

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 27, 2021

Stephen A Dunbar, RA
Modulus Architects
100 Sun Ave NE, Suite 600
Albuquerque, NM 87109

Re: Tenant Improvement Project
6000 Montgomery Blvd NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-20-20 (G18D042)
Certification dated 5-24-21

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 5-26-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add ADA signs with required language & One Way signs.
- Redline the Approved TCL.
- Remove construction debris and equipment.

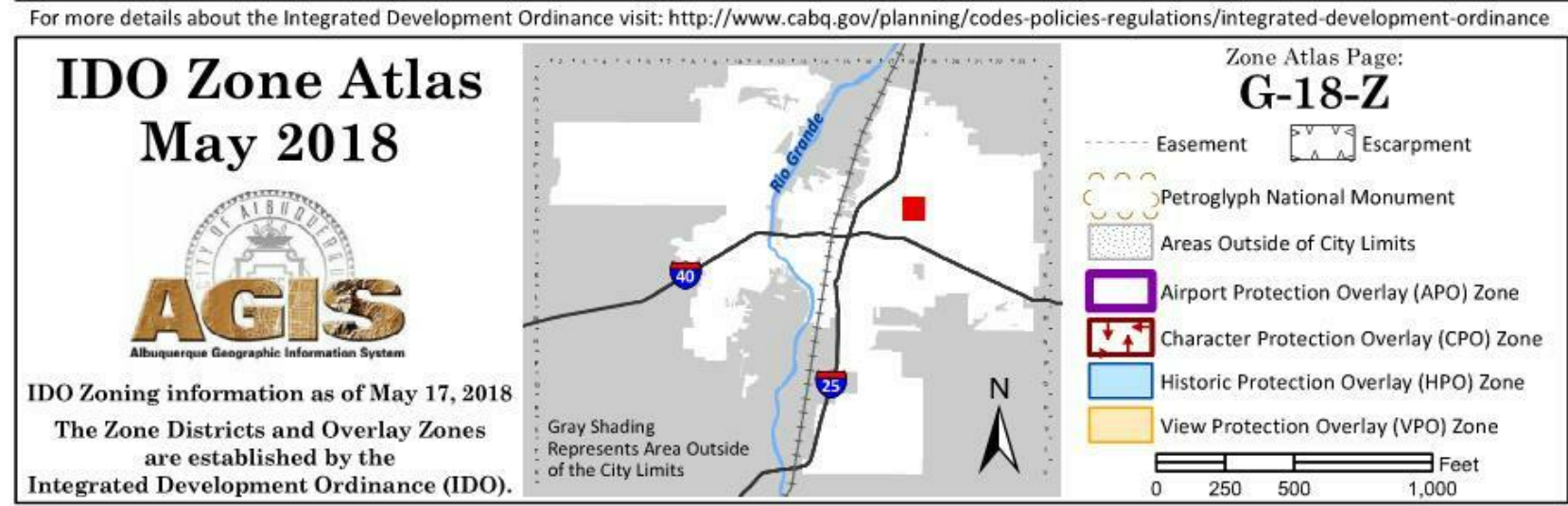
Once these corrections are complete, email pictures showing the changes to epgomez@cabq.gov, for release of Final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PARKING CALCULATIONS

SPACES REQUIRED:
RESTAURANT: 8 SPACES PER 1,000 S.F.
1,409 SF = 11 SPACES
OUTDOOR PATIO: 5 SPACES PER 1,000 S.F.
470 SF = 2 SPACES
BUSINESS: 3.5 SPACES PER 1,000 S.F.
1,009 SF = 3 SPACES
BICYCLE: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES
16 SPACES * 10% = 1.6
MOTORCYCLE: 1 SPACE PER 1-25 PARKING SPACES
16 SPACES = 1 SPACE
SPACES PROVIDED:
TOTAL RESTAURANT: 11 SPACES
TOTAL OUTDOOR PATIO: 2 SPACES
TOTAL BUSINESS: 3 SPACES
TOTAL BICYCLE: 3 SPACES
TOTAL MOTORCYCLE: 1 SPACE
GRAND TOTAL SPACES: 20

GENERAL NOTES:

1. PATCH ASPHALT AS NECESSARY.
2. ALL EXISTING LANDSCAPE TO REMAIN. PROTECT LANDSCAPE AND ANY DAMAGED LANDSCAPE NEEDS TO BE REPLACED WITH SIMILAR AT NO COST TO OWNER.
3. EXISTING MONUMENT SIGNAGE TO REMAIN.
4. REFER TO G4 & G5 FOR DETAILS. NOT ALL DETAILS MAY APPLY TO THIS PROJECT.

KEYED NOTES:

1. CURB RAMP RE: 18G4
2. TYP. CURB RE: 18G4
3. BIKE RACK RE: 13G4
4. ADA PARKING RE: 3G5
5. ADA SIGN RE: 11G5
6. MOTORCYCLE SIGN RE: 12G5
7. ADA RAMP RE: 15G4
8. CROSSWALK RE: 6G4
9. BOLLARD RE: 4G4
10. "DO NOT ENTER" SIGN RE: 12AG5
11. "DO NOT ENTER" MARKING RE: 8G5
12. "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 8G5
13. "ONE WAY" SIGN RE: 12AG5
14. EXISTING ENTRANCE SIGN
15. TIE IN TO EXISTING CONC. CURB
16. PAVEMENT MARKING TO FOLLOW COA STANDARD DRAWING 2600-105

GENERAL NOTES

- A. "0" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- C. PARKING: AN ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- D. EXISTING BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- E. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

Easement Notes

1. 8' X 8' PNM EASEMENT (01/06/1976 BK. MISC. 457, PG. 226 AS DOC. #2872A) SHOWN HEREON AS
2. 5' X 20' PNM AND MST&TCO. EASEMENT (12/22/1982 BK. 980 PG. 254 AS DOC. #82-67085)
3. PEDESTRIAN ACCESS EASEMENT (07/14/2017 AS DOC. #2017067885) SHOWN HEREON AS

GRAPHIC LEGEND

- | | |
|--|---|
| | EXISTING ASPHALT |
| | EXISTING CURB |
| | NEW CURB |
| | PROPERTY LINE |
| | DIRECTION PAVEMENT MARKING PER COA DRAWING 2600-105 |

CONSTRUCTION DOCUMENTS

PROJECT TITLE
ZIGGIS COFFEE SHOP

6000 MONTGOMERY BLVD. NE ALBUQUERQUE, NM 87109

PROJECT MANAGER
JOB NO.
Project Number

DRAWN BY:

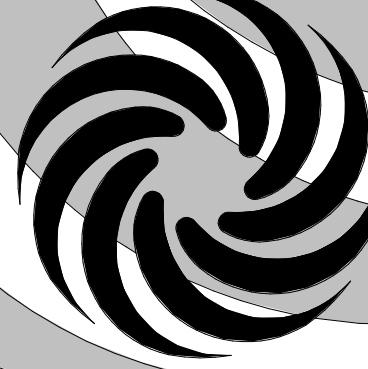
SHEET TITLE
ARCHITETURAL SITE PLAN

DATE
11-20-2020

SCALE:

SHEET
G3

MODULUS ARCHITECTS



100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



DATE	11-20-2020	SHEET	G3
SCALE:			

REV	DATE	BY	REVISION
1	01-15-21		CITY COMMENTS
3	2-15-21		ASI 3

6000 Montgomery Blvd. N.E.

TRAFFIC CIRCULATION LAYOUT APPROVED 1/19/21

Jeanne Wolfenbarger

PARKING CALCULATIONS

SPACES REQUIRED:

RESTAURANT: 8 SPACES PER 1,000 S.F.
1,408 SF = 11 SPACES

OUTDOOR PATIO: 5 SPACES PER 1,000 S.F.
470 SF = 2 SPACES

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TOTAL RESTAURANT: 11 SPACES

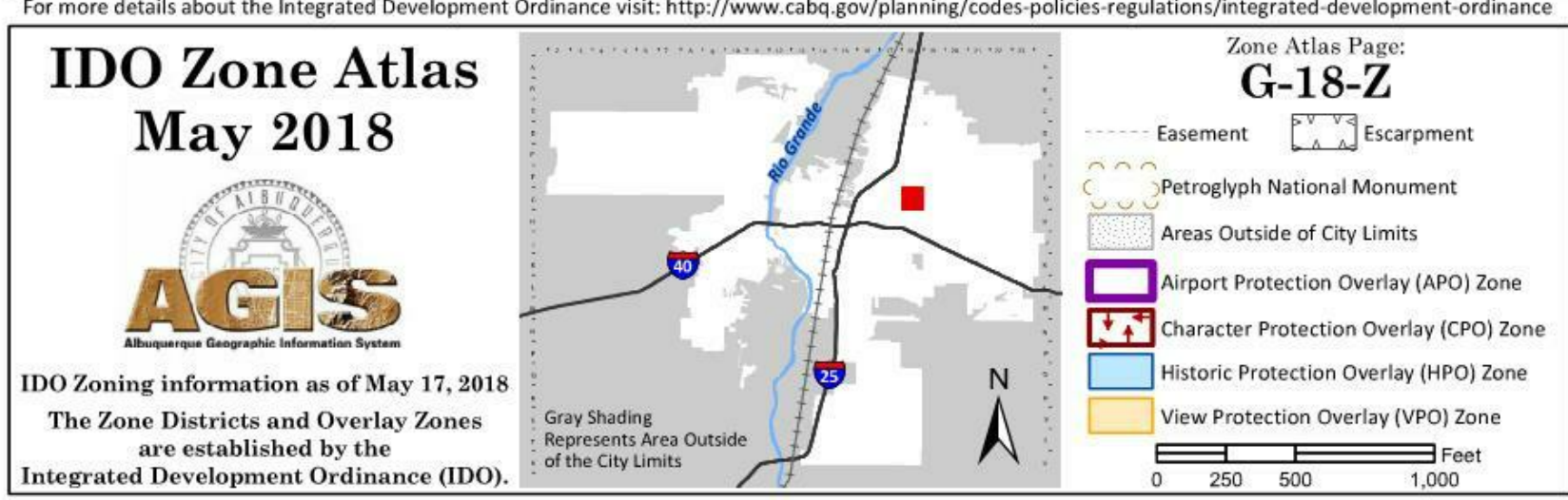
TOTAL OUTDOOR PATIO: 2 SPACES

TOTAL BUSINESS: 3 SPACES

TOTAL BICYCLE: 3 SPACES

TOTAL MOTORCYCLE: 1 SPACE

GRAND TOTAL SPACES: 20



Tract B,
Altamont Unit 6
(07/08/1960
Bk. C5, Pg. 15)

Bathey with
Cap "LS 14271"

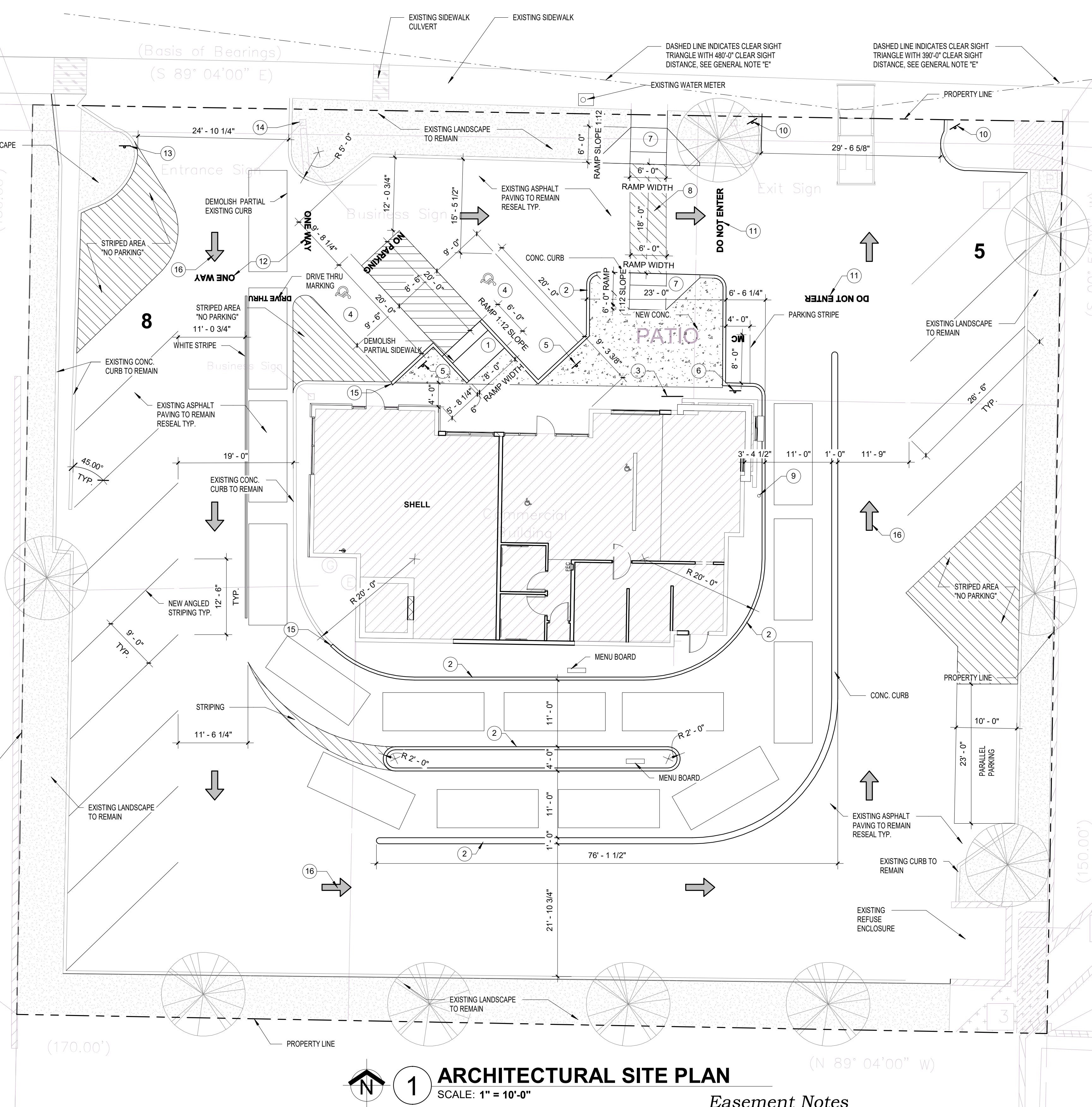
Bathey with
Cap "LS 14271"

5' reference point

1/2" Rebar

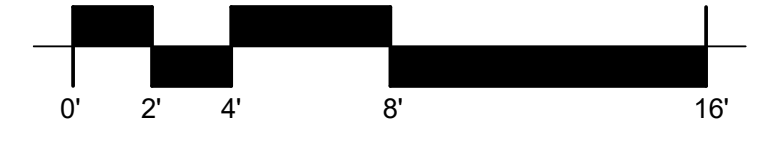
KEYED NOTES:

1. CURB RAMP RE: TO 18/A1
2. TYP. CURB RE: 10/A1
3. BIKE RACK RE: 13/A1
4. ADA PARKING RE: 3/A2
5. ADA SIGN RE: 11/A2
6. MOTORCYCLE SIGN RE: 12/A2
7. ADA RAMP RE: 15/A1
8. CORRSWALK RE: 8/A1
9. BOLLARD RE: 4/A1
10. "DO NOT ENTER" SIGN RE: 12/A2
11. "DO NOT ENTER" MARKING RE: 8/A2
12. "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 8/A2
13. "ONE WAY" SIGN RE: 12/A2
14. EXISTING ENTRANCE SIGN
15. TIE IN TO EXISTING CONC. CURB
16. PAVEMENT MARKING TO FOLLOW COA STANDARD DRAWING 2600-105



1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"



GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
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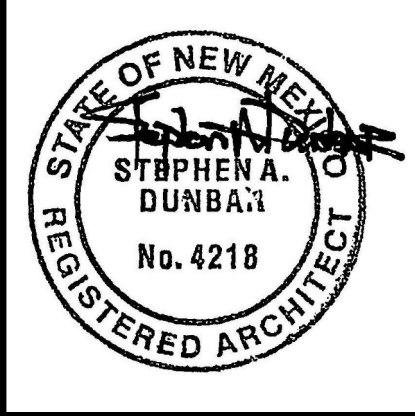
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GRAPHIC LEGEND

- [Symbol] EXISTING ASPHALT
- [Symbol] EXISTING CURB
- [Symbol] NEW CURB
- [Symbol] PROPERTY LINE
- [Symbol] DIRECTION PAVEMENT MARKING PER COA DRAWING 2600-105

CONSTRUCTION DOCUMENTS

PROJECT TITLE	ZIGGIS COFFEE SHOP	JOB NO.	87109	DRAWN BY:	STEPHEN A. DUNBAR
PROJECT MANAGER	6000 MONTGOMERY BLVD. NE ALBUQUERQUE, NM	PROJECT NUMBER			
SHEET TITLE	ARCHITECTURAL SITE PLAN				
DATE	11-20-2020	SHEET	TCL1		
SCALE:					



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REV	DATE	BY	REVISION

