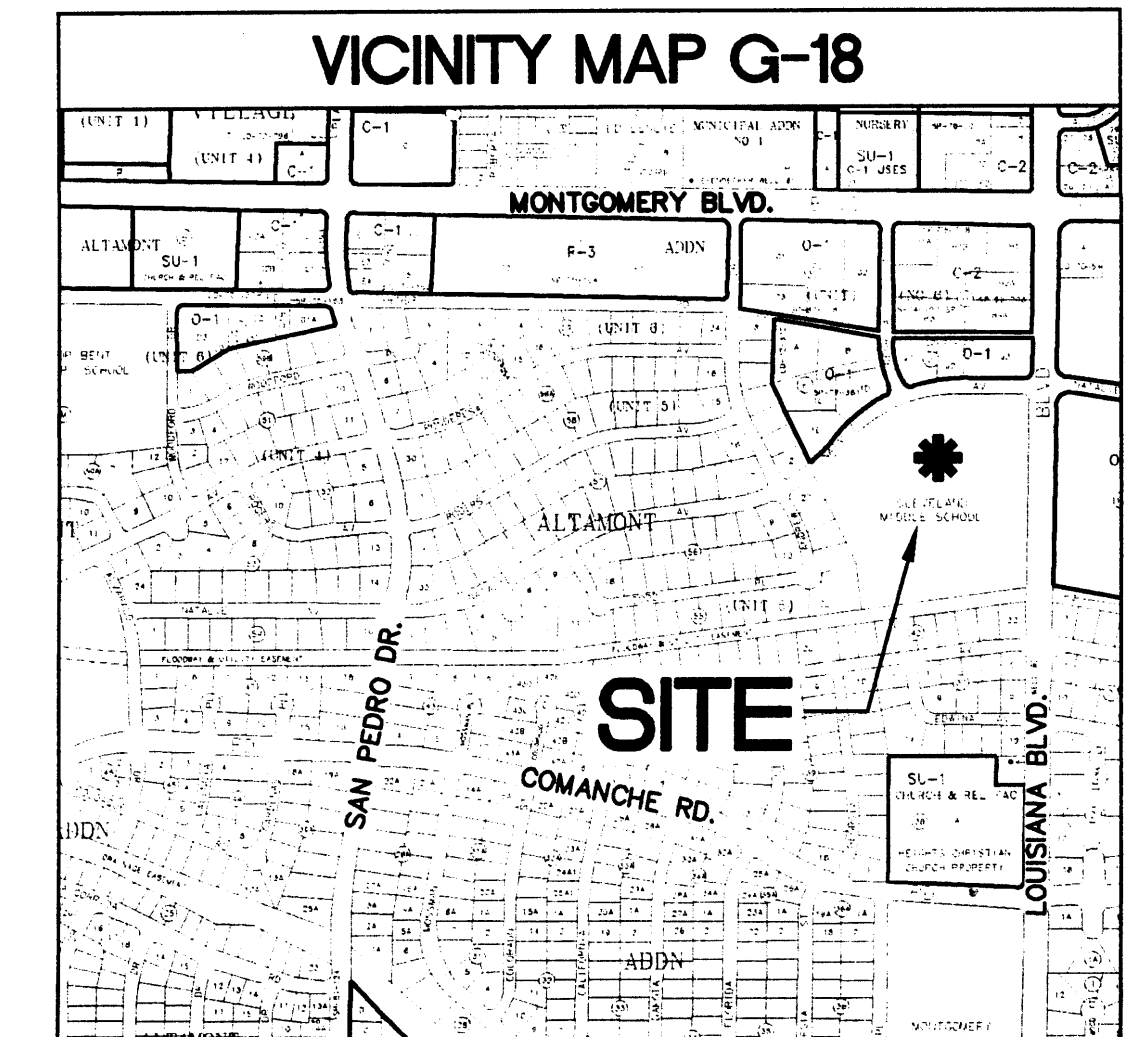
THE SITE IS A LOT LOCATED WITHIN C.O.A. VICINITY MAP G-18. THE SITE IS BOUND TO THE EAST BY LOUISIANA BLVD. NE, TO THE NORTH BY NATALIE AVE., TO THE WEST BY DEVELOPED RESIDENTIAL AND TO THE SOUTH BY THE HAHN ARROYO.

THE INTENT OF THIS PLAN IS TO SHOW:

- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
- THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
- THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
- THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE PROPOSED DEVELOPMENT WILL REPLACE PAVEMENT WITH BUILDING, NO INCREASE IN THE TOTAL DEVELOPED DISCHARGE OR VOLUME WILL OCCUR. ALL DISCHARGE WILL CONTINUE TO FOLLOW HISTORIC FLOWPATHS.



KEYED NOTES

- 1 SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING SITE ENTRANCE. CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH STANDARD CURB AND GUTTER (WITHIN R.O.W.), CONCRETE VALLEY CUTTER (EXISTING MAY BE REUSED IF POSSIBLE) AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWGS. 2415, 2426 AND 2441 (SIM.). SAWCUT EXISTING AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- 2 NEW CONCRETE PAVING OVER COMPACTED SUBGRADE. SEE ARCHITECTURAL SITE DETAILS. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- 3 EXISTING CONCRETE PAVING TO REMAIN THIS AREA. CONSTRUCT MEDIAN CURB AND GUTTER ALONG WEST EDGE OF SAWCUT WALK. TOP OF EXISTING WALK = TOP OF NEW CURB.
- 4 CONSTRUCT CONCRETE RAMP (SLOPE = 1:16) AND/OR STEPS TO ACCESS NEW BUILDING ENTRANCE. SEE ARCHITECTURAL FOR DETAILS.
- 5 NEW WALL / SEAT AREA. GRADE TO DRAIN AT ELEVATIONS SHOWN. PROVIDE MIN. 6" WIDE X 6" HIGH OPENING AT LOW POINT TO PASS FLOW TO LANDSCAPED AREA.
- 6 ALL PROPOSED SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR TOP OF NEW CURB / TOP OF NEW WALK ELEVATIONS UNLESS NOTED.
- 7 CONSTRUCT CONCRETE MEDIAN CURB & GUTTER FOR ALL NEW ON-SITE CURB. SEE ARCHITECTURAL SITE DETAILS. NOTE: PROVIDE ON-SITE TRANSITION BETWEEN 6" HIGH MEDIAN CURB AND 8" HIGH STANDARD CURB AND GUTTER WITHIN R.O.W.
- 8 INNER COURTYARD CURRENTLY ACCEPTS ROOF DRAINAGE FROM SURROUNDING BUILDINGS. UTILIZES FOR WATER HARVESTING FOR EXISTING LANDSCAPING AND RELEASES EXCESS TO WEST PAVEMENT. NEW LANDSCAPING THIS AREA TO MAINTAIN CONCEPT. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS. FINE GRADE A SHALLOW SWALE WITH PERMANENT EROSION CONTROL (SEE LANDSCAPED PLAN) INTEGRATED WITH COURTYARD LANDSCAPING TO DIRECT DRAINAGE WEST TO PROPOSED SIDEWALK CULVERT(S). PROVIDE PRECAST CONCRETE SPASHBLOCKS AT ALL ROOF DRAINS. FIELD ADJUST TO MISS EXISTING SITE FEATURES.
- 9 CONSTRUCT 2' WIDE (BOTTOM WIDTH) X LENGTH REQ'D 'U' SHAPED CONCRETE CHANNEL WITH STEEL PLATE TOP TO PASS FLOW. SEE DETAIL THIS SHEET.
- 10 SEE DEMOLITION PLAN FOR DEMOLITION THIS AREA. PATCH ASPHALT THIS AREA. ENSURE SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- 11 INSTALL NEW ASPHALT PAVING FLUSH WITH TOP OF WALK THIS AREA.
- 12 NO AS-BUILT TOPOGRAPHY DATA PROVIDED FOR THIS AREA. (SPOTS AND CONTOURS SHOWN ARE ORIGINAL DESIGN GRADES). SEE GENERAL NOTES 'B' AND 'C'.
- 13 CONSTRUCT BUILDING EXTENDED / RETAINING STEMWALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN.
- 14 PROPOSED ROOF DISCHARGE LOCATION. PROVIDE PRECAST CONCRETE SPASHBLOCKS AT ALL ROOF DRAIN OUTLETS AND PERMANENT EROSION CONTROL (SEE LANDSCAPED PLAN) ALONG SWALE FLOWLINE TO PROPOSED SIDEWALK CULVERT.
- 15 EXISTING ASPHALT TO REMAIN. SAWCUT TO PROVIDE SMOOTH BONDING EDGE. TRANSITION WITH NEW ASPHALT. SEE ARCHITECTURAL FOR EXTENTS OF NEW PAVING.

GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN AND DETAILS.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. AT ALL TRANSITIONS BETWEEN EXISTING AND PROPOSED, MATCH EXISTING TOP OF ASPHALT / CONCRETE CURB / CONCRETE WALK FOR SMOOTH TRANSITION. ALL SITE IMPROVEMENTS WITH ELEVATIONS SHOWN AS ± SHALL BE FIELD ADJUSTED FOR SMOOTH TRANSITION TO EXISTING. MAINTAIN POSITIVE DRAINAGE - NO BIRDBATHS.
- D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- E. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

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LEGEND

- + 5288.99 EXISTING SPOT ELEVATION
- 5287- EXISTING CONTOUR
- Φ88.5 PROPOSED SPOT ELEVATION
- 92- PROPOSED CONTOUR
- FF FINISHED FLOOR
- FL FLOWLINE
- SW SIDEWALK
- FLOW ARROW

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**CLEVELAND MID-SCHOOL
ADMINISTRATION ADDITION**
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
GRADING AND
DRAINAGE PLAN

C1.1

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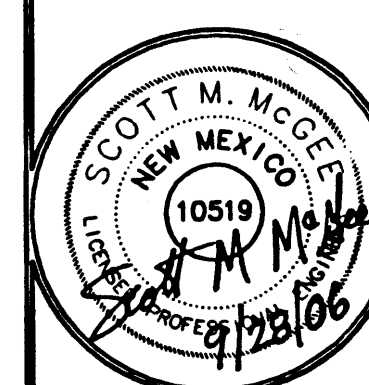
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revisions

proj. no.: 0514

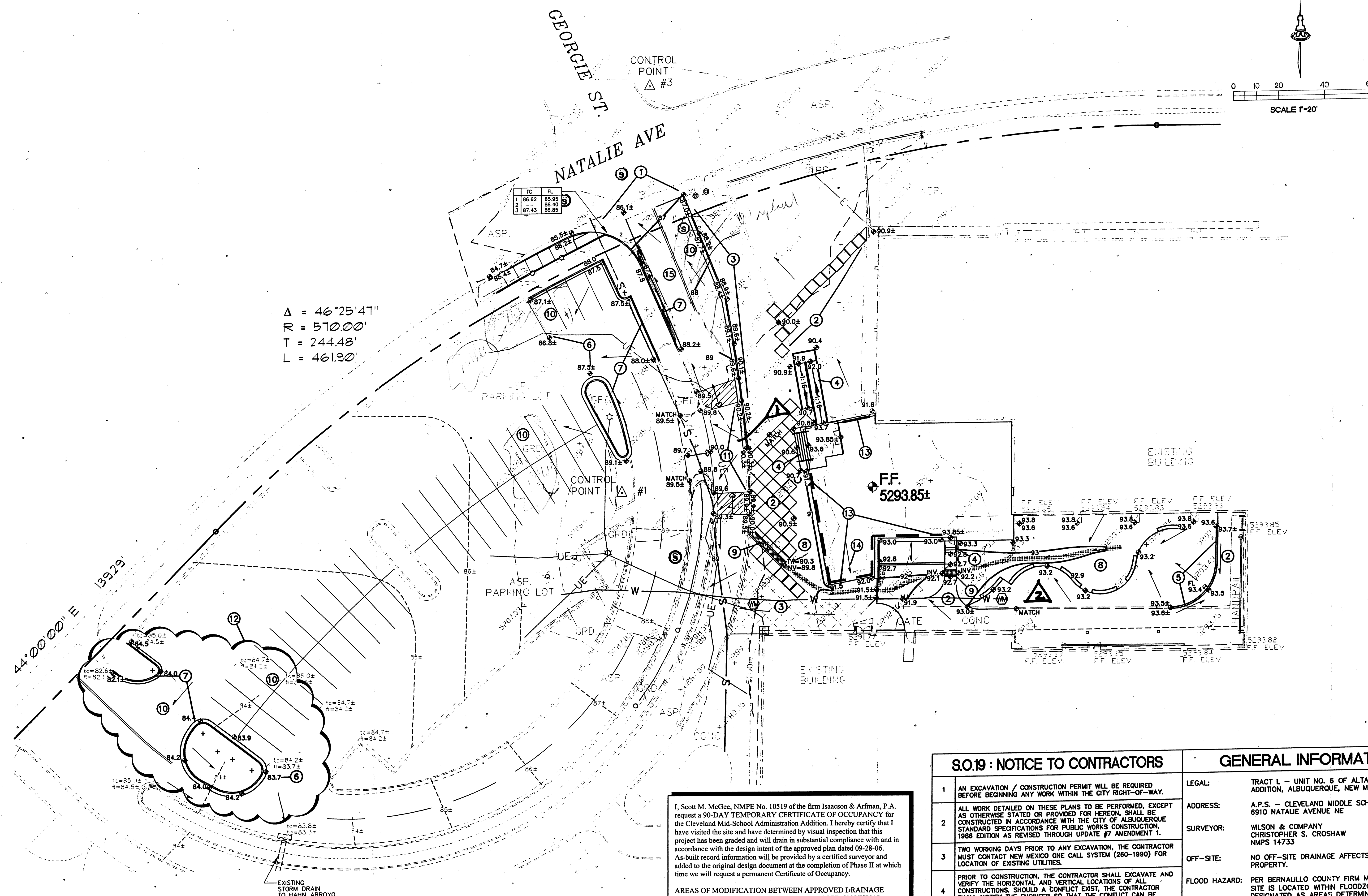
acad file: 0514C32

date: 09.29.06

**AND MID-SCHOOL
ADMINISTRATION ADDITION**
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
GRADING AND
DRAINAGE PL

C1.1



I, Scott M. McGee, NMPE No. 10519 of the firm Isaacson & Arftman, P.A. request a 90-DAY TEMPORARY CERTIFICATE OF OCCUPANCY for the Cleveland Mid-School Administration Addition. I hereby certify that I have visited the site and have determined by visual inspection that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 09-28-06. As-built record information will be provided by a certified surveyor and added to the original design document at the completion of Phase II at which time we will request a permanent Certificate of Occupancy.

AREAS OF MODIFICATION BETWEEN APPROVED DRAINAGE GRADING PLAN AND ACTUAL AS-BUILT BASED ON VISUAL INSPECTION.

- 1 Grades modified this area to achieve smooth transition with existing.
- 2 Final drainage improvements not yet installed. All proposed drainage protection must be installed prior to the request for permanent Certificate of Occupancy.

Record information to verify substantial compliance of the grading and drainage aspects of this project will be provided at the completion of Phase II of the project. Those relying on this document are advised to obtain independent verification before using it for any purpose.

SCOTT M. McGEE NMPE #10519 DATE 8/2/07

S.O.19 : NOTICE TO CONTRACTORS

- | | |
|---|--|
| 1 | AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. |
| 2 | ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1. |
| 3 | TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES. |
| 4 | PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING CONDITIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. |
| 5 | BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STR USE. |
| 6 | MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. |
| 7 | WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. |

APPROVAL	NAME	DATE
INSPECTOR		

GENERAL INFORMATION

LEGAL:	TRACT L - UNIT NO. 6 OF ALTAMONT ADEQUATE, ALBUQUERQUE, NEW MEXICO
ADDRESS:	69.5 - CLEVELAND MIDDLE SCHOOL A.P.O. NATALIE AVENUE NE
SURVEYOR:	WILSON & COMPANY CHRISTOPHER S. CROSHAW NMPS 14733
OFF-SITE:	NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.
FLOOD HAZARD:	PER BERNALILLO COUNTY FIRM MAP #139, TH SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.
EROSION CONTROL:	THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

PROJECT SCOPE

THE PROPOSED IMPROVEMENTS INCLUDE A NEW SCHOOL ADDITION WITH ASSOCIATED ASPHALT PARKING RECONFIGURATION AND LANDSCAPING.

THE SITE IS A LOT LOCATED WITHIN C.O.A. VICINITY MAP G-18. THE SITE IS BOUND TO THE EAST BY LOUISIANA BLVD..NE, TO THE NORTH BY NATALIE AVE., TO THE WEST BY DEVELOPED RESIDENTIAL AND TO THE SOUTH BY THE HAHN ARROYO.

THE INTENT OF THIS PLAN IS TO SHOW:

- * GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
- * THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
- * THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT
- * THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTIES TO INSURE AN ORDERLY RELATIONSHIP BETWEEN PROPOSED AND SURROUNDING GRADING

DRAINAGE PLAN CONCEPT:

THE PROPOSED DEVELOPMENT WILL REPLACE PAVEMENT WITH BUILDING. NO INCREASE IN THE TOTAL DEVELOPED DISCHARGE VOLUME WILL OCCUR. ALL DISCHARGE WILL CONTINUE TO FOLLOW HISTORIC FLOWPATHS.

SURVEY GENERAL NOTES

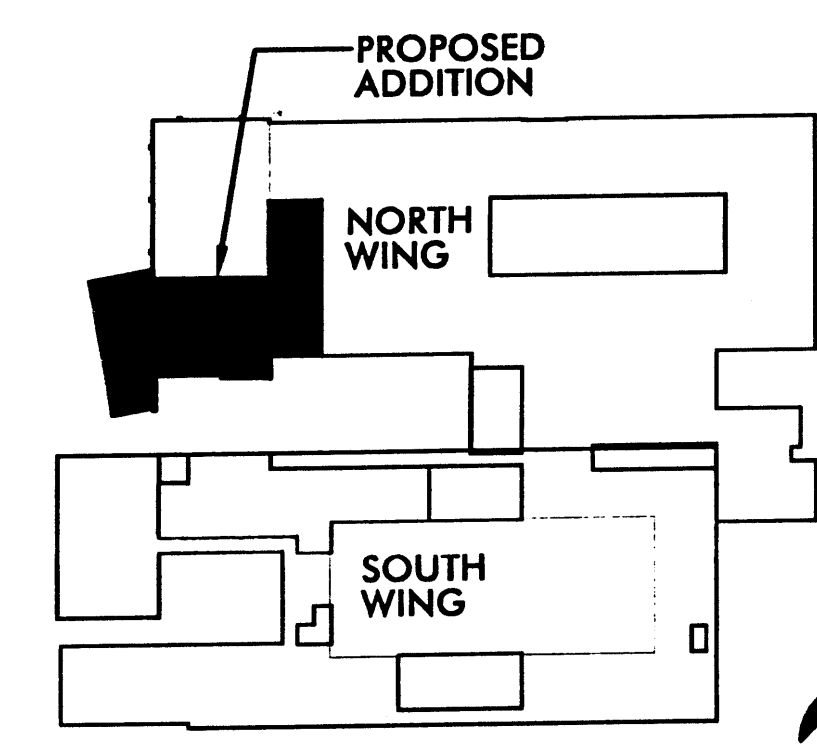
SURVEY GENERAL NOTES

1. FIELD SURVEY PERFORMED ON DECEMBER 2005.
2. THIS TOPOGRAPHIC SURVEY IS NOT INTENDED TO BE A BOUNDARY SURVEY.
3. BENCHMARK USED IS AN ACS 1-3/4" ALUMINUM DISK STAMPED "ACS BM, 13-219, EPOCH TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, ESE QUADRANT OF MONTGOMERY BLVD. & LOUISIANA BLVD. NE., ON NORTHEASTERLY CORNER OF SAID CONCRETE BASE. ELEVATION: 5309.844" (NGVD29)
4. COORDINATES ARE GROUND PROJECT COORDINATES BASE ON NAD 83 (HORIZONTAL) AND NGVD 29 (VERTICAL).

MATCH NEAREST CONTROL JOINT—INSTALL 1/2" EXPANSION JOINT
 FOR SECURING PLATE, USE 1" X 5" S.S. STAINLESS STEEL ROD ANCHOR—RED HEAD MULTI—SET 11 SRM—3B ANCHOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT 24" O.C. MAXIMUM. USE A MINIMUM OF 2 FEET SIDE AND ONE WITHIN 5' OF EACH END.
 NEENAH R-4990-10K HEAVY DUTY TRENCH FRAME WITH SOILD COVER X LENGTH AS REQUIRED.
 6" 24" 6"
 3-1/2"
 8"
 12"
 FL
 3/8"-18 x 1-1/4" COUNTERSINK, FLATHEAD STAINLESS STEEL MACHINING SCREW (TYP)
 USE NO. 3 DEFORMED BAR DOWELS, SPACE DOWELS AT 18" O.C. MAXIMUM. 1-1/2" FROM FACE OF CONCRETE

SECTION

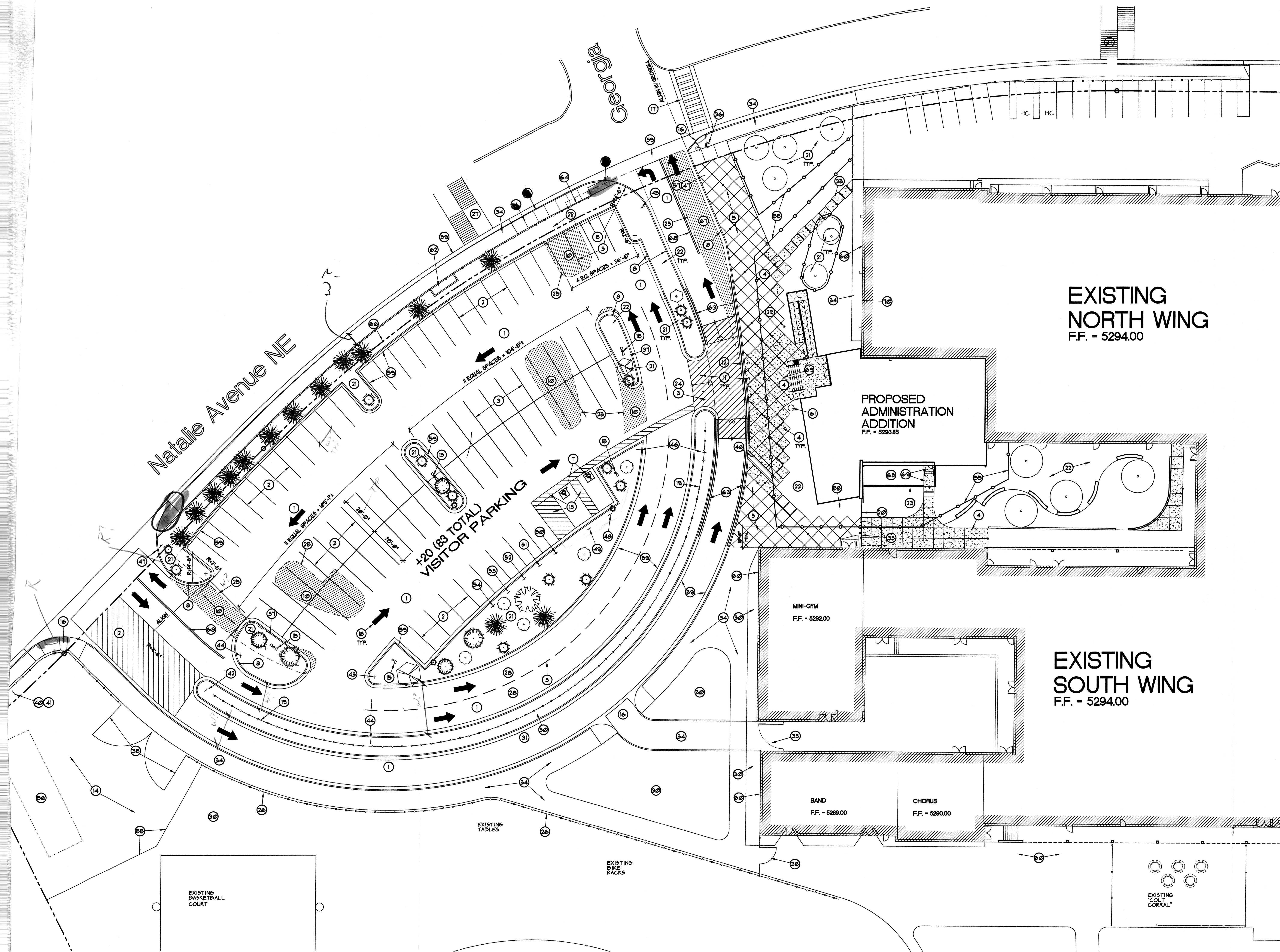
SIDEWALK CULVERT



KEY PLAN

NT

100



EXISTING NORTH WING
F.F. = 5294.00

PROPOSED ADMINISTRATION ADDITION
F.F. = 5293.85

EXISTING SOUTH WING
F.F. = 5294.00

MIN-GYM
F.F. = 5292.00

BAND
F.F. = 5289.00

CHORUS
F.F. = 5290.00

ENLARGED SITE PLAN
SCALE: 1" = 20'-0"

- GENERAL NOTES**
- COORDINATE WORK WITH SITE LANDSCAPE, GRADING & DRAINAGE AND UTILITIES PLANS AND LANDSCAPE CONTRACTOR.
 - THESE DRAWINGS HAVE BEEN PREPARED WITH THE AID OF PHOTOGRAPHIC FIELD MEASUREMENTS AND OTHER POTENTIALLY INEXACT METHODS. EXISTING CONDITIONS AND LOCATIONS OF IMPROVEMENTS ON THIS SITE PLAN ARE APPROXIMATE. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
 - THE OWNER MAINTAINS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT INDICATED FOR REUSE. THE CONTRACTOR SHALL DELIVER SUCH ITEMS AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE OWNER'S STORAGE FACILITY. ITEMS THAT ARE NOT REQUESTED FOR SALVAGE TO THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.
 - MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BY-PASSES, CROSSES-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
 - UTILITY LINES, PIPELINES AND UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE IN LOCATION ONLY. LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNER, FIELD OBSERVATION OR FROM EXISTING DRAWINGS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE WORK AREA PRIOR TO AND DURING EXCAVATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES CAUSED BY ITS FAILURE TO IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES -- AT NO COST TO THE OWNER.
 - CURB DIMENSIONS AND RADIUS SHOWN ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE. TYPICAL CURB RADIUS IS 4'-6" MEASURED TO THE BACK OF THE CURB UNLESS INDICATED OTHERWISE.
 - INDICATES LOCATIONS OF EXPANSION JOINTS IN CONC. PAVING.

- KEYED NOTES**
- EXISTING ASPHALT CONC. PAVING TO REMAIN
 - REPAINT EXISTING PAVEMENT MARKINGS
 - NEW PAVEMENT MARKINGS
 - NEW 4" TH. PORTLAND CEMENT CONC. PAVING W/ JOINT PATTERN AS INDICATED. SEE DETAIL SHEET C41
 - EXISTING PORTLAND CEMENT CONCRETE PAVING W/ 5 FT. X 5 FT. JOINT LAYOUT PATTERN SPACING
 - HANDICAP PARKING PER CITY OF ALBUQUERQUE STANDARD DETAILS (SEE CIVIL FOR DRAWING NUMBERS)
 - REPAINT WHEELCHAIR SYMBOL. SEE DETAIL SHEET C41
 - NEW MEDIAN CONC. CURB & GUTTER. SEE DETAIL 4/C41
 - NEW STANDARD CONC. CURB AND GUTTER. SEE DETAIL 5/C41
 - NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING AT HATCHED AREA. SEE C41
 - STEEL PIPE BOLLARDS AT 4'-0" O.C., PAINT
 - SEE SITE DETAIL SHEET C41
 - ASPHALT PAVING FLUSH WITH CONCRETE PAVING
 - REPAINT EXISTING AISLE AND ACCESSIBLE ROUTE W/ BLUE STRIPES AS SHOWN
 - CONTRACTOR STAGING AREA
 - EXISTING LIGHT POLE W/ CONC. BASE TO REMAIN
 - EXISTING CURB RAMP TO REMAIN
 - EXISTING CROSSWALK W/ REFLECTIVE WHITE TRAFFIC PAINT
 - REFLECTIVE DIRECTIONAL TRAFFIC ARROW. SEE DETAIL SHEET C41
 - EXISTING 4'-0" HIGH CHAIN LINK FENCE TO REMAIN
 - STEEL PIPE FENCE. SEE DETAIL C41
 - EXISTING 6" BOLLARDS TO REMAIN IN THIS AREA. PROTECT PLANTS
 - MAINTAIN IRRIGATION SYSTEM OPERATIONAL DURING CONSTRUCTION
 - SEE LANDSCAPING PLAN FOR PLANTINGS AND GROUND COVER
 - CONCRETE BENCH. SEE DETAIL 7/C41
 - NOT USED
 - LIMIT OF NEW ASPHALT PAVING
 - EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
 - EXISTING SPEED HUMP TO REMAIN
 - EXISTING PARENT DROP-OFF LANE
 - EXISTING RELOCATED GROUND MOUNTED FLAG POLE. SEE DETAIL SHEET C41
 - UNPAVED AREA TO REMAIN
 - EXISTING BUS DROP-OFF LANE
 - SLIDING STEEL PIPE PEDESTRIAN GATE. SEE DETAIL SHEET C41
 - SLIDING STEEL PIPE GATE. SEE DETAIL SHEET C41
 - EXISTING CONCRETE WALK TO REMAIN
 - 5'-0" X 5'-0" CONCRETE PAVERS. CONTRACTOR'S OPTION TO SALVAGE EXISTING PATIO FOR PAVERS.
 - EXISTING BOLLARDS TO REMAIN
 - EXISTING CHAIN LINK GATE TO REMAIN
 - EXISTING CONCRETE VALLEY GUTTER
 - PEDESTRIAN CROSSING SIGNAGE, EXISTING
 - "NO PARKING ANYTIME" EXISTING SIGNAGE
 - "BUSES ONLY" EXISTING SIGNAGE
 - "PARKING" AND "STUDENT DROP-OFF" EXISTING SIGNAGE
 - "ONE WAY" EXISTING SIGNAGE, RELOCATED
 - "DO NOT ENTER" EXISTING SIGNAGE, RELOCATED
 - NEW PEDESTRIAN CROSSING SIGNAGE. SEE DETAIL SHEET C41
 - NEW "STOP" SIGN. SEE DETAIL SHEET C41
 - HANDICAP PARKING EXISTING SIGNAGE TO REMAIN
 - "VAN ACCESSIBLE" EXISTING SIGNAGE TO REMAIN
 - "SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
 - "PRINCIPAL PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
 - "ASSISTANT SECRETARY'S PARKING" EXISTING SIGNAGE TO REMAIN
 - "ASSISTANT PRINCIPAL PARKING" EXISTING SIGNAGE TO REMAIN
 - "APD PARKING - ONLY" EXISTING SIGNAGE TO REMAIN
 - TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR
 - CONTRACTOR'S CONSTRUCTION TRAILER
 - NEW "NO RIGHT TURN" SIGN
 - EROSION CONTROL FOR ROOF DRAIN. SEE CIVIL
 - EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - SEE ELECTRICAL FOR NEW EXTERIOR LIGHTING THIS AREA
 - TRASH RECEPTACLE, EXISTING RELOCATED
 - EXISTING BACKFLOW PREVENTER
 - PAINT CURB FACE AND TOP RED FOR FIRE LANE. STENCIL 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10'-0" O.C. FROM RAISED CROSSWALK TO NATALIE AVENUE
 - NEW CHAIN LINK FENCING TO MATCH EXISTING
 - NEW RECYCLED PLASTIC DECKING, "TREX" OR EQUAL
 - PROPERTY LINE
 - NEW HEAVY-DUTY ASPHALT CONCRETE PAVING AT HATCHED AREA. SEE SITE DETAILS
 - DOUBLE YELLOW TRAFFIC STRIPE
 - REFER TO FLOOR PLAN FOR SITEWORK ADJACENT TO BUILDING
 - NEW SIGNAGE "CLEVELAND MID-SCHOOL" TO MATCH SIGNAGE ON "MID-SCHOOL" IN FRONT STYLE AND MATERIAL, BUT LETTER HEIGHT IS ONLY 1'-0" HIGH

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CLEVELAND MIDSCHOOL
ADMINISTRATION ADDITION AND RESTROOM RENOVATIONS
6910 Natalie Avenue NE
Albuquerque, New Mexico 87110

sheet title:
ENLARGED
SITE PLAN

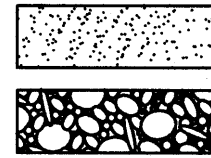
NOV 08 2006
SECTION

FILED
FEB 6 2017
LANDING/RECEIVING SECTION

LEGEND

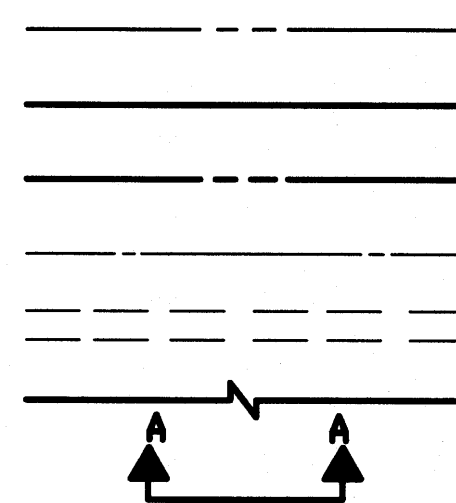
MATERIALS

CONCRETE
RIP-RAP



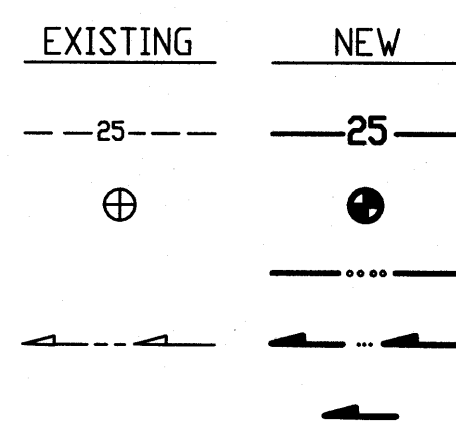
LINES

SUBDIVISION BOUNDARY
PROPERTY LINE (PLAN)
PROPERTY LINE (SECTION)
CENTERLINE
EASEMENT LINE
MATCH LINE
SECTION CUT LINE



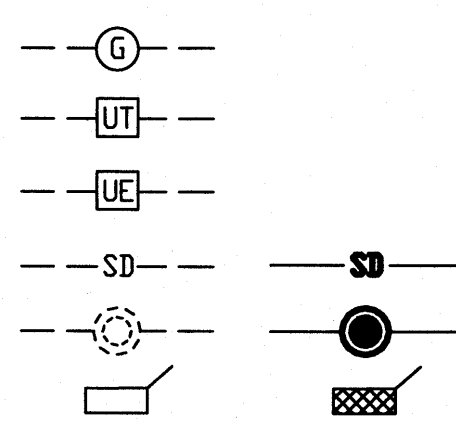
EARTHWORK

CONTOUR LINE
SPOT ELEVATION
PROJECT / PHASE BOUNDARY
FLOWLINE
DIRECTION OF FLOW



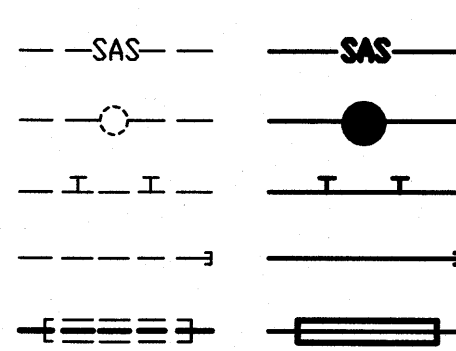
MISCELLANEOUS UTILITIES

GAS LINE
UNDERGROUND TELEPHONE
UNDERGROUND ELECTRICAL
STORM DRAIN
STORM DRAIN MANHOLE
STORM DRAIN INLET



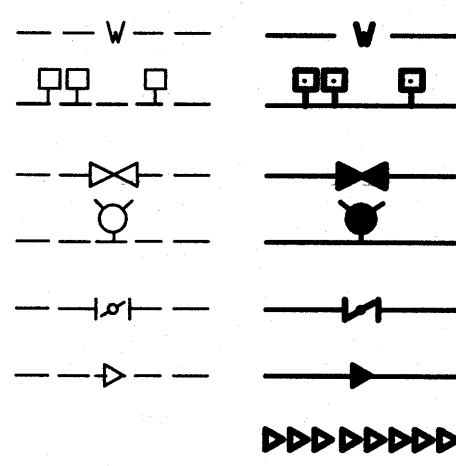
SANITARY SEWER

SANITARY SEWER LINE
SANITARY SEWER MANHOLE
SAS SERVICE CONNECTIONS
SAS CAP OR PLUG
ENCASEMENT



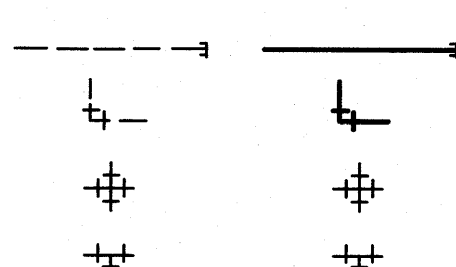
WATER

WATER LINE
WATER SERVICE CONNECTIONS
GATE VALVE
FIRE HYDRANT
BUTTERFLY VALVE
REDUCER
WATER PRESSURE ZONE BOUNDARY



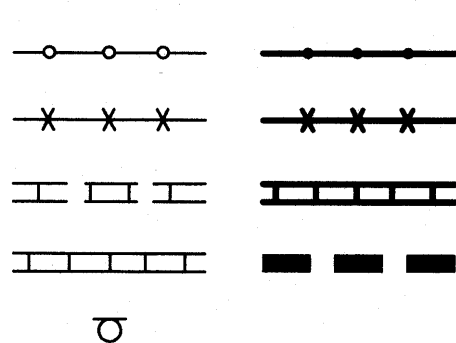
WATER FITTINGS

CAPS AND PLUGS
ELBOW
CROSS
TEE



MISCELLANEOUS

CHAINLINK FENCE
FIELD FENCE
COMMON YARD WALL
RETAINING WALL
POWER OR TELEPHONE POLE



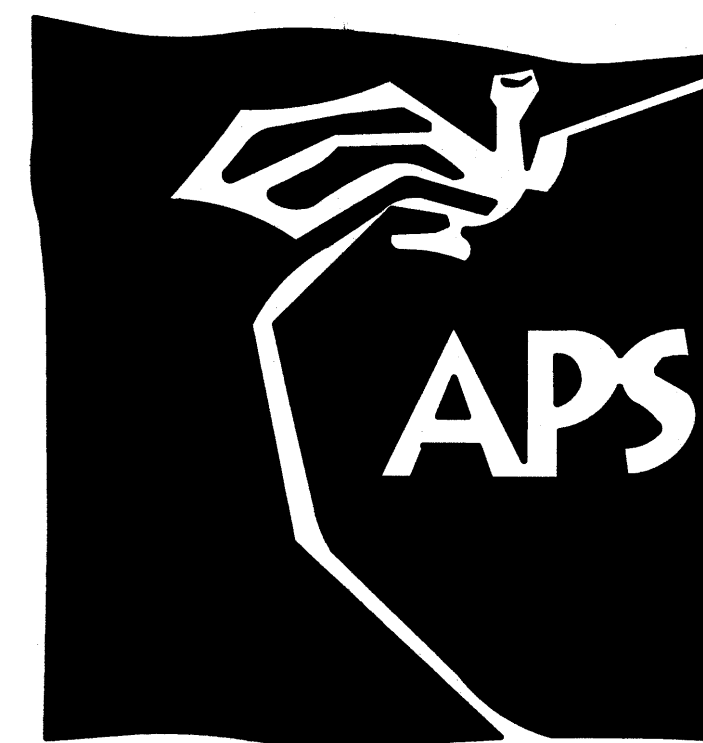
CONSTRUCTION PLANS

for

TRACK AND FIELD IMPROVEMENTS CLEVELAND MIDDLE SCHOOL

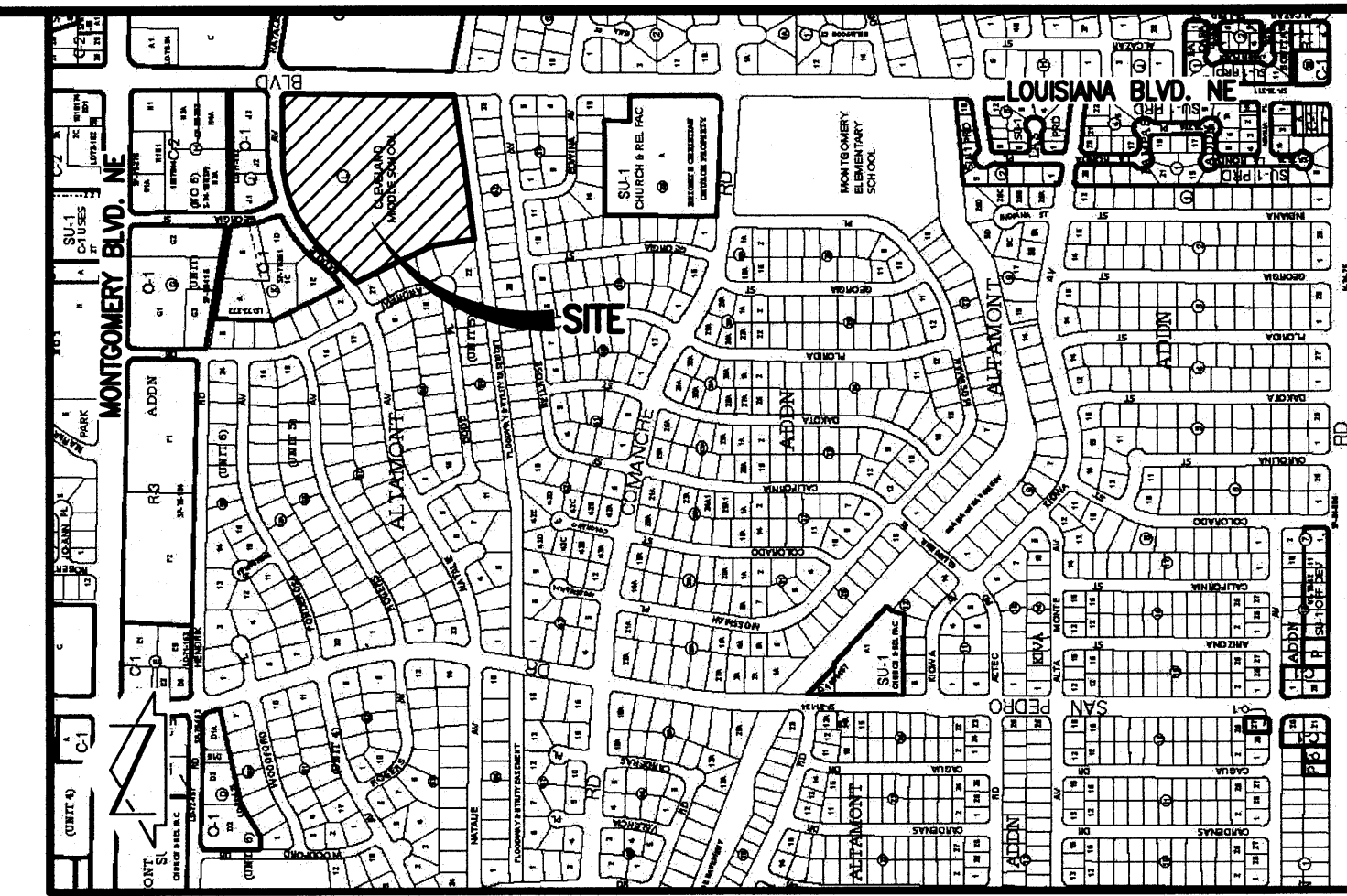
6910 NATALIE AVENUE N.E.
ALBUQUERQUE, NEW MEXICO

FEBRUARY, 2017



INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	COVER SHEET, VICINITY MAP, GENERAL NOTES AND INDEX OF DRAWINGS
2	DEMOLITION PLAN
3	SITE PLAN
4	PAVING SECTIONS AND DETAILS
5	GRADING PLAN
6	DRAINAGE SECTIONS AND DETAILS
7	DRAINAGE PLAN AND CALCULATIONS
8	EROSION AND SEDIMENT CONTROL PLAN
9	EROSION AND SEDIMENT CONTROL PLAN SECTIONS AND DETAILS



E6 VICINITY MAP
SCALE: 1"=750'

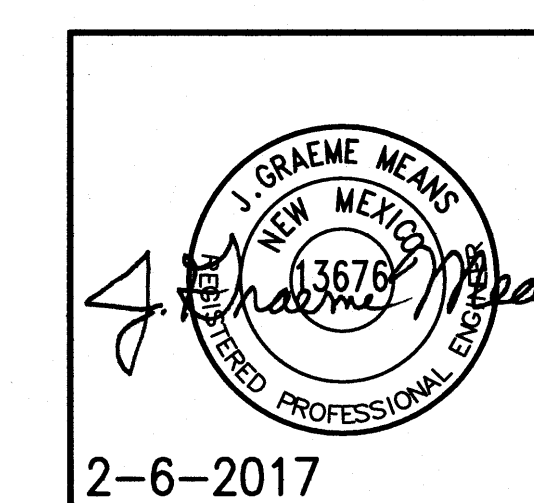
G-18

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, (REVISED 12/06).
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 811 FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, REVIEW OF AVAILABLE CITY OF ALBUQUERQUE DISTRIBUTION DRAWINGS, APS RECORD DRAWINGS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (APS-SUE 2016.0505). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 16N230451). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF, AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, TOPSOIL DISTURBANCE PERMIT FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

JOB NO. 2016.180.3

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
APPROVAL OF REVISIONS							



HIGH MESA Consulting Group
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6010-B Alameda Park Blvd., NE Albuquerque, New Mexico 87109
Phone: 505.246.4200 • Fax: 505.246.4204 • www.hghmesa.com

APPROVED FOR
CONSTRUCTION

C.E.

2-6-2017

SHEET 1 OF 9

**DEMOLITION PLAN
TRACK AND FIELD IMPROVEMENTS
CLEVELAND MIDDLE SCHOOL
6910 NATALIE AVENUE N.E.**

LEGEND

AP	ASPHALT PAVEMENT
BBS	BASKETBALL GOAL
BOH	BUILDING OVERHANG
BR	BICYCLE RACK
C&G	CURB AND GUTTER
CAN	SECURITY CAMERA
CDP	CONCRETE DRIVE PAD
CF	CONCRETE HEADER CURB
CHW	CONCRETE HEAD WALL
CI	CAST IRON PIPE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CND	CONCRETE MASONRY WALL
CO	CONDUIT
CONC	CONCRETE
CRD	CONCRETE RUNDOWN
CS	CONCRETE STEPS
CSW	CONCRETE SIDEWALK
DBL	DOUBLE
DYS	PAINTED DOUBLE YELLOW TRAFFIC STRIPE
E/PM	ELECTRIC LINE BY PAINT MARK
EA	EDGE OF ASPHALT
EPB	ELECTRIC PULLBOX
FBC	FUCKER BALL GOAL
FL	FLOWLINE
FOP	FENCE OPENING
G/PM	GAS LINE BY PAINT MARK
GPR	GAS PRESSURE REGULATOR
GRV	LANDSCAPING GRAVEL
GS	GAS SERVICE
GT	GATE
GW	CLUT WIRE ANCHOR
ICB	IRRIGATION CONTROL BOX
VB	IRRIGATION VALVE BOX
LSD	METAL LANDSCAPING DIVIDER
MBC	METAL BUILDING COLUMN
MBCN	METAL BENCH
MC/BIB	METER CAN WITH BIG VALVE
MH	MANHOLE
MHR	METAL HANDRAIL
MLN	METAL LANDING
MPT	METAL PICNIC TABLE
MR	METAL RAMP
MS	METAL STAIRS
MTC	METAL TRASH CAN
OHC(1)	OVERHEAD COMMUNICATION (# OF LINES)
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
OHM	OVERHEAD UTILITY MAST
PD	STEEL PEDESTAL
RD	BUILDING ROOF DRAIN
SAS	SANITARY SEWER
SDI	STORM DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SP	STEEL POLE
SW	CONCRETE SIDEWALK
SYS	PAINTED DASHED YELLOW TRAFFIC STRIPE
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCC	TOP OF CONCRETE CHANNEL
TCO	TOP OF CONCRETE
TS	TRAFFIC SIGN
TW	TOP OF WALL
VC	CONCRETE VALLEY GUTTER
W/PM	WATER LINE BY PAINT MARK
WCP	WOOD COMMUNICATION POLE
WCR	CONCRETE WHEELCHAIR RAMP
WLX	WATER LINE EXPOSED
WPP	WOOD POWER POLE
*	PAINTED UTILITY MARKER
1.0' Ø	DIAMETER OF TREE
	DECIDUOUS TREE
	SHRUB
	YUCCA
	PROPOSED CONCRETE PAVING
	PROPOSED ASPHALT PAVING
	PROPOSED TURF GRASS (FIELD)
	STABILIZED CRUSHER FINES PATH

BENCHMARKS

- PROJECT BENCHMARK**
A 3" BRASS DISK STAMPED "11-019", SET FLUSH WITH THE GROUND, NEAR THE SOUTHEAST QUADRANT OF THE INTERSECTION OF LOUISIANA BOULEVARD AND VERANDA ROAD N.E.
ELEVATION = 5309.898 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #1 (T.B.M.)**
A MAG NAIL W/WASHER SET IN ASPHALT, NEAR THE SOUTHWEST CORNER OF THE BAND BUILDING, AS SHOWN ON THIS SHEET.
ELEVATION = 5291.16 FEET (NAVD 88)
- TEMPORARY BENCHMARK #2 (T.B.M.)**
A MAG NAIL W/WASHER SET IN AN ASPHALT PATH, NEAR THE NORTHEAST CORNER OF A BASKETBALL COURT, AS SHOWN ON THIS SHEET.
ELEVATION = 5288.31 FEET (NAVD 88)
- TEMPORARY BENCHMARK #3 (T.B.M.)**
A CHISELED "1" SET IN A CONCRETE BASKETBALL COURT, NEAR THE SOUTHERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 5287.63 FEET (NAVD 88)

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, REVIEW OF AVAILABLE CITY OF ALBUQUERQUE DISTRIBUTION MAPS, APS RECORD DRAWINGS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (APS-SUE 2016.0505). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE-CALL SERVICE (TICKET NO. 16W230451). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION KEYED NOTES:

- REMOVE AND DISPOSE OF CONCRETE BASKETBALL COURT
- REMOVE AND RETURN BASKETBALL GOALS TO OWNER (OWNER HAS FIRST RIGHT OF SALVAGE)
- REMOVE AND RELOCATE METER CAN, SEE LANDSCAPE PLANS
- REMOVE AND RELOCATE IRRIGATION VALVE BOXES, SEE LANDSCAPE PLANS
- REMOVE AND RETURN METAL TRASH CAN TO OWNER
- REMOVE AND RETURN FLYCKER BALL GOALS TO OWNER (OWNER HAS FIRST RIGHT OF SALVAGE)
- REMOVE AND RETURN WOOD POWER POLE TO OWNER (OWNER HAS FIRST RIGHT OF SALVAGE)
- NEATLY SAWCUT EXISTING ASPHALT PAVEMENT
- REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT
- EXISTING POWER POLE TO REMAIN
- EXISTING STORM DRAIN / SANITARY SEWER MANHOLE TO REMAIN
- EXISTING CHAIN LINK FENCE TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN

SURVEY NOTE:

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 12/21/2016 (2016.180.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 12/21/2016 (2016.180.1).



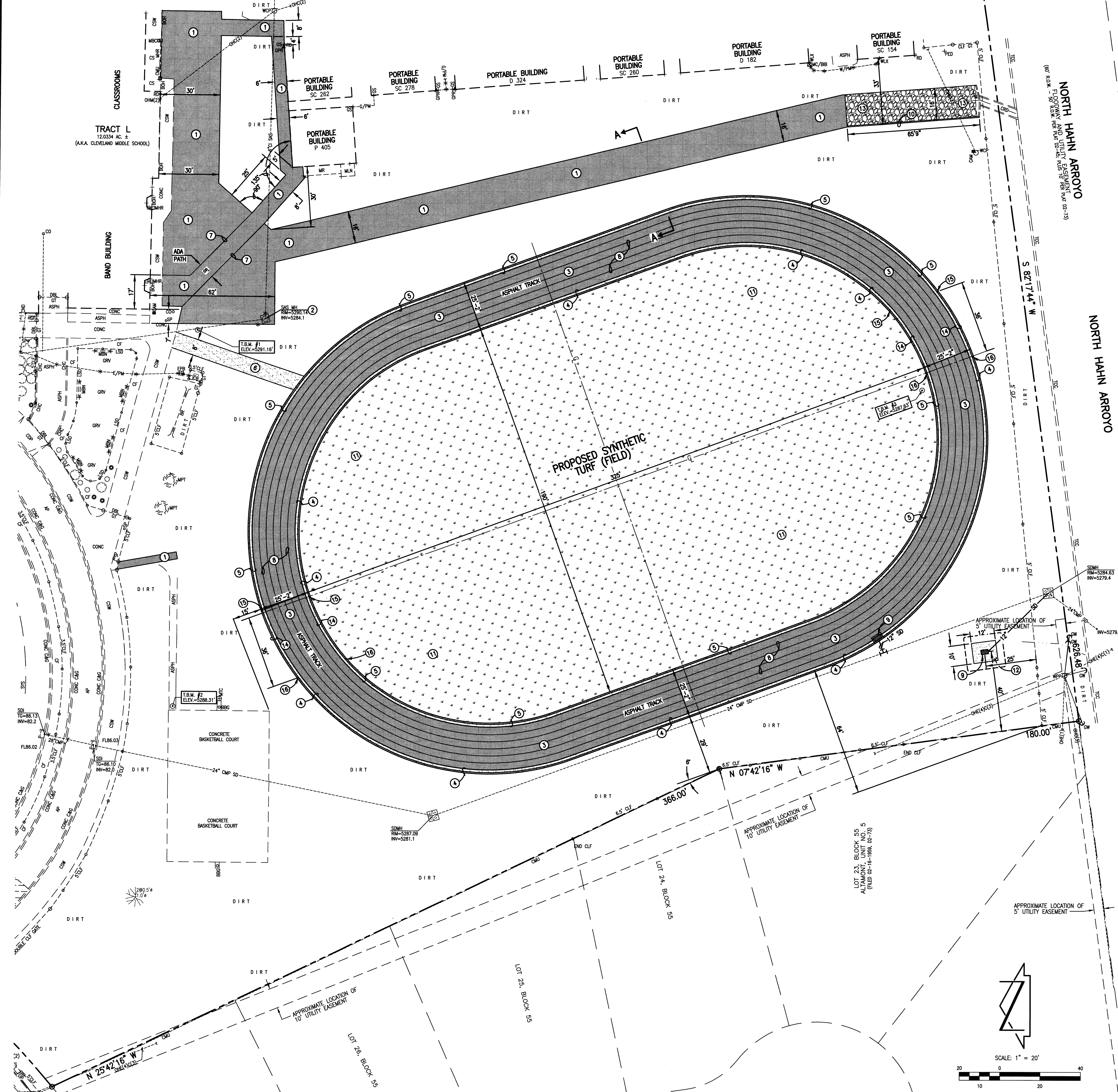
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APPROVED BY	G.M.	DATE	02-03-2017	BY		DATE	02-03-2017
REVISIONS							
JOB NO.	2016.180.3						
SHEET	2	OF	9				

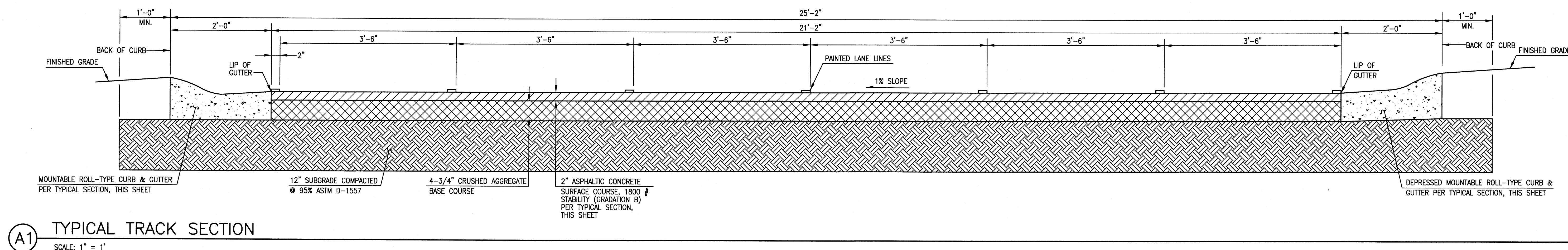
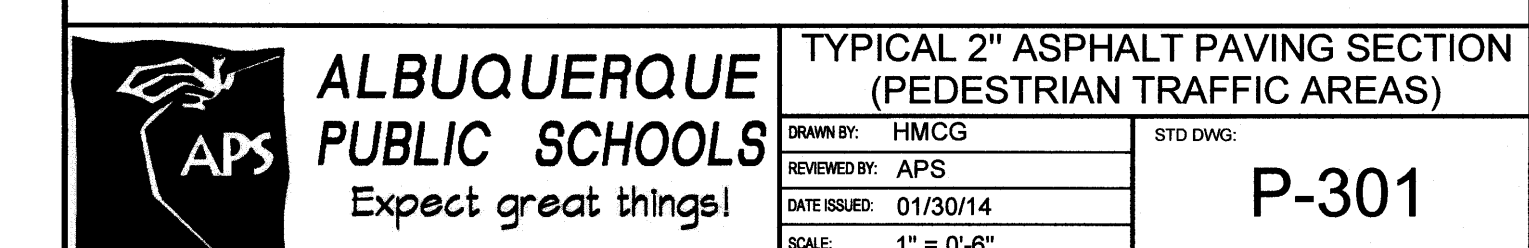
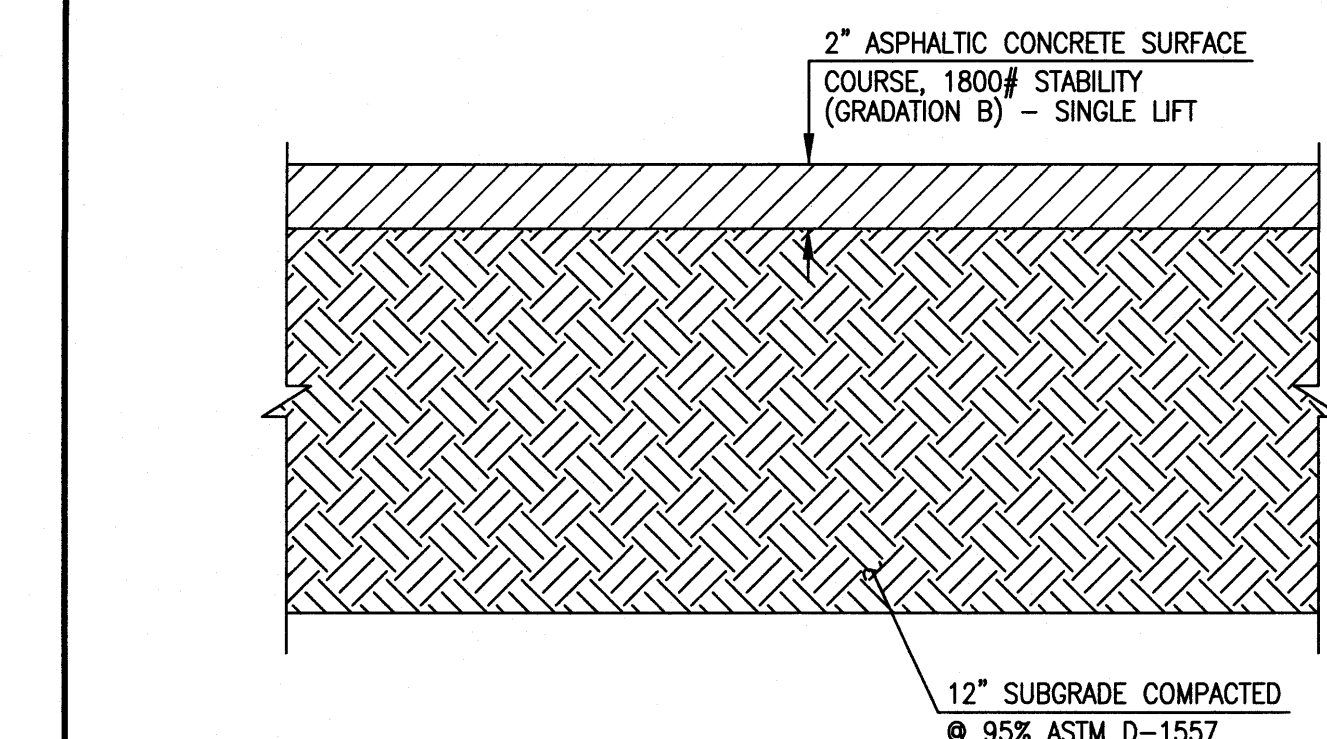
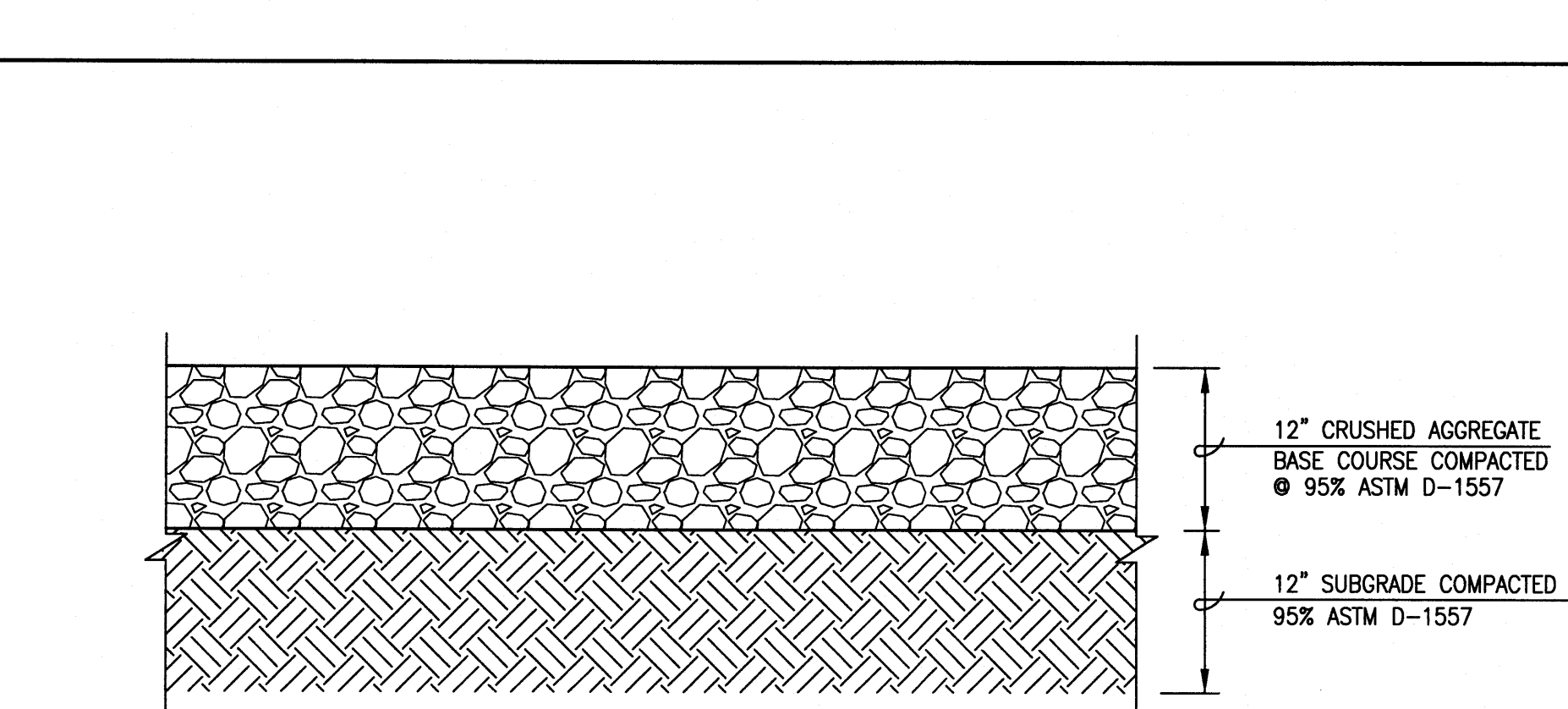
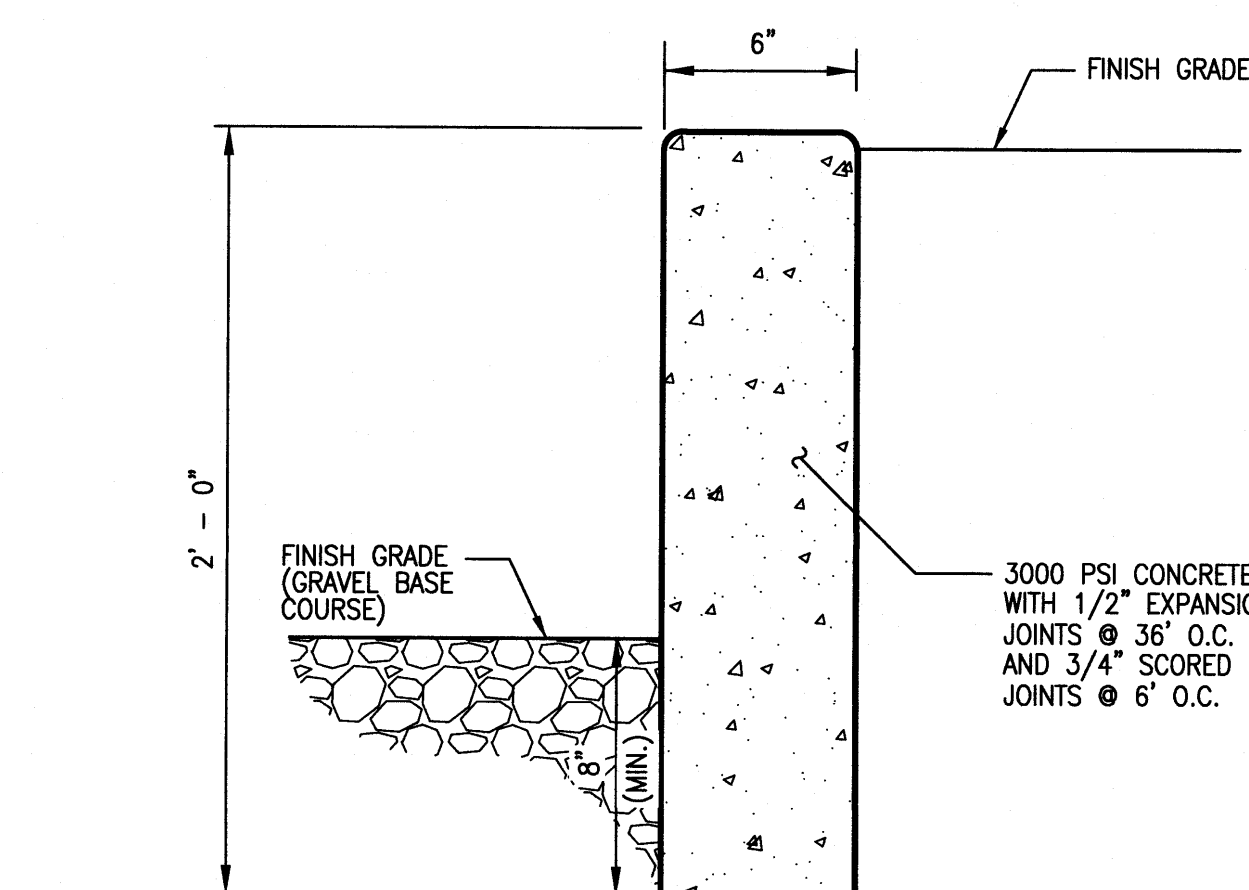
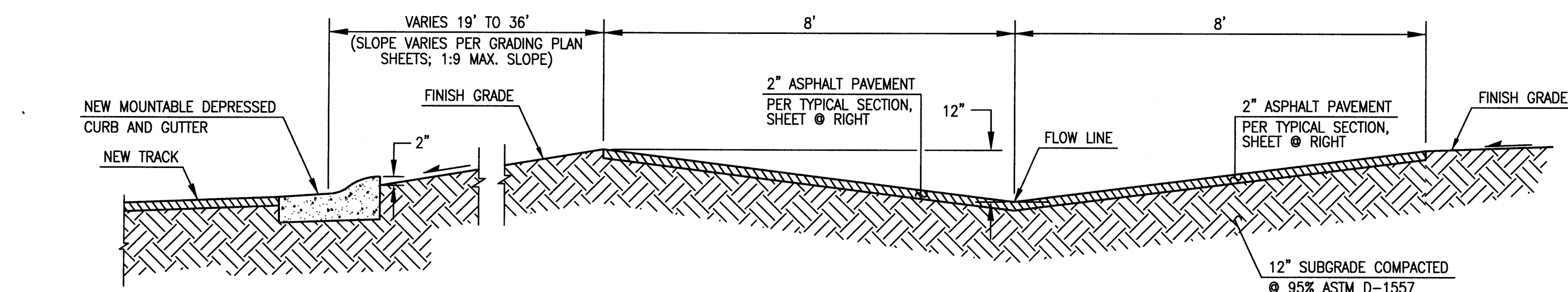
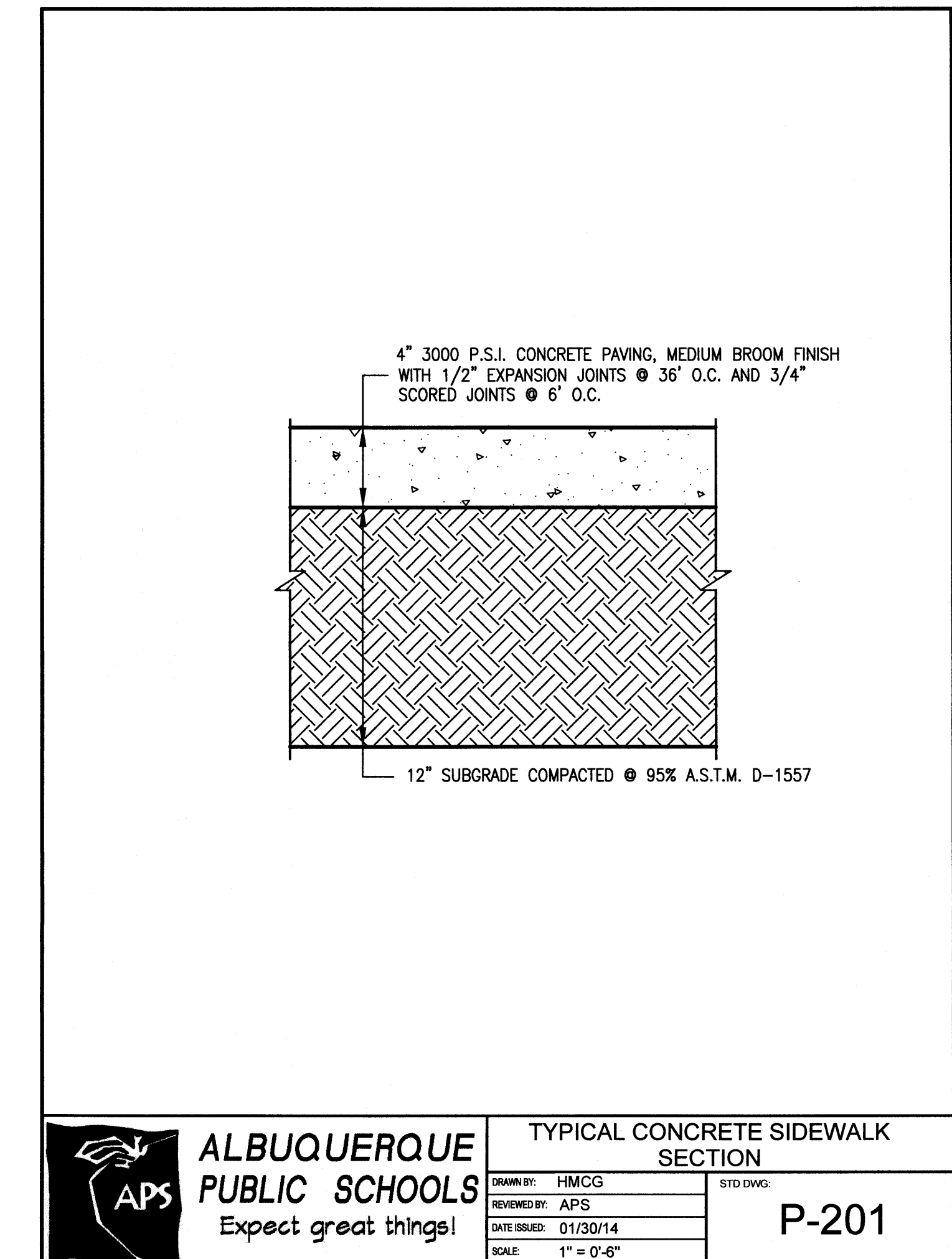
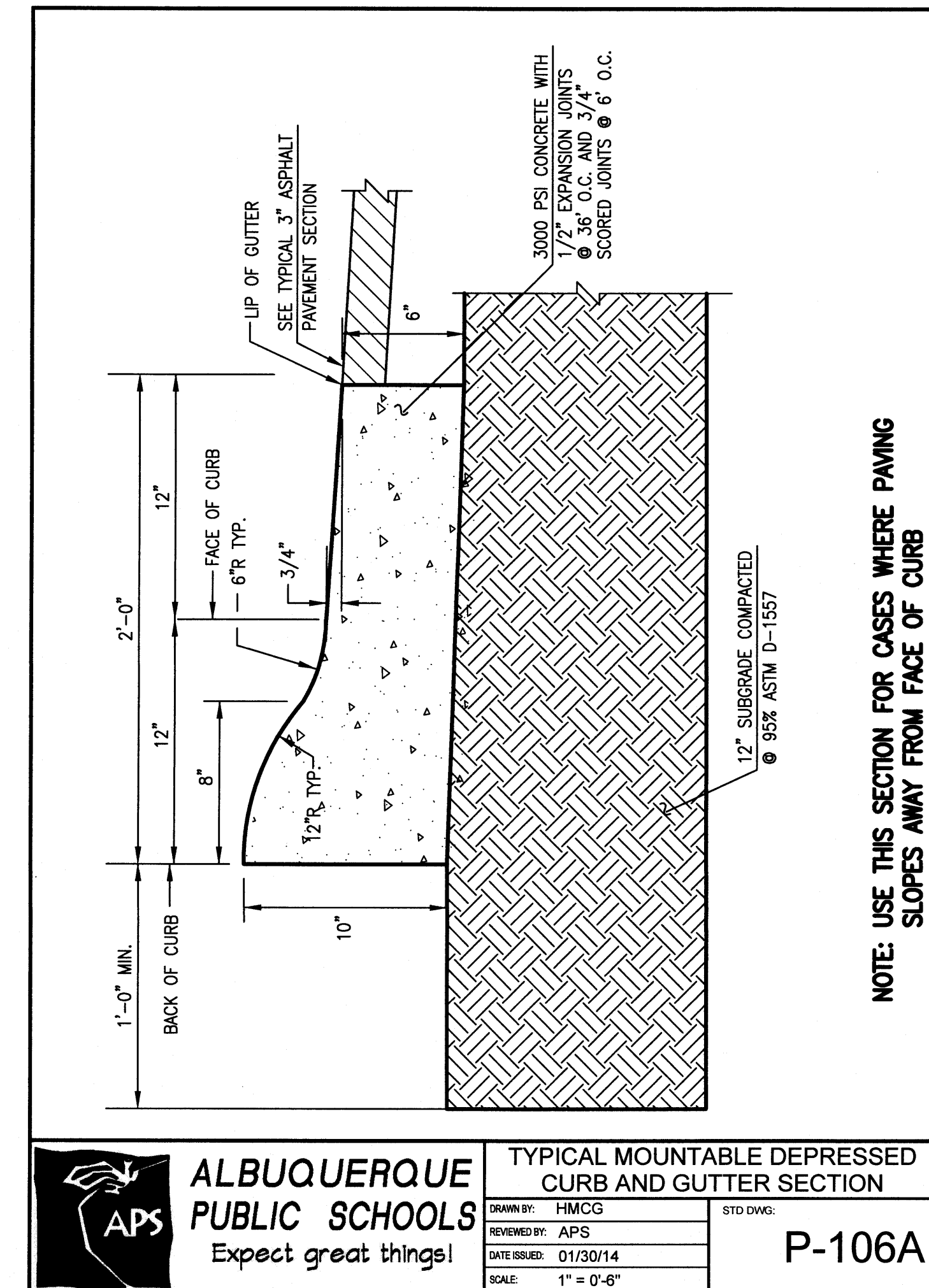
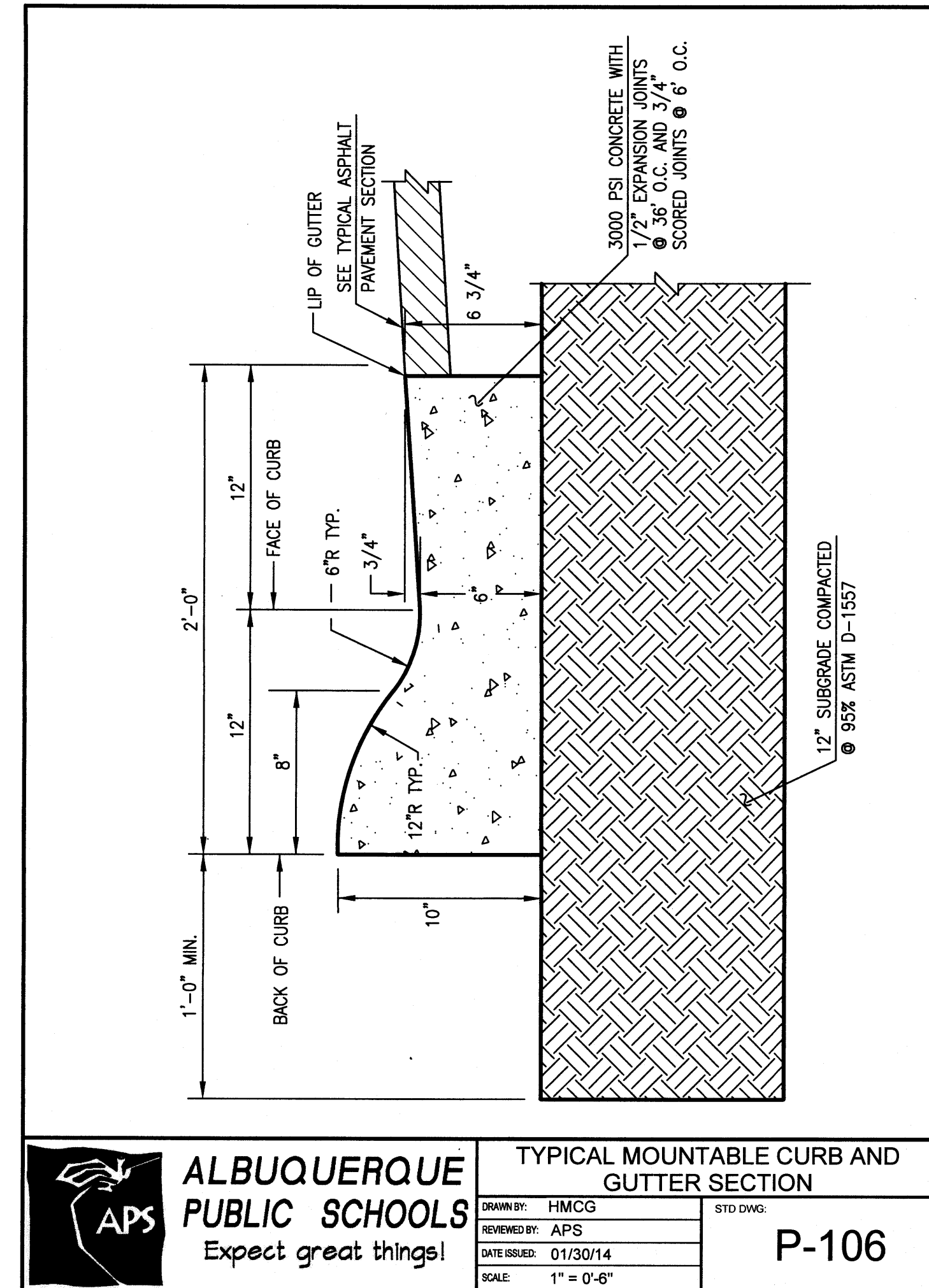
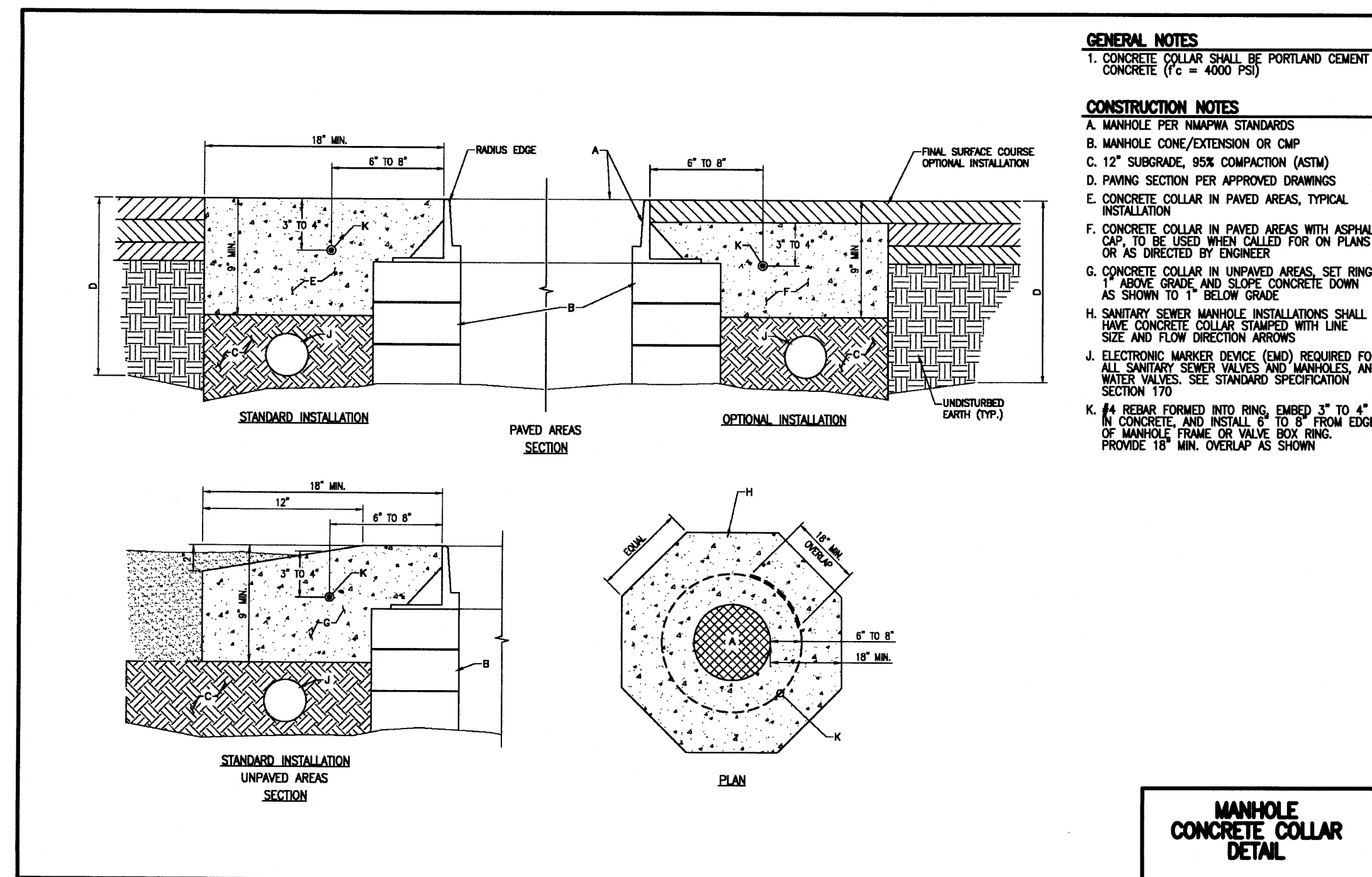
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File Name: 161803_Site3.DWG Plot Time: 09:45 am

HIGH MESA Consulting Group
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6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.346.4260 • Fax: 505.346.4264 • www.highmesaeng.com

**SITE PLAN
TRACK AND FIELD IMPROVEMENTS
CLEVELAND MIDDLE SCHOOL
6910 NATALIE AVENUE N.E.**

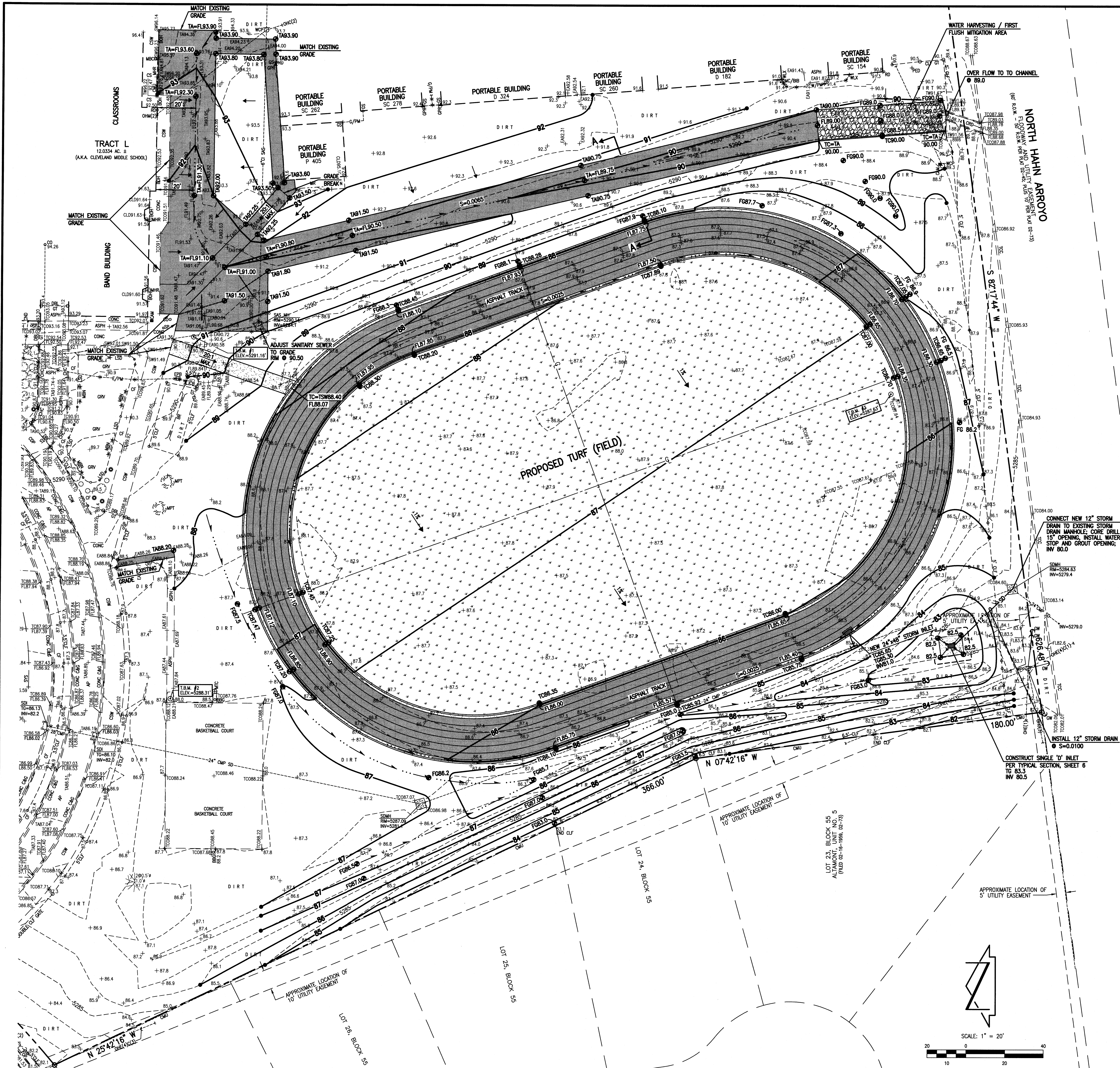
LEGEND				BENCHMARKS	
AP	ASPHALT PAVEMENT	PROJECT BENCHMARK A 3" BRASS DISK STAMPED "11-919", SET FLUSH WITH THE GROUND, NEAR THE SOUTHWEST QUADRANT OF THE INTERSECTION OF LOUISIANA BOULEVARD AND VERANDA ROAD N.E. ELEVATION = 5309.898 FEET (NAVD 1988)		TEMPORARY BENCHMARK #1 (T.B.M.)	
BBG	BASKETBALL GOAL			A MAG NAIL W/WASHER SET IN ASPHALT, NEAR THE SOUTHWEST CORNER OF THE BAND BUILDING, AS SHOWN ON THIS SHEET. ELEVATION = 5291.16 FEET (NAVD 88)	
BR	BUILDING OVERHANG	TEMPORARY BENCHMARK #2 (T.B.M.)		A MAG NAIL W/WASHER SET IN AN ASPHALT PATH, NEAR THE NORTHEAST CORNER OF A BASKETBALL COURT, AS SHOWN ON THIS SHEET. ELEVATION = 5288.31 FEET (NAVD 88)	
C&G	CURB AND GUTTER			TEMPORARY BENCHMARK #3 (T.B.M.)	
CAM	SECURITY CAMERA	CONSTRUCTION NOTES:		1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES. 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE. 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES. 5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, REVIEW OF AVAILABLE CITY OF ALBUQUERQUE DISTRIBUTION MAPS, APS RECORD DRAWINGS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (HMC) (2016.0505). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 161803451). LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE CONTRACTOR SHALL CONDUCT ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITIES. THIS INVESTIGATION IS NOT CONCLUSIVE AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES. 6. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.	
CHC	CONCRETE DRIVE PAD			EROSION CONTROL MEASURES:	
CHW	CONCRETE CRUISER FINES			1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET. 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.	
CI	CAST IRON PIPE	SITE KEYED NOTES:		① CONSTRUCT 2" ASPHALT PAVEMENT PER TYPICAL SECTION, SHEET 4 ② ADJUST EXISTING SANITARY SEWER MANHOLE TO GRADE AND INSTALL CONCRETE COLLAR PER TYPICAL DETAIL, SHEET 4 ③ CONSTRUCT ASPHALT TRACK PER TYPICAL SECTION, SHEET 4 ④ CONSTRUCT MOUNTABLE ROLL CURB PER TYPICAL SECTION, SHEET 4 ⑤ CONSTRUCT MOUNTABLE ROLL CURB (DEPRESSED) PER TYPICAL SECTION, SHEET 4 ⑥ CONSTRUCT CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET 4 ⑦ INSTALL 4" PAINTED "ACCESSIBLE PATH" LINES WITH WHITE PAINT (TRAFFIC RATED OR APPROVED SUBSTITUTE) ⑧ INSTALL 2" PAINTED LANE LINES WITH WHITE PAINT (TRAFFIC RATED OR APPROVED SUBSTITUTE), MINIMUM 2 COATS ⑨ NEW 24"x48" STORM INLET, SEE GRADING PLAN, SHEET 5 ⑩ CONSTRUCT CONCRETE HEADER CURB PER TYPICAL SECTION, SHEET 4 ⑪ NEW SYNTHETIC TURF FIELD, SEE LANDSCAPE PLANS ⑫ CONSTRUCT CONCRETE APRON PER SECTION, SHEET 4 ⑬ INSTALL 12" AGGREGATE BASE COURSE PER TYPICAL SECTION, SHEET 4 ⑭ TRANSITION FROM MOUNTABLE (STANDARD) CURB TO MOUNTABLE (DEPRESSED) CURB ⑮ BEGIN CURB TRANSITION ⑯ END CURB TRANSITION	
CLF	CORRUGATED METAL PIPE			SURVEY NOTE:	
CMU	CONCRETE MASONRY WALL			THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 12/21/2016 (2016.180.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 12/21/2016 (2016.180.1).	
CND	CLEANOUT	PAINTED UTILITY MARKER		1.0' Ø	
CO	CONDUIT			DIAMETER OF TREE	
CONC	CONCRETE	DECIDUOUS TREE		SHRUB	
CSD	CONCRETE RUNDOWN			YUCCA	
CS	CONCRETE STEPS	PROPOSED CONCRETE PAVING		PROPOSED ASPHALT PAVING	
CSW	CONCRETE SIDEWALK			PROPOSED SYNTHETIC TURF (FIELD)	
DBL	DOUBLE	PROPOSED BASE COURSE			
DYS	PAINTED DOUBLE YELLOW TRAFFIC STRIPE				
E/PM	E/PM				
EA	EDGE OF ASPHALT				
EPB	ELECTRIC PULLBOX				
FBC	FLUCKER BALL GOAL				
FL	FLOWLINE				
FOP	FENCE OPENING				
G/PM	GAS LINE BY PAINT MARK				
GPR	GAS PRESSURE REGULATOR				
GRV	LANDSCAPING GRAVEL				
GS	GATE				
GW	GUY WIRE ANCHOR				
ICB	IRRIGATION CONTROL BOX				
IRV	IRRIGATION VALVE BOX				
LSD	METAL LANDSCAPING DIVIDER				
MB	METAL BUILDING COLUMN				
MBV	METAL BENCH				
MC/BIB	METER CAN WITH BIB VALVE				
MH	MANHOLE				
MHR	METAL HANDRAIL				
MLN	METAL LANDING				
MPT	METAL PAVING TABLE				
MR	METAL RAMP				
MS	METAL STAIRS				
MTC	METAL TRASH CAN				
OHC(1)	OVERHEAD COMMUNICATION (# OF LINES)				
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)				
OHM	OVERHEAD UTILITY MAST				
PE	PEDESTAL				
RD	BUILDING ROOF DRAIN				
SAS	SANITARY SEWER				
SD	STORM DRAIN				
SDI	STORM DRAIN INLET				
SDMH	STORM DRAIN MANHOLE				
SP	STEEL POLE				
SW	CONCRETE SIDEWALK				
SYS	PAINTED DASHED YELLOW TRAFFIC STRIPE				
TA	TOP OF ASPHALT				
TC	TOP OF CONCRETE				
TCC	TOP OF CONCRETE CHANNEL				
TG	TOP OF GRATE				
TS	TRAFFIC SIGN				
TW	TOP OF WALL				
VG	CONCRETE VALLEY GUTTER				
W/PM	WATER LINE BY PAINT MARK				
WCP	WOOD COMMUNICATION POLE				
WCR	CONCRETE WHEELCHAIR RAMP				
WLX	WATER LINE EXPOSED				
WPP	WOOD POWER POLE				





GRADING PLAN
TRACK AND FIELD IMPROVEMENTS
CLEVELAND MIDDLE SCHOOL
6910 NATALIE AVENUE N.E.

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.D.S.	02-2017			2016.180.3
DRAWN BY	DATE	BY	REVISIONS	JOB NO.
J.Y.R./S.C.C.	02-2017			2016.180.3
APPROVED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	02-2017			2016.180.3



LEGEND		BENCHMARKS
AP ASPHALT BBG BASKETBALL COURT BOH BUILDING OVERHANG BR BICYCLE RACK C&G CURB AND GUTTER CAM SECURITY CAMERA COP CONCRETE DRIVE PAD CHC LANDSCAPING CRUSHER FINES CHW CONCRETE HEADER CURB CI CONCRETE HEAD WALL CLF CAST IRON PIPE CNP CORRUGATED METAL PIPE CMU CONCRETE MASONRY WALL CND CONDUIT CO CLEANOUT CONC CONCRETE CS CONCRETE STEPS CSW CONCRETE SIDEWALK DBL DOUBLE DYS PAINTED DOUBLE YELLOW TRAFFIC STRIPE E/PM ELECTRIC LINE BY PAINT MARK EA EDGE OF ASPHALT EPB FLICKER BALL SIGNAL FBL FLOWLINE FOP FENCE OPENING G/LP GAS LINE BY PAINT MARK G/PM GAS PRESSURE REGULATOR GRV LANDSCAPING GRAVEL GS GAS SERVICE GT GATE GW GUY WIRE ANCHOR ICB IRRIGATION CONTROL BOX IVB IRRIGATION VALVE BOX LSD METAL LANDSCAPING DIVIDER MBC METAL BUILDING COLUMN MBI METAL BENCH MC/MIB METER CAN WITH BIB VALVE MH MANHOLE MHR METAL HANDRAIL MLN METAL LANDING MPT METAL PICNIC TABLE MR METAL RAMP MS METAL STAIRS MTC METAL TRASH CAN OH(1) OVERHEAD COMMUNICATION (1 OF LINES) OH(2) OVERHEAD ELECTRIC (2 OF LINES) OHM OVERHEAD UTILITY MAST PED STEEL PEDESTAL RSD BUILDING ROOF DRAIN SAS SANITARY SEWER SDI STORM DRAIN INLET SDM STORM DRAIN MANHOLE SDMHP STORM DRAIN MANHOLE SW CONCRETE SIDEWALK SYS SYSTEM TA TOP OF ASPHALT TC TOP OF CONCRETE CHANNEL TCC TOP OF CONCRETE TGO TOP OF GRADE TIS TOP OF SIGN TW TOP OF WALL TVG CONCRETE VALLEY GUTTER W/PM WATER LINE BY PAINT MARK WCR WOOD COMMUNICATION POLE WCR CONCRETE WHEELCHAIR RAMP WEX WATER LINE EXPOSED WFP WATER POWER POLE		PROJECT BENCHMARK A 1" BRASS DISK STAMPED "11-C19" SET FLUSH WITH THE GROUND, NEAR THE SOUTHEAST QUADRANT OF THE INTERSECTION OF LOUISIANA BOULEVARD AND VERANDA ROAD N.E. ELEVATION = 5309.898 FEET (NAVD 1988) TEMPORARY BENCHMARK #1 (T.B.M.) A MAG NAIL W/ WASHER SET IN ASPHALT, NEAR THE SOUTHWEST CORNER OF THE BAND BUILDING, AS SHOWN ON THIS SHEET. ELEVATION = 5291.16 FEET (NAVD 88) TEMPORARY BENCHMARK #2 (T.B.M.) A MAG NAIL W/ WASHER SET IN AN ASPHALT PATH, NEAR THE NORTHEAST CORNER OF A BASKETBALL COURT, AS SHOWN ON THIS SHEET. ELEVATION = 5288.31 FEET (NAVD 88) TEMPORARY BENCHMARK #3 (T.B.M.) A CHISELED "H" SET IN A CONCRETE BASKETBALL COURT, NEAR THE SOUTHERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5287.63 FEET (NAVD 88)
CONSTRUCTION NOTES: 1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES. 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE. 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES. 5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE ELEVATION, REVIEW OF AVAILABLE CITY OF ALBUQUERQUE DISTRIBUTION MAPS, APS RECORD DRAWINGS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (APS-SUE 2016.0505). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 16N230451). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES. 6. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.		EROSION CONTROL MEASURES: 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET. 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

SURVEY NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 12/21/2016 (2016.180.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 12/21/2016 (2016.180.1).

2-6-2017
J. D. S.
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
161803

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE NORTHEAST HEIGHTS, REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. THE PROPOSED DEVELOPMENT IS COMPOSED OF REPLACING AN EXISTING DIRT TRACK AND GRASS FIELD WITH A NEW ASPHALT PAVED TRACK AND SYNTHETIC TURF FIELD, ALONG WITH ASSOCIATED GRADED AND PAVED DRAINAGE IMPROVEMENTS TO IMPROVE ONSITE DRAINAGE. THE DRAINAGE CONCEPT FOR THIS PROJECT WILL BE THE CONTINUED FREE DISCHARGE OF DEVELOPED RUNOFF TO THE ADJACENT NORTH HAHN ARROYO.

THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING AND PAVING PERMIT TO BE ISSUED BY THE CITY OF ALBUQUERQUE.

II. PROJECT DESCRIPTION

AS SHOWN BY PANEL 139 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED SEPTEMBER 28, 2008, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. THIS SITE IS SITUATED IMMEDIATELY UPSTREAM AND ADJACENT TO THE AMARCA OWNED AND OPERATED NORTH HAHN ARROYO. THE ARROYO IS A DESIGNATED ZONE 'A' FLOOD ZONE WHERE THE 100 YEAR FLOOD IS CONTAINED WITHIN THE CONSTRUCTED CHANNEL.

III. BACKGROUND DOCUMENTS AND RESEARCH

THE PREPARATION OF THIS SUBMITTAL RELIED UPON THE FOLLOWING DOCUMENTS:

- GRADING AND DRAINAGE PLAN PREPARED BY C.L. WEISS ENGINEERING, INC DATED 5/26/1994. THIS 1994 ESTABLISHED THE PRECEDENT FOR FREE DISCHARGE FROM THE DEVELOPED SITE TO THE NORTH HAHN ARROYO VIA BOTH SURFACE DISCHARGE RELEASE AT THE SOUTHWEST CORNER OF THE PORTABLE PARK, AND A PRIVATE 24" STORM DRAIN THAT DISCHARGES DIRECTLY INTO THE ARROYO.
- TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 12/21/2016. THE SURVEY PROVIDES THE EXISTING CONDITIONS FOR THIS PROJECT.

IV. EXISTING CONDITIONS

THE EXISTING PROJECT SITE CONSISTS OF A GRASS FIELD WITH DIRT TRACK AT THE SOUTHWEST CORNER OF THE SCHOOL SITE. THIS AREA GENERALLY DRAINS FROM NORTHEAST TO SOUTHWEST, WITH AN EXISTING DIRT BERM AT THE WEST EDGE OF THE SIDE REDIRECTING RUNOFF SOUTH TO THE SOUTHWEST CORNER OF THE SITE WHERE IT DISCHARGES FROM THE SITE VIA SHEET FLOW INTO THE NORTH HAHN ARROYO. HOWEVER, SEVERAL PORTIONS OF THE DIRT BERM HAVE ERODED AND BREACHED, ALLOWING RUNOFF TO FLOW AGAINST AND IMPACTING EXISTING RESIDENTIAL WALLS BETWEEN THE SCHOOL AND NEIGHBORING PROPERTIES TO THE WEST, A HISTORICAL PROBLEM.

IN ADDITION, RUNOFF FROM THE PORTABLE PARK TO THE EAST AND PORTIONS OF THE ROOF RUNOFF TO THE NORTHEAST CURRENTLY SHEETFLOW ONTO THE FIELD. PER THE 1994 PLAN, A GRADED FLOWLINE BETWEEN THE PORTABLE PARK AND THE FIELD WAS INTENDED TO DIVERT AND DIRECT RUNOFF FROM THE PORTABLE PARK SOUTH TO A CONCRETE HEADWALL AND CONCRETE ROUNDABOUT AT THE SOUTHEAST CORNER OF THE TRACK AND FIELD. THE EXISTING CONCRETE ROUNDABOUT DISCHARGES RUNOFF INTO THE NORTH HAHN ARROYO. HOWEVER, THIS FLOWLINE HAS ERODED OVER TIME AND NO LONGER SERVES AS ORIGINALLY INTENDED.

A PRIVATE 24" STORM DRAIN EXTENDS THROUGH THE PROJECT SITE FROM THE SCHOOL PARKING LOT NORTH OF THE FIELD TO THE HAHN ARROYO TO THE SOUTH. PER THE 1994 GRADING PLAN REFERENCED ABOVE, THIS STORM DRAIN WAS INTENDED NOT ONLY TO CONVEY RUNOFF FROM THE SCHOOL BUILDINGS AND PARKING LOT RUNOFF TO THE NORTH, BUT ALSO THE TRACK AND FIELD RUNOFF VIA A PROPOSED STORM DRAIN INLET AT THE LOW POINT OF THE FIELD. HOWEVER, THIS STORM INLET WAS NEVER CONSTRUCTED.

THERE ARE NO APPARENT OFFSITE FLOWS THAT IMPACT THE PROJECT SITE, AS THE SITE IS TOPOGRAPHICALLY HIGHER THAN THE NEIGHBORING PROPERTY TO THE WEST AND THE PUBLIC STREET (NATALIE ROAD) TO THE NORTH. RUNOFF IN LOUISIANA BLVD TO THE EAST IS FULLY CONTAINED WITHIN THE PUBLIC STREET, AND THE 100 YEAR FLOOD ZONE ASSOCIATED WITH THE NORTH HAHN ARROYO IS CONTAINED THEREIN.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF CONSTRUCTION OF A NEW SYNTHETIC TURF FIELD AND ASPHALT PAVED TRACK, WITH ASSOCIATED PRIVATE STORM DRAIN IMPROVEMENTS TO DISCHARGE RUNOFF FROM THE TRACK AND FIELD INTO THE EXISTING 24" PRIVATE STORM DRAIN. A NEW GRADED BERM ALONG THE WEST EDGE OF THE SITE WILL PROTECT THE EXISTING NEIGHBORING RESIDENTIAL WALLS, DIVERTING ALL REMAINING STORMWATER RUNOFF FROM THIS PORTION OF THE SCHOOL SITE AND DRAINING IT TO A NEW WATER HARVESTING AREA AT THE FAR SOUTHWEST CORNER OF THE SITE. THIS WATER HARVESTING AREA WILL ACT AS A PERMANENT SEDIMENT DETENTION BASIN TO HELP CAPTURE AND MITIGATE FIRST FLUSH RUNOFF TO THE MAXIMUM EXTENT PRACTICABLE, WITH STORMWATER OVERFLOWING INTO A NEW, RAISED STORM INLET THAT WILL CONNECT VIA NEW 12" STORM DRAIN TO THE EXISTING 24" PRIVATE STORM DRAIN, AND ULTIMATELY DISCHARGE DIRECTLY INTO THE NORTH HAHN ARROYO. THE DESIGN INTENT OF THESE IMPROVEMENTS IS TO NO LONGER SHEETFLOW RUNOFF FROM THIS CORNER OF THE SITE INTO THE ARROYO, MINIMIZING POTENTIAL SEDIMENT DISCHARGE FROM THE SITE.

IN ADDITION TO THE TRACK AND FIELD IMPROVEMENTS, AN ASPHALT PAVED FLOWLINE WILL BE CONSTRUCTED BETWEEN THE TRACK AND FIELD AND THE PORTABLE PARK AND CLASSROOM BUILDINGS TO THE EAST AND NORTHEAST. THIS FLOWLINE WILL DIVERT FLOWS FROM THESE AREAS AWAY FROM THE TRACK AND FIELD, DIRECTING THEM FROM NORTH TO SOUTH TO THE EXISTING CONCRETE HEADWALL AT THE SOUTHEAST CORNER OF THE TRACK AND FIELD. A GRAVEL LINED WATER HARVESTING AREA WILL BE CONSTRUCTED IMMEDIATELY UPSTREAM OF THE EXISTING CONCRETE HEADWALL TO CAPTURE AND MITIGATE THE FIRST FLUSH FLOWS TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE ALLOWING CONTINUED FREE DISCHARGE INTO THE ARROYO. THESE IMPROVEMENTS WILL RETURN THE SITE TO THE ORIGINAL DRAINAGE DESIGN INTENT OF THE 1994 GRADING PLAN.

AS IN THE EXISTING CONDITION, THERE WILL CONTINUE TO BE NO OFFSITE FLOWS IMPACTING THE PROJECT SITE.

VI. FIRST FLUSH

THE PROPOSED WATER HARVESTING AREAS AT THE SOUTHWEST CORNER OF THE FIELD AND AT THE SOUTH END OF THE ASPHALT PAVED FLOWLINE WILL CAPTURE AND TREAT THE FIRST FLUSH RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS TO THE MAXIMUM EXTENT PRACTICABLE. FIRST FLUSH CALCULATIONS FOR THE NEW IMPERVIOUS AREAS PROPOSED BY THIS PROJECT INDICATE THAT 990 OF NEEDS TO BE CAPTURED AND TREATED. AVERAGE END AREA METHOD CALCULATIONS FOR THE DEVELOPED SITE DEMONSTRATE THAT THE COMBINED ONSITE WATER HARVESTING AREA CAPACITY IS 1,040 CF.

VII. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS, AND 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN PEAK DISCHARGE AND VOLUME OF RUNOFF GENERATED BY THE SITE. THE PROPOSED IMPROVEMENTS WILL GENERALLY DRAIN INTO WATER HARVESTING AREAS TO TREAT THE FIRST FLUSH RUNOFF BEFORE FREE DISCHARGING INTO THE NORTH HAHN ARROYO, CAPTURING AND TREATING THE DEVELOPED RUNOFF DISCHARGED TO THE MAXIMUM EXTENT PRACTICABLE.

VIII. EROSION AND SEDIMENT CONTROL

THE PROJECT DISTURBS ONE-ACRE OF LAND, OR GREATER. A SEPARATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED CONCURRENT WITH THIS PLAN. A SITE SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED HEREIN THAT PROPOSES SILT FENCE BEST MANAGEMENT PRACTICES (TEMPORARY BMPs), SEDIMENT DETENTION BASINS (PERMANENT BMPs) AND GOOD HOUSEKEEPING BMPs TO CAPTURE CONSTRUCTION RELATED SEDIMENT FROM DISCHARGING TO THE ADJACENT AND DOWNSTREAM NORTH HAHN ARROYO.

IX. CALCULATIONS

THE CALCULATIONS CONTAINED HEREON ANALYZE THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2: DESIGN CRITERIA, DATED JANUARY 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. IN ADDITION, AVERAGE END AREA METHOD HAS BEEN USED TO CALCULATE THE PROPOSED WATER HARVESTING RETENTION AREA CAPACITY. AS DEMONSTRATED BY THESE CALCULATIONS, THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN DEVELOPED RUNOFF ATTRIBUTABLE TO THE DEVELOPMENT OF THE EXISTING TRACK AND FIELD, AND THE FIRST FLUSH RUNOFF GENERATED BY THE SITE WILL BE CAPTURED AND TREATED WITHIN THE PROPOSED WATER HARVESTING AREAS.

X. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS CONTAINED HEREIN:

- THIS PROJECT REPRESENTS A MODIFICATION TO AN EXISTING DEVELOPED SITE.
- THE PROPOSED IMPROVEMENT WILL MAINTAIN AND NOT ALTER THE EXISTING DRAINAGE PATTERNS OF THE SITE.
- THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN THE DEVELOPED PEAK DISCHARGE AND VOLUME OF RUNOFF VOLUME DISCHARGED FROM THE SITE.
- BASED UPON THE PROXIMITY OF THE NORTH HAHN ARROYO AND THE EXISTING ALLOWABLE FREE DISCHARGE CONDITION, THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR DOWNSTREAM DRAINAGE CONDITIONS.
- EROSION AND SEDIMENT CONTROL MEASURES ARE PROPOSED HEREIN FOR INSTALLATION DURING CONSTRUCTION; BMP INSTALLATION BASED ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE CONSTRUCTION RELATED SEDIMENT DOES NOT DISCHARGE FROM THE SITE TO PUBLIC RIGHT-OF-WAY.
- PROPOSED WATER HARVESTING AREAS ARE SIZED TO CAPTURE AND TREAT THE FIRST FLUSH RUNOFF GENERATED BY THE SITE TO THE MAXIMUM EXTENT PRACTICABLE.

CALCULATIONS

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE =	3
B. $P_{100, 6 \text{ HR}} = P_{360} =$	2.5 IN
C. TOTAL PROJECT AREA (A_T) =	294,500 SF 6.76 AC

D. LAND TREATMENTS

1. TRACK AND FIELD

TREATMENT	AREA (SF/AC)	%
A		
B	60,548 SF 1.39 AC	39
C	83,728 SF 1.92 AC	54
D	11,734 SF 0.27 AC	8

2. NORTH PORTABLE PARK

TREATMENT	AREA (SF/AC)	%
A		
B		
C	103,875 SF 2.38 AC	75
D	34,825 SF 0.79 AC	25

3. TRACK AND FIELD

TREATMENT	AREA (SF/AC)	%
A		
B	54,150 SF 1.24 AC	35
C	71,109 SF 1.63 AC	46
D	30,252 SF 0.71 AC	20

4. NORTH PORTABLE PARK

TREATMENT	AREA (SF/AC)	%
A		
B		
C	96,350 SF 2.21 AC	70
D	42,150 SF 0.97 AC	30

1. 100-YR, 6-HR STORM TRACK AND FIELD

$$E_W = (E_{PA}A_P + E_{PA}A_P + E_{PA}A_P + E_{PA}A_P)A_T$$

$$E_W = (0.66^*0.00) + (0.92^*1.39) + (1.29^*1.92) + (2.36^*0.27)/3.58 = 1.23 \text{ IN}$$

$$V_{100, 6 \text{ HR}} = (E_W/12)A_T = (1.23/12)/3.58 = 0.3671 \text{ AC-FT} = 15,990 \text{ CF}$$

$$Q_P = Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P$$

$$Q_P = (1.87^*0.00) + (2.60^*1.39) + (3.45^*1.92) + (5.02^*0.27) = 11.6 \text{ CFS}$$

2. 100-YR, 6-HR STORM NORTH PORTABLE PARK

$$E_W = (E_{PA}A_P + E_{PA}A_P + E_{PA}A_P + E_{PA}A_P)A_T$$

$$E_W = (0.66^*0.00) + (0.92^*0.00) + (1.29^*2.38) + (2.36^*0.79)/3.18 = 1.56 \text{ IN}$$

$$V_{100, 6 \text{ HR}} = (E_W/12)A_T = (1.56/12)/3.18 = 0.4133 \text{ AC-FT} = 18,010 \text{ CF}$$

$$Q_P = Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P$$

$$Q_P = (1.87^*0.00) + (2.60^*0.00) + (3.45^*2.38) + (5.02^*0.79) = 12.2 \text{ CFS}$$

B. DEVELOPED CONDITION TRACK AND FIELD

$$E_W = (E_{PA}A_P + E_{PA}A_P + E_{PA}A_P + E_{PA}A_P)A_T$$

$$E_W = (0.66^*0.00) + (0.92^*1.24) + (1.29^*1.63) + (2.36^*0.71)/3.58 = 1.37 \text{ IN}$$

$$V_{100, 6 \text{ HR}} = (E_W/12)A_T = (1.37/12)/3.58 = 0.4089 \text{ AC-FT} = 17,810 \text{ CF}$$

$$Q_P = Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P$$

$$Q_P = (1.87^*0.00) + (2.60^*1.24) + (3.45^*1.63) + (5.02^*0.71) = 12.4 \text{ CFS}$$

2. 100-YR, 6-HR STORM NORTH PORTABLE PARK

$$E_W = (E_{PA}A_P + E_{PA}A_P + E_{PA}A_P + E_{PA}A_P)A_T$$

$$E_W = (0.66^*0.0037) + (0.92^*0.00) + (1.29^*2.21) + (2.36^*0.97)/3.185 = 1.82 \text{ IN}$$

$$V_{100, 6 \text{ HR}} = (E_W/12)A_T = (1.82/12)/3.185 = 0.4292 \text{ AC-FT} = 18,700 \text{ CF}$$

$$Q_P = Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P + Q_{PA}A_P$$

$$Q_P = (1.87^*0.0037) + (2.60^*0.00) + (3.45^*2.21) + (5.02^*0.97) = 12.5 \text{ CFS}$$

C. COMPARISON TRACK AND FIELD

$$1. 100-YR, 6-HR STORM$$

$$a. VOLUME 100-YR, 6-HR$$

$$\Delta V_{100, 6 \text{ HR}} = 17810 - 15990 = 1,820 \text{ CF} \quad (\text{INCREASE})$$

$$c. PEAK DISCHARGE$$

$$\Delta Q_{100} = 12.4 - 11.6 = 0.8 \text{ CFS} \quad (\text{INCREASE})$$

$$2. 100-YR, 6-HR STORM$$

$$a. VOLUME 100-YR, 6-HR$$

$$\Delta V_{100, 6 \text{ HR}} = 18700 - 18010 = 690 \text{ CF} \quad (\text{INCREASE})$$

$$c. PEAK DISCHARGE$$

$$\Delta Q_{100} = 12.5 - 12.2 = 0.3 \text{ CFS} \quad (\text{INCREASE})$$

D. FIRST FLUSH CALCULATIONS OVERALL PROJECT SITE IMPERVIOUS IMPROVEMENTS

$$1. RETENTION REQUIREMENT$$

$$a. VOLUME$$

$$V_{R12} = ((P_{12} - A_{12})/12)A_{12}$$

$$V_{R12} = ((0.44 - 0.10)/12)(35020.00) = 990 \text{ CF}$$

E. WATER HARVESTING / FIRST FLUSH CAPACITY

ELEV	AREA (SF)	VOLUME (CF)	TOTAL VOLUME (CF)
5283	135	360	360
5283	1310	455	815
5283	1725		
PORTABLE PARK			
ELEV	AREA (SF)	VOLUME (CF)	TOTAL VOLUME (CF)
5288		225	225
5289	450		
TOTAL CAPACITY = 815 + 225 = 1,040 CF			



VICINITY MAP
SCALE: 1"=750'



F.I.R.M.
SCALE: 1"=750'

PANEL 139 OF 825
DATED: 9-26-2008

LEGAL DESCRIPTION

TRACT L. ALTAMONT, UNIT NO. 5, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 16, 1959, PLAT BOOK D2, PAGE 73.

BENCHMARKS

PROJECT BENCHMARK

A 3" BRASS DISK STAMPED "11-619" SET FLUSH WITH THE GROUND, NEAR THE SOUTHEAST QUADRANT OF THE INTERSECTION OF LOUISIANA BOULEVARD AND VERANDA ROAD N.E.
ELEVATION = 5309.898 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL W/WASHER SET IN ASPHALT, NEAR THE SOUTHWEST CORNER OF THE BAND BUILDING, AS SHOWN ON SHEET 2.
ELEVATION = 5291.16 FEET (NAVD 88)

TEMPORARY BENCHMARK #2 (T.B.M.)

A MAG NAIL W/WASHER SET IN AN ASPHALT PATH, NEAR THE NORTHEAST CORNER OF A BASKETBALL COURT, AS SHOWN ON SHEET 2.
ELEVATION = 5288.31 FEET (NAVD 88)

TEMPORARY BENCHMARK #3 (T.B.M.)

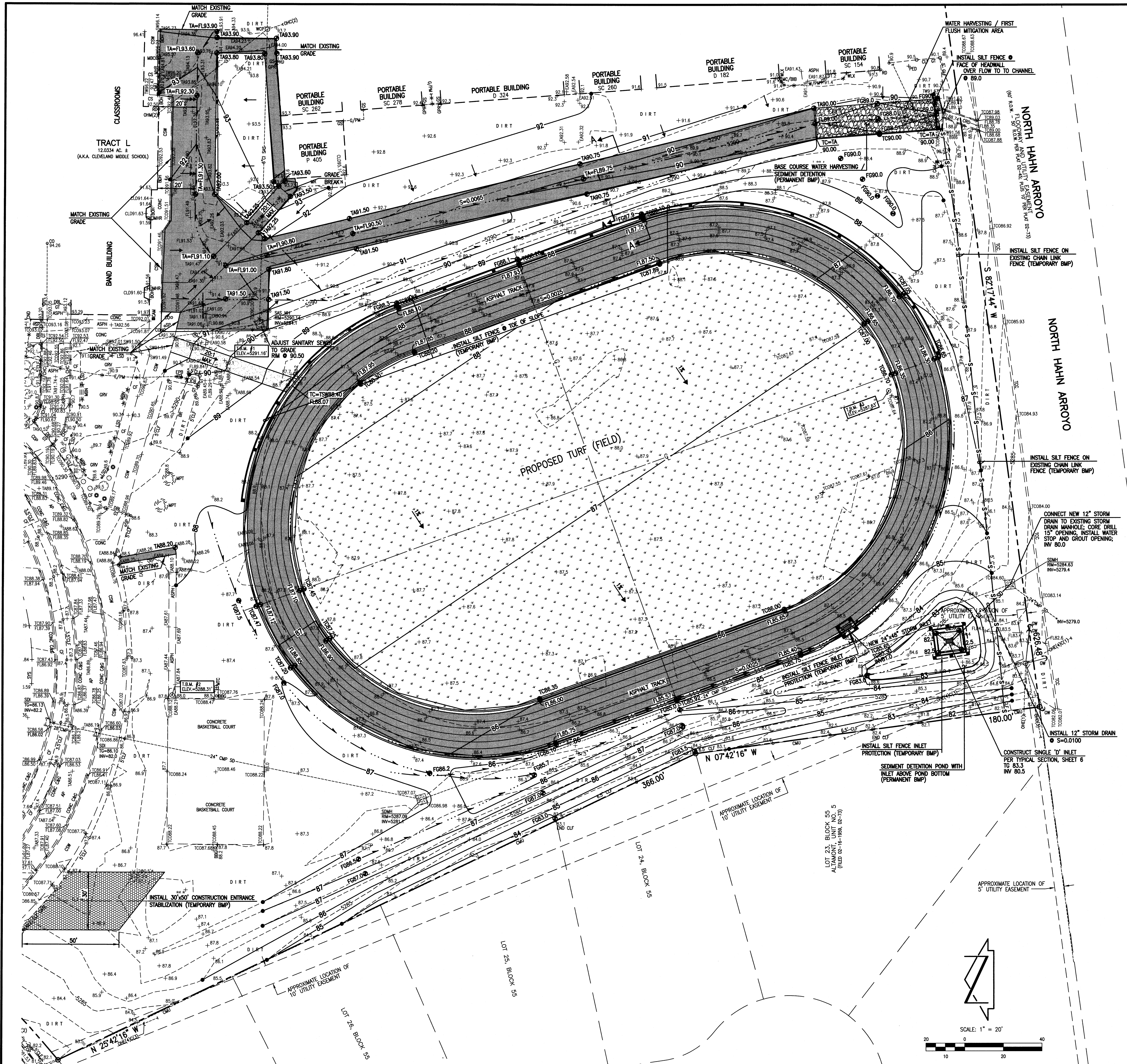
A CHISELED "4" SET IN A CONCRETE BASKETBALL COURT, NEAR THE SOUTHERN PORTION OF THE SITE, AS SHOWN ON SHEET 2.
ELEVATION = 5287.63 FEET (NAVD 88)

DRAINAGE PLAN AND CALCULATIONS

TRACK AND FIELD IMPROVEMENTS CLEVELAND MIDDLE SCHOOL 6910 NATALIE AVENUE N.E.

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.D.S.					2016.180.3
DRAWN BY	NO.	DATE	BY	REVISIONS	DATE
J.Y.R./S.C.C.					02-2017
APPROVED BY	NO.	DATE	BY	REVISIONS	SHEET
G.M.					7 OF 9

File Path: P:\Mesa\161803-SH8.DWG Plot Date: 02-06-2017
File Name: 161803-SH8.DWG Plot Time: 07:19 am



LEGEND

AP

ASPH

BBG

BOH

BR

C&C

C&G

CHC

CHW

CI

CLF

CMP

CMU

CND

CO

CONC

CRD

CS

CSW

DBL

DYS

E/P

EA

EPB

FLICKER

FL

FLW

FOP

G/P

GPR

GRV

GS

GT

GW

ICB

IB

IBS

LSO

MBC

MEN

MC/BIB

MH

MHR

MLX

MPT

MR

MS

MTC

OHC(1)

OHE(1)

OHM

PHD

RD

SAS

SDI

SDMH

SP

SW

SYS

TA

TC

TCC

TCD

TG

TS

TW

WG

W/PM

WCR

WLX

WPP

ASPHALT PAVEMENT

BASKETBALL GOAL

BICYCLE RACK

CURB AND GUTTER

SECURITY CAMERA

CONCRETE DRIVE PAD

LANDSCAPING CRUSHER FINES

CONCRETE HEADER CURB

CONCRETE HEAD WALL

CAST IRON PIPE

CHAIN LINK FENCE

CORRUGATED METAL PIPE

CONCRETE MASONRY WALL

CLEANOUT

CONCRETE

CONCRETE ROUNDOFF

CONCRETE STEPS

CONCRETE SIDEWALK

DOUBLE

PAINTED DOUBLE YELLOW TRAFFIC STRIPE

ELECTRIC LINE BY PAINT MARK

EDGE OF ASPHALT

ELECTRIC PULLBOX

FLICKER BALL COAL

FLOWLINE

FENCE OPENING

GAS LINE BY PAINT MARK

GAS PRESSURE REGULATOR

LANDSCAPING GRAVEL

GAS SERVICE

GATE

GUY WIRE ANCHOR

IRRIGATION CONTROL BOX

IRRIGATION VALVE BOX

METAL LANDSCAPING DIVIDER

METAL BUILDING COLUMN

METAL BENCH

METER CAN WITH BIB VALVE

MANHOLE

METAL HANDRAIL

METAL LANDING

METAL PICNIC TABLE

METAL RAMP

METAL STAIRS

METAL TRASH CAN

OVERHEAD COMMUNICATION (# OF LINES)

OHE(1)

OHE(1)

OHM

PHD

RD

SAS

SDI

SDMH

SP

SW

SYS

TA

TC

TCC

TCD

TG

TS

TW

WG

W/PM

WCR

WLX

WPP

DECIDUOUS TREE

SHRUB

YUCCA

EXISTING DOUBLE CLEANOUT

PROPOSED DOUBLE CLEANOUT

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

EXISTING FLOWLINE

PROPOSED FLOWLINE

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING DIRECTION OF FLOW

PROPOSED DIRECTION OF FLOW

RIGHT OF WAY LINE

PUBLIC EASEMENT LINE

HIGH POINT / DIVIDE

PROPOSED CONCRETE PAVING

PROPOSED ASPHALT PAVING

PROPOSED TURF GRASS (FIELD)

STABILIZED CRUSHER FINES PATH

EXISTING FENCE

CHAIN LINK FENCE WITH SILT FENCE ATTACHED

WADDOLES

SILT FENCE

PROPOSED DIRECTION OF FLOW

EXISTING DIRECTION OF FLOW

PROPOSED CONSTRUCTION ENTRANCE

PROPOSED SILT FENCE INLET PROTECTION

BENCHMARKS

PROJECT BENCHMARK
A 3" BRASS DISK STAMPED "11-119", SET FLUSH WITH THE GROUND, NEAR THE SOUTHEAST QUADRANT OF THE INTERSECTION OF LOUISIANA BOULEVARD AND VERANDA ROAD N.E. ELEVATION = 5299.896 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)
A MAG NAIL W/WASHER SET IN ASPHALT, NEAR THE SOUTHWEST CORNER OF THE BAND BUILDING, AS SHOWN ON THIS SHEET. ELEVATION = 5291.16 FEET (NAVD 88)

TEMPORARY BENCHMARK #2 (T.B.M.)
A MAG NAIL W/WASHER SET IN AN ASPHALT PATH, NEAR THE NORTHEAST CORNER OF A BASKETBALL COURT, AS SHOWN ON THIS SHEET. ELEVATION = 5288.31 FEET (NAVD 88)

TEMPORARY BENCHMARK #3 (T.B.M.)
A CHISELED "4" SET IN A CONCRETE BASKETBALL COURT, NEAR THE SOUTHERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5287.63 FEET (NAVD 88)

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, REVIEW OF AVAILABLE CITY OF ALBUQUERQUE DISTRIBUTION MAPS, APS RECORD DRAWINGS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (APS-SUE 2016.0505). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 16N0230451). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

SURVEY NOTE:

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 12/21/2016 (2016.180.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 12/21/2016 (2016.180.1).

DESIGNED BY

J.D.S.

DRAWN BY

J.Y.R./S.C.C.

APPROVED BY

G.M.

DATE

02-2017

BY

REVISIONS

2016.180.3

DATE

02-2017

SHEET

8

9

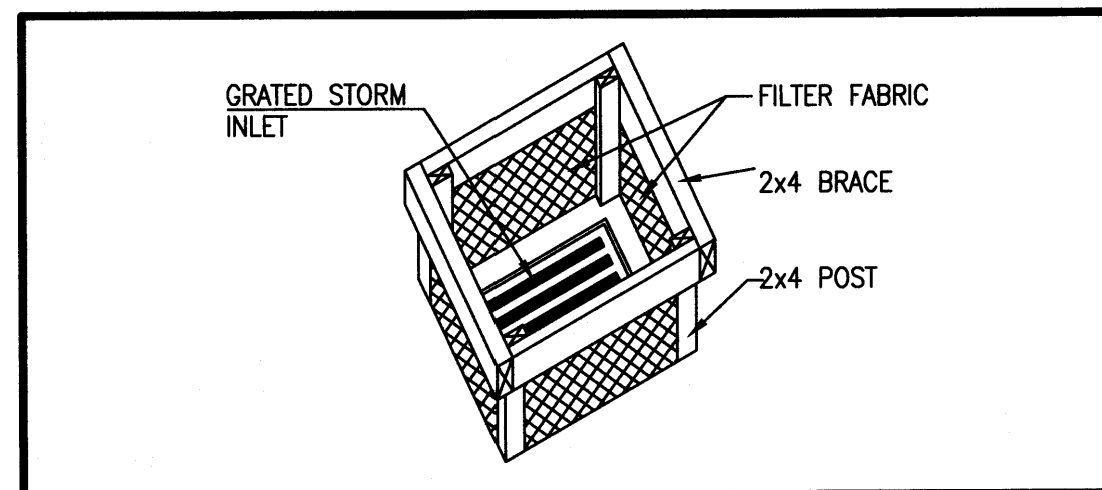
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2016.180.3

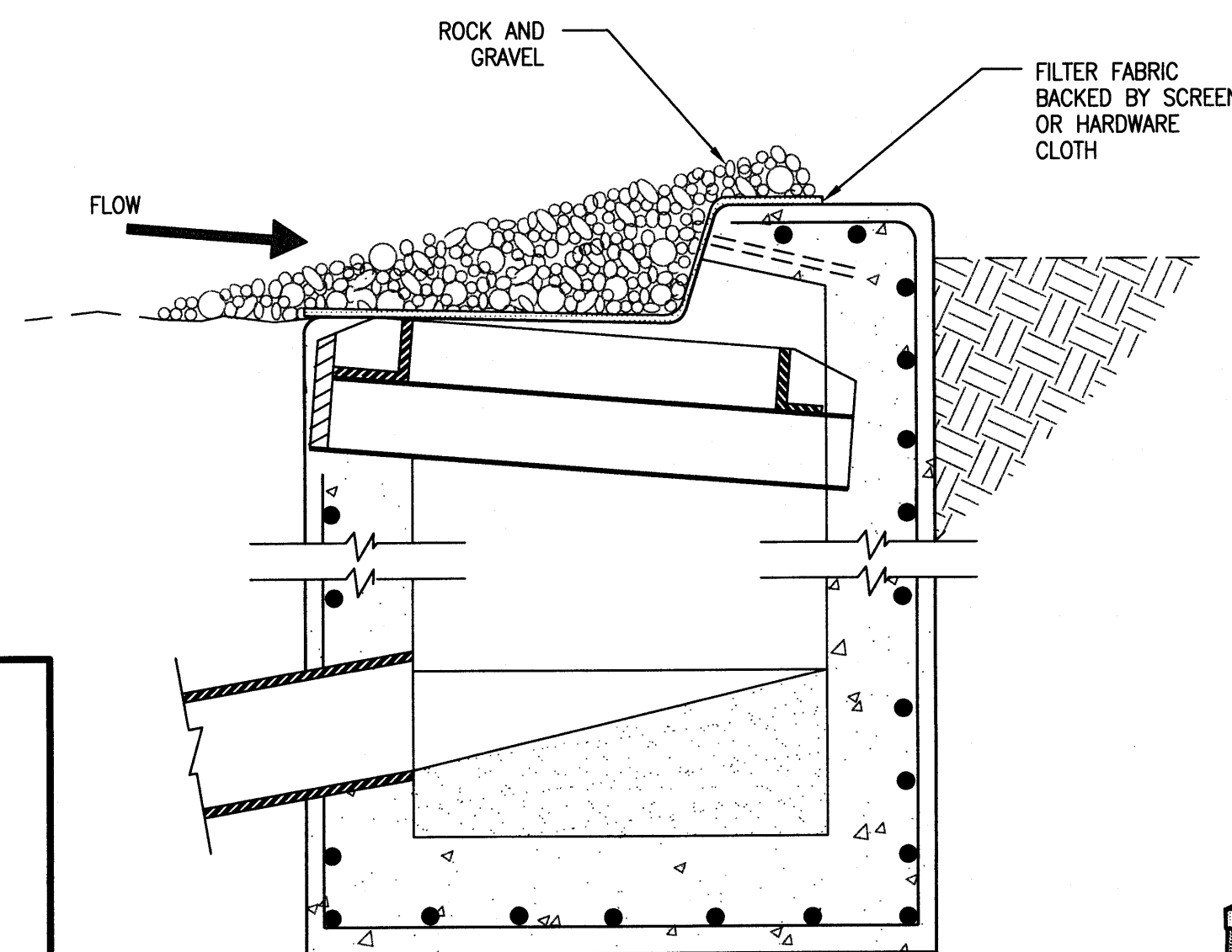
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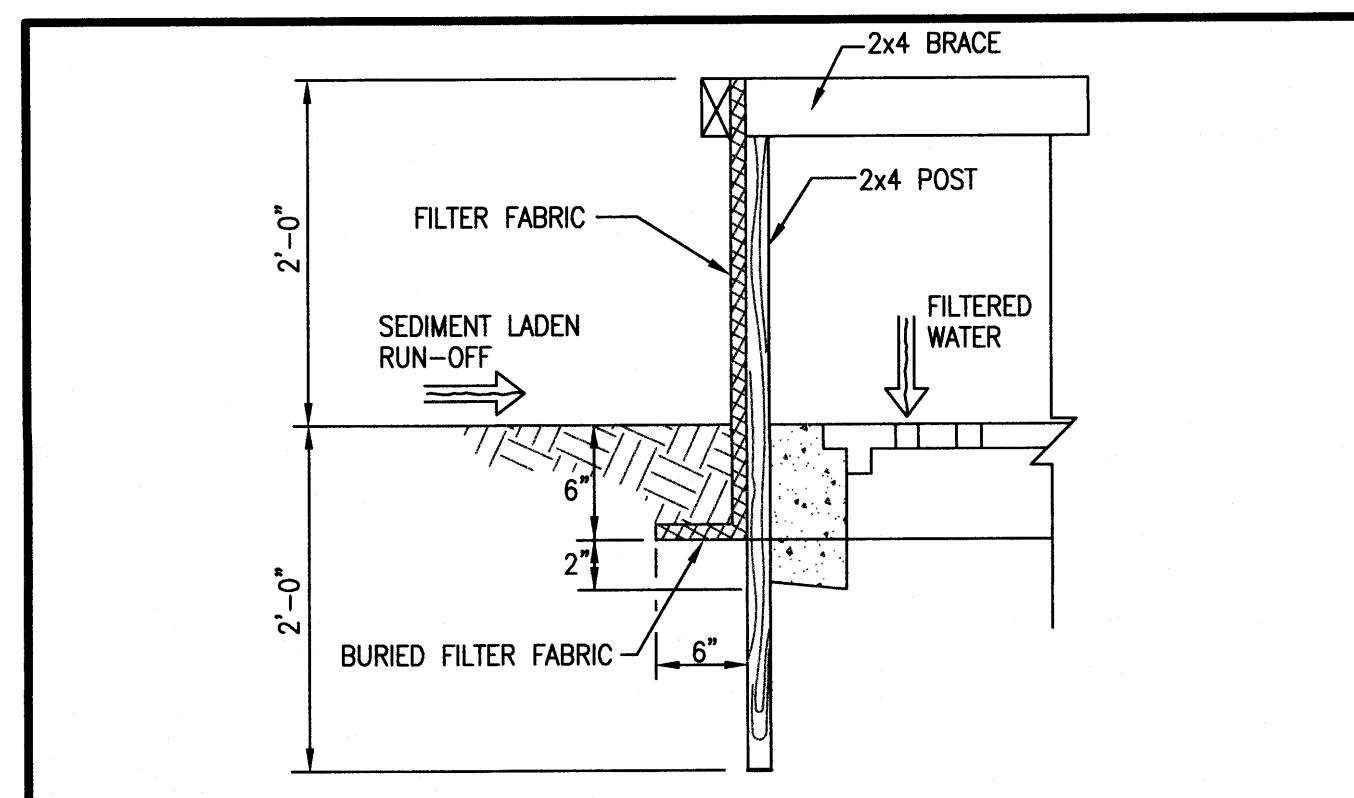
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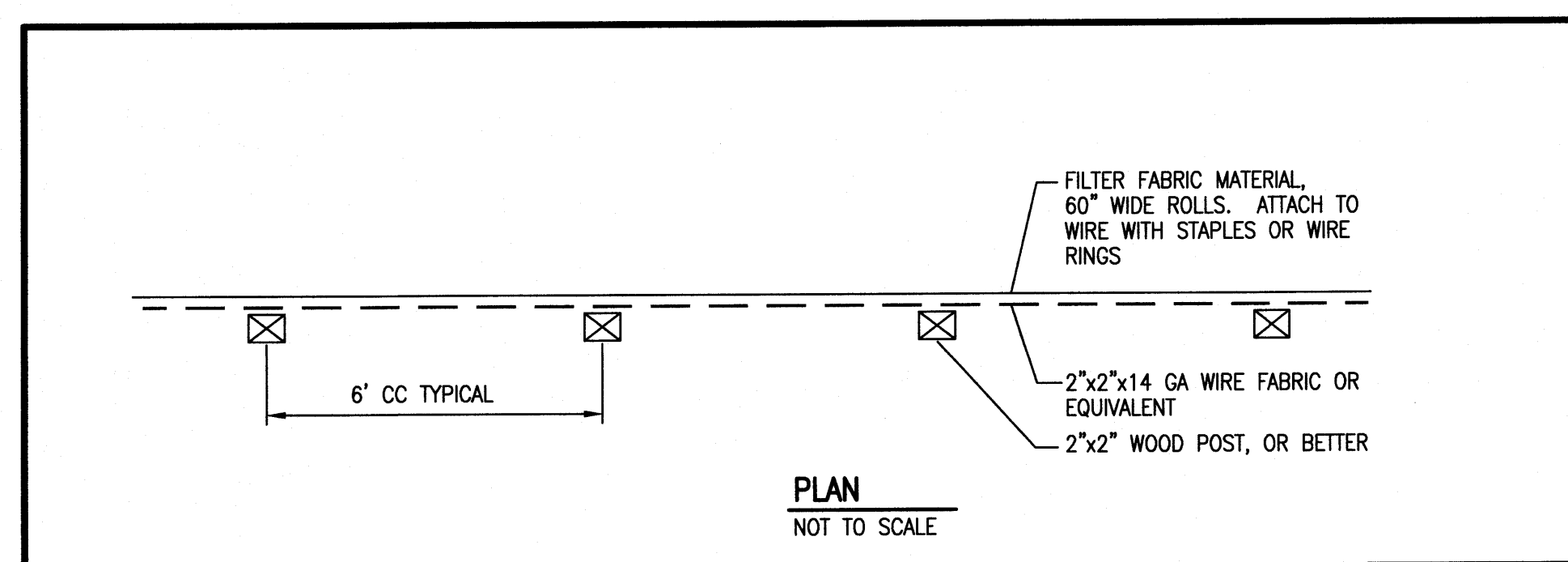
SILT FENCE INLET PROTECTION
NOT TO SCALE



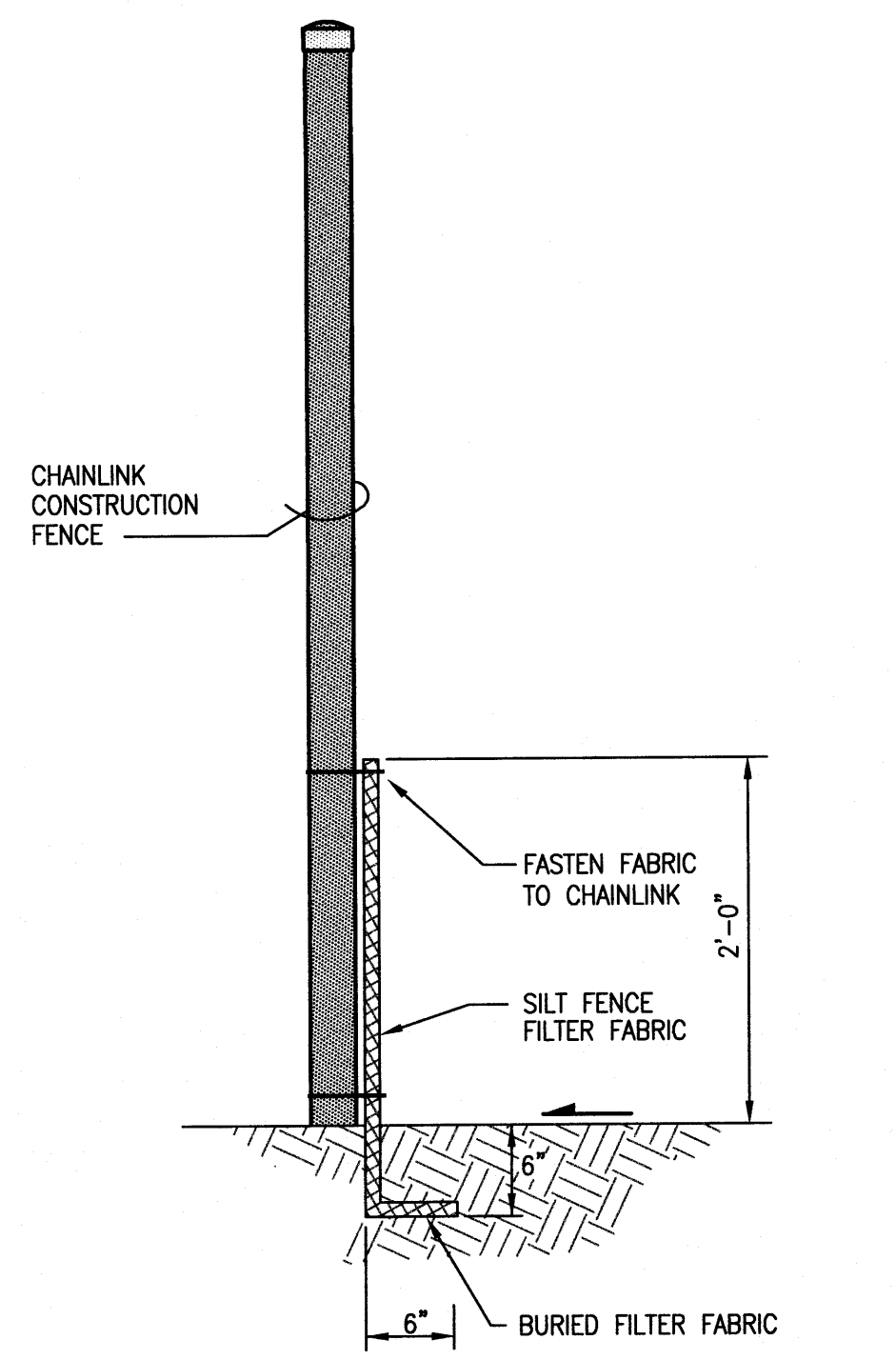
TYPICAL STORM INLET PROTECTION
SCALE: 1" = 1'-0" (OPTIONAL)



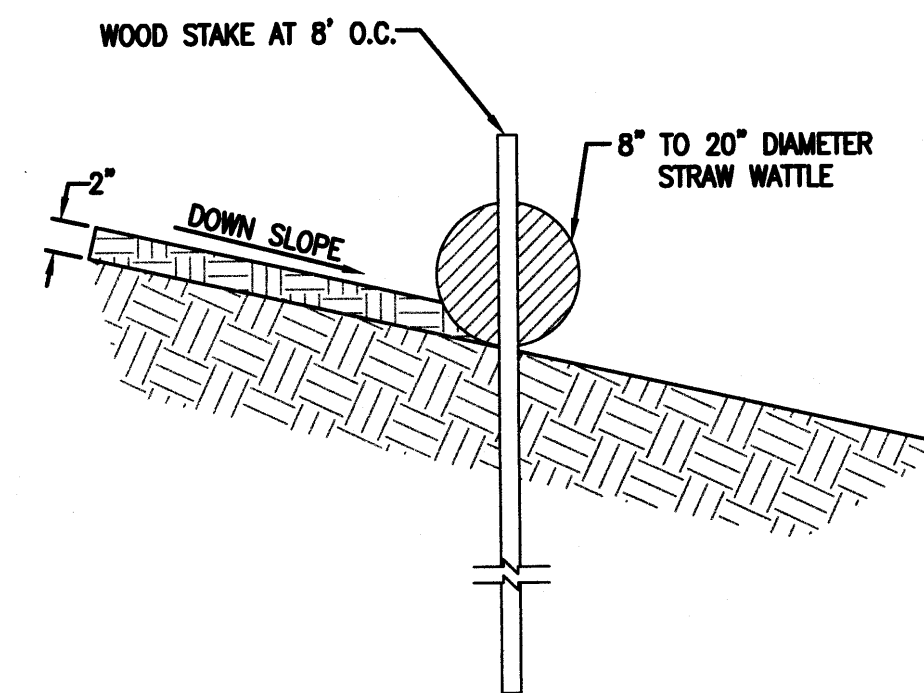
SILT FENCE INLET PROTECTION SECTION
NOT TO SCALE



PLAN
NOT TO SCALE



CONSTRUCTION FENCE/SILT FENCE SECTION
SCALE: 1" = 2'-0"



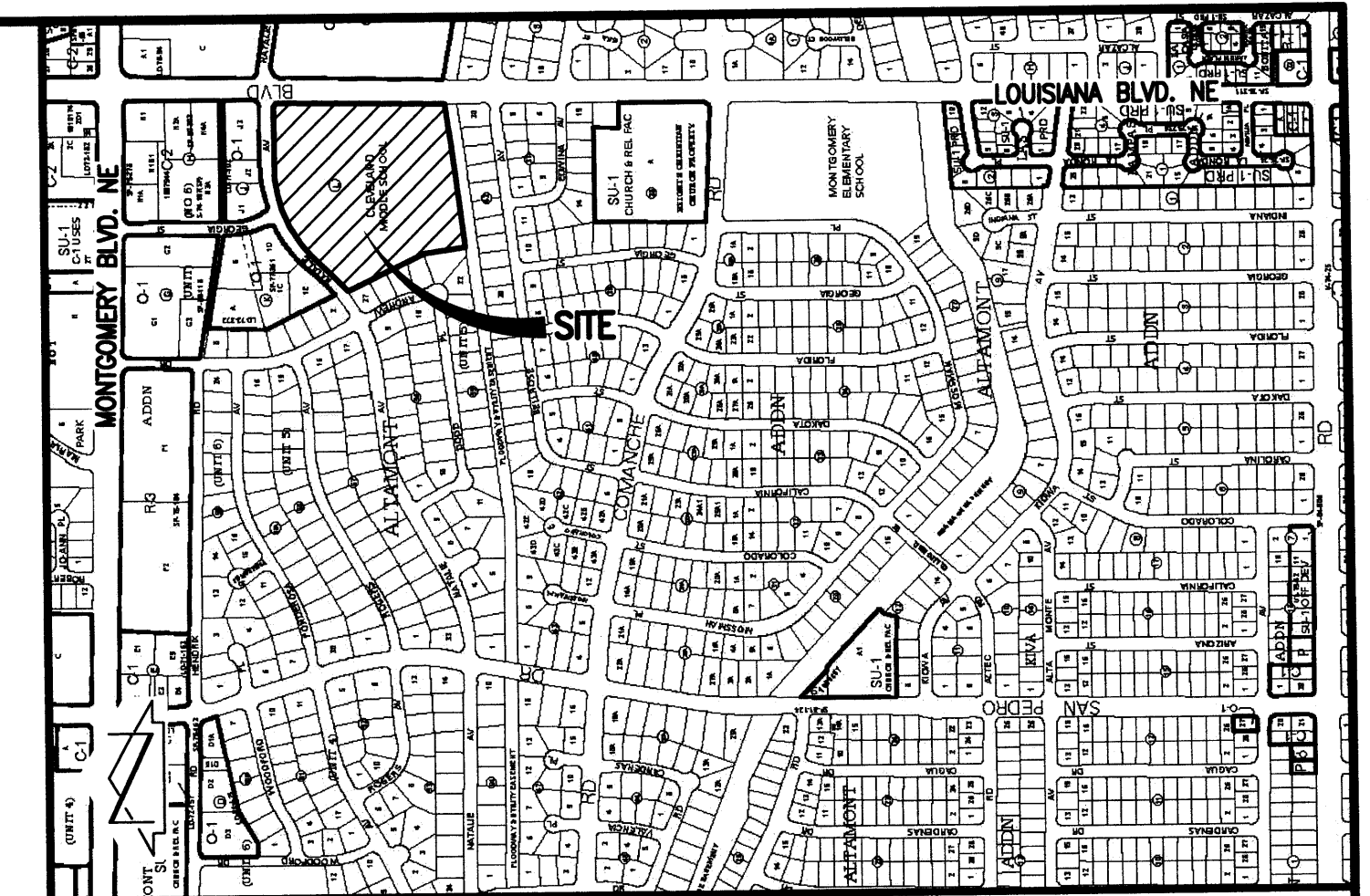
TYPICAL STRAW WATTLE INSTALLATION SECTION
SCALE: 1" = 1'-0" (OPTIONAL)

SEED MIX FOR SANDY SOILS

VARIETY/COMMON NAME	GENUS/SPECIES	PLS/ACRE
"PALOMA" INDIAN RICE GRASS	ORYZOPSIS HYMENOIDES	5.0
"VIVA" GALLETA GRASS	HILARIA JAMESII	1.0
"NINER" SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	3.0
"HATCHITA" BLUE GRAMA	BOUTELOUA GRACILIS	1.0
SAND DROPSEED (NM REGION)	SPOROBOLUS CRYPTANDRUS	1.0
FOUR-WING SALTBUCH (NM REGION)	ATRIPLEX CANESCENS (DE-WINGED)	1.0
TOTAL RATE:		12.0 LBS/ACRE

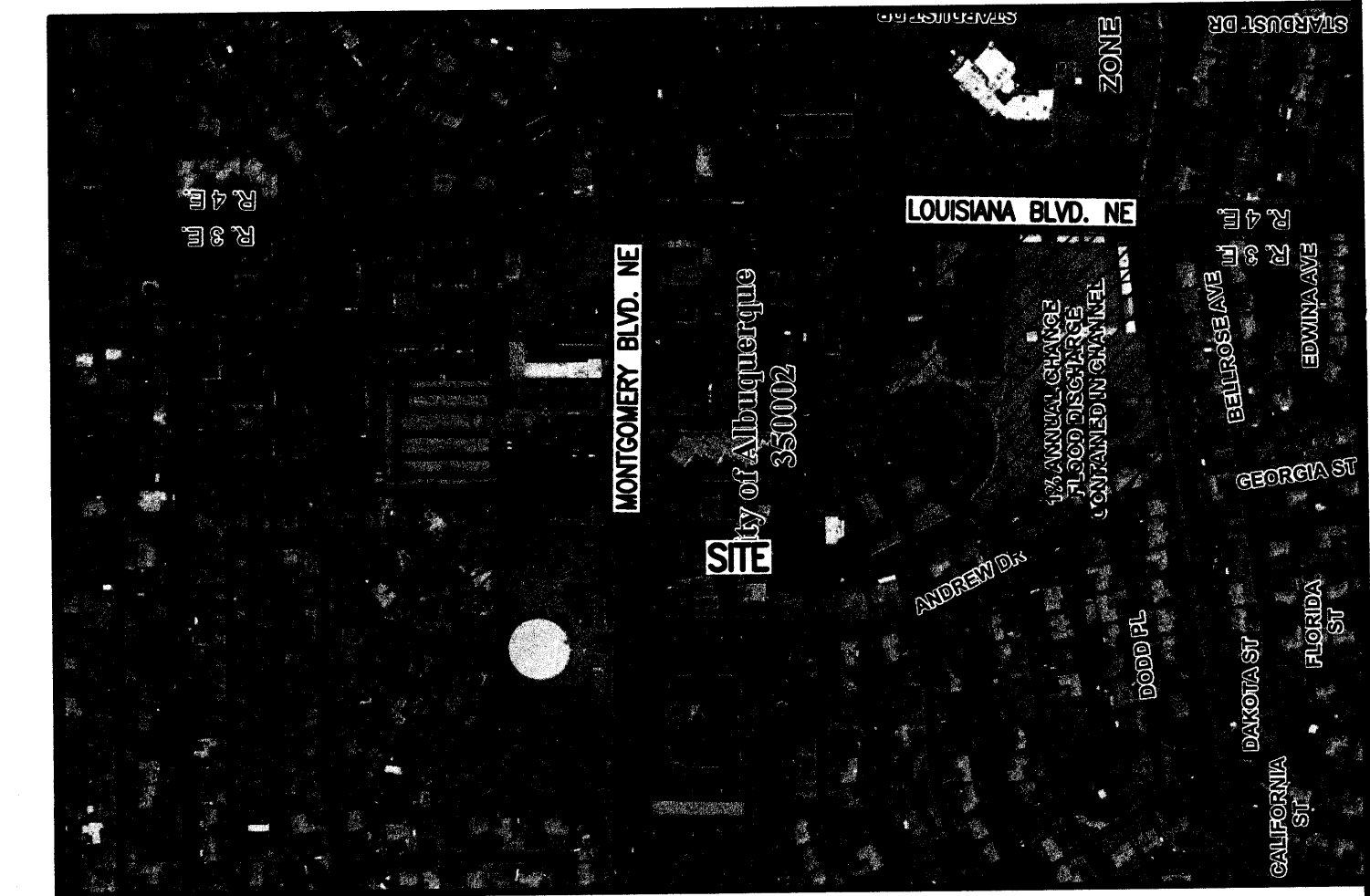
EROSION AND SEDIMENT CONTROL PLAN NOTES:

1. THIS PLAN ADDRESSES GENERAL AND SPECIFIC MEASURES FOR CONSTRUCTION PHASE EROSION, SEDIMENT AND DUST CONTROL. IT IS INTENDED TO COMPLEMENT THE PROJECT SPECIFIC STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT.
2. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS BEFORE BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL ALL PERIMETER BMPs BEFORE BEGINNING CONSTRUCTION.
4. REFER TO THE SWPPP PREPARED BY HIGH MESA CONSULTING GROUP, DATED 2-6-17, FOR PROJECT SPECIFIC PHASING AND INFORMATION. THIS PROJECT SHALL BE IMPLEMENTED IN PHASES TO MINIMIZE THE EXTENT AND DURATION OF SURFACE DISTURBANCE.
5. REFER TO THE GRADING AND DRAINAGE PLAN PREPARED BY HIGH MESA CONSULTING GROUP, DATED 2-6-17.
6. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY.
7. THE CONTRACTOR SHALL PROMPTLY CLEAN-UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
8. THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE ADJACENT STREETS AT THE END OF EACH DAY.
9. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL GOOD HOUSEKEEPING MEASURES OUTLINED IN THE SWPPP INCLUDING, BUT NOT LIMITED TO, DAILY PICKING UP TRASH, LITTER AND CONSTRUCTION DEBRIS.
10. THE CONTRACTOR SHALL PROMPTLY REMOVE SEDIMENT ACCUMULATION FROM SILT FENCES AND OTHER STRUCTURAL BMPs WITHIN 48 HOURS OF A RAINFALL EVENT.
11. THE CONTRACTOR SHALL IMPLEMENT ONSITE STRUCTURAL EROSION CONTROL MEASURES AS REQUIRED TO COMPLY WITH THE EROSION AND SEDIMENT CONTROL PLAN AND SWPPP. THESE MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO SILT FENCES, EARTHEN DIKES, DRAINAGE DIVERSIONS, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINAGE, PIPE SLOPE DRAINAGE, LEVEL SPREADERS, STORM WATER RETENTION SYSTEMS, GABIONS AND TEMPORARY OR PERMANENT SEDIMENT DETENTION BASINS. THE FOLLOWING MEASURES ARE PROPOSED FOR THIS PROJECT:
 - a. PERIMETER SILT FENCE
 - b. INTERIOR SILT FENCE
 - c. ONSITE INLET PROTECTION
 - d. SEDIMENT DETENTION BASINS
 - e.
12. THE CONTRACTOR SHALL MINIMIZE OFFSITE VEHICLE TRACKING OF SEDIMENT AND DUST GENERATION.
13. CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING; THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED ON THIS SITE UNLESS OTHERWISE PROVIDED FOR BY THIS PLAN. IF PROVIDED FOR BY THIS PLAN, CONCRETE TRUCKS MAY ONLY WASH OUT IN A DESIGNATED AND LINED WASHOUT FACILITY.
14. OFFSITE MATERIAL STORAGE AREAS USED BY THIS PROJECT ARE CONSIDERED PART OF THE PROJECT AND THEREFORE SUBJECT TO THE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SWPPP.
15. UPON COMPLETION OF MASS GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT CONSTRUCTION, LANDSCAPING, VEGETATION AND/OR GRAVEL MULCH. SILT FENCING CAN BE REMOVED UPON SUCCESSFUL ESTABLISHMENT OF VEGETATION.
16. THROUGHOUT THE DURATION OF THIS PROJECT, CONTRACTOR SHALL IMPLEMENT, MAINTAIN AND INSPECT ALL BMPs, KEEPING RECORDS OF EACH INSPECTION IN ACCORDANCE WITH THE SWPPP, AND KEEP RECORDS OF THE INSTALLATION MAINTENANCE, AND REMOVAL OF EACH BMP SPECIFIED BY THIS PLAN OR OTHERWISE PROVIDED FOR THROUGHOUT THE LIFE OF THE PROJECT.
17. THOSE PORTIONS OF THE COMPLETED PROJECT NOT STABILIZED WITH PERMANENT CONSTRUCTION OR FORMAL LANDSCAPING SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING FOR SANDY/CLAY SOILS PER THE SEED MIX SPECIFIED HEREON AND SPECIFICATIONS CONTAINED WITHIN THE SWPPP.
18. FINAL STABILIZATION OF THE PROJECT SITE WILL CONSIST OF THE FOLLOWING MEASURES:
 - a. PERMANENT PAVING
 - b. FORMAL LANDSCAPING
 - c.
 - d.
 - e.
19. TOTAL SITE AREA = 12.3 ACRES (BASED ON 2016 BOUNDARY SURVEY)
20. TOTAL DISTURBED AREA = 4.5 ACRES



VICINITY MAP
SCALE: 1" = 750'

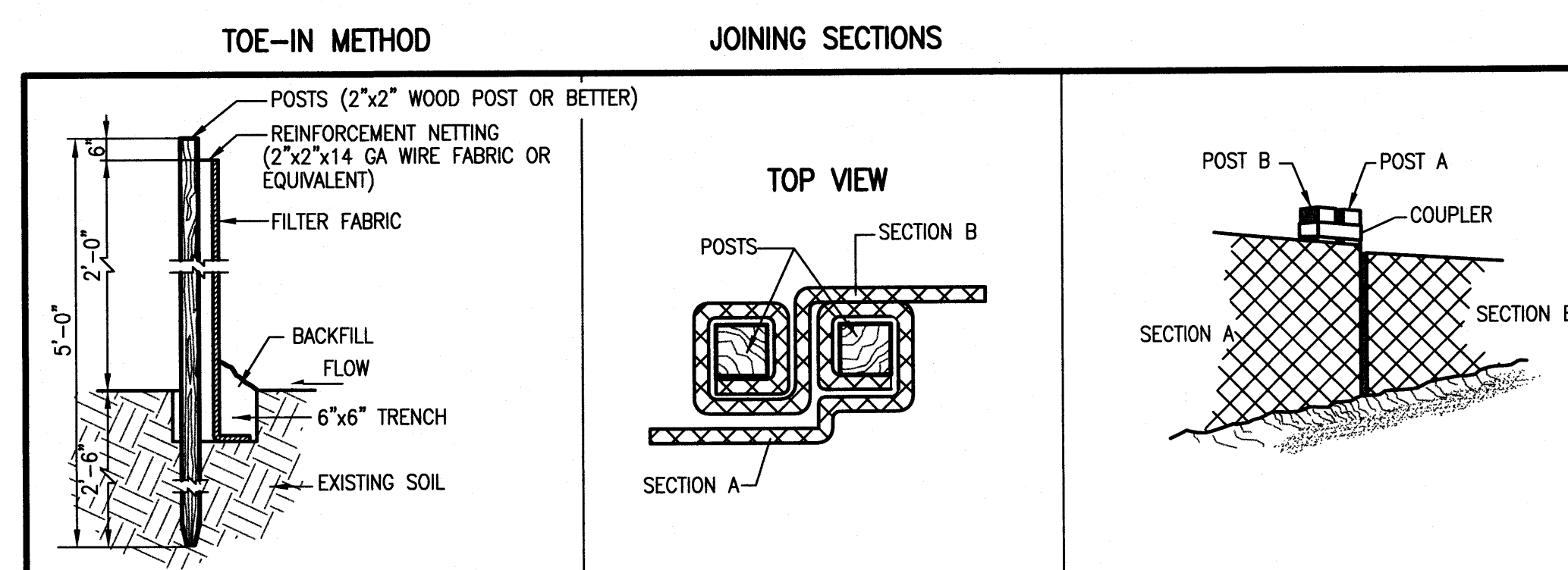
G-18



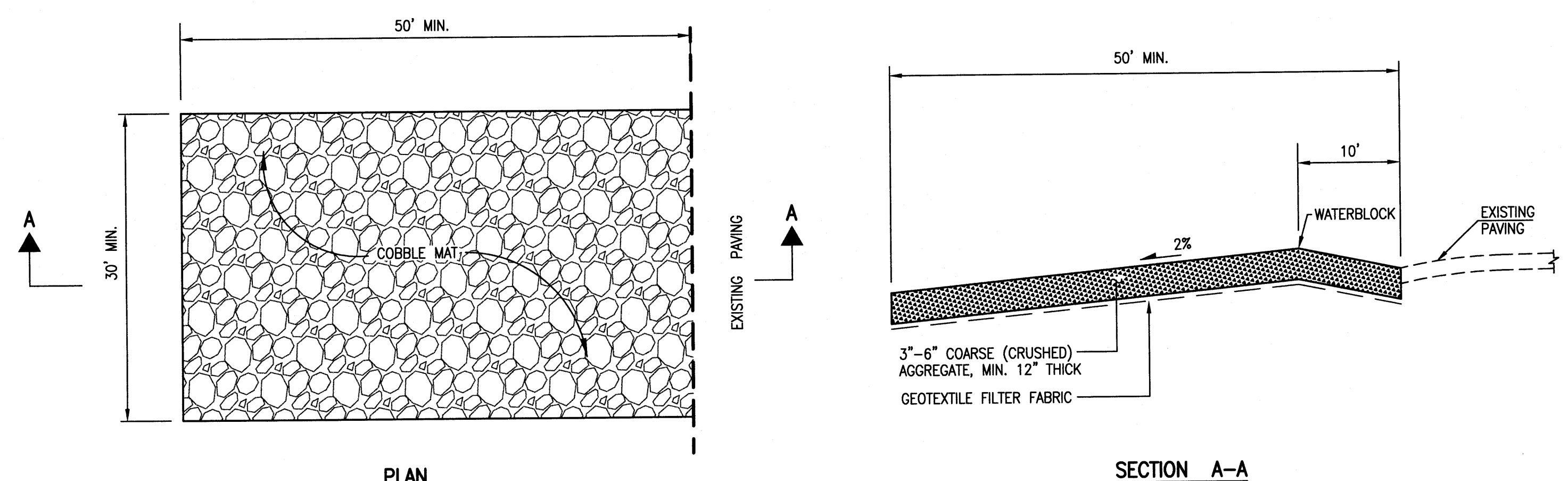
F.I.R.M.
SCALE: 1" = 750'

PANEL 139 OF 825

DATED: 9-26-2008



PREFABRICATED SILT FENCE DETAILS
NOT TO SCALE



PLAN

CONSTRUCTION ENTRANCE STABILIZATION
SCALE: 1" = 10'-0" HORIZ.
1" = 2'-0" VERT.

SECTION A-A