

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 19, 2021

Carlos Torres  
Modulus Architects  
Albuquerque, NM 87109

**Re:** Restaurant  
**6000 Montgomery Boulevard**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 1-14-2021 ([G18-D042](#))

Dear Mr. Torres,

The TCL submittal received 1-14-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed [Drainage and Transportation Information Sheet](#) to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# 6000 Montgomery Blvd. N.E.

TRAFFIC CIRCULATION LAYOUT APPROVED 1/19/21

*Jeanne Wolfenbarger*

## PARKING CALCULATIONS

SPACES REQUIRED:

RESTAURANT: 8 SPACES PER 1,000 S.F.  
1,408 SF = 11 SPACES

OUTDOOR PATIO: 5 SPACES PER 1,000 S.F.  
470 SF = 2 SPACES

BUSINESS: 3.5 SPACES PER 1,000 S.F.  
1,008 SF = 3 SPACES

BICYCLE: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES  
16 SPACES \* 10% = 1.6

MOTORCYCLE: 1 SPACE PER 1-25 PARKING SPACES  
16 SPACES = 1 SPACE

SPACES PROVIDED:

TOTAL RESTAURANT: 11 SPACES

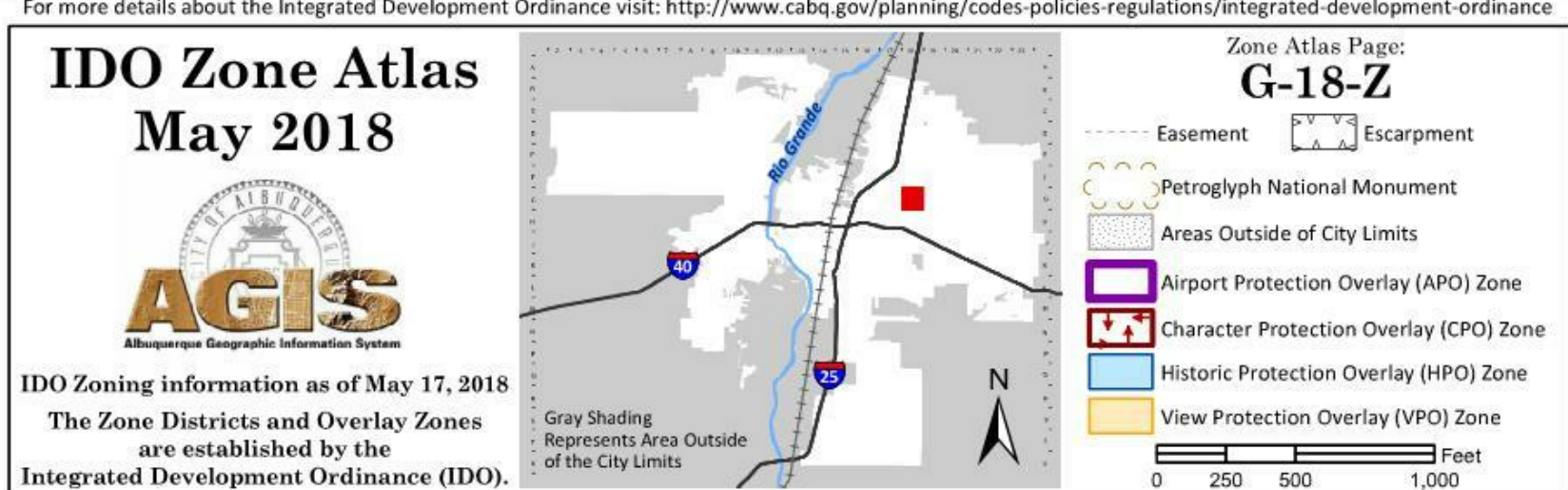
TOTAL OUTDOOR PATIO: 2 SPACES

TOTAL BUSINESS: 3 SPACES

TOTAL BICYCLE: 3 SPACES

TOTAL MOTORCYCLE: 1 SPACE

GRAND TOTAL SPACES: 20

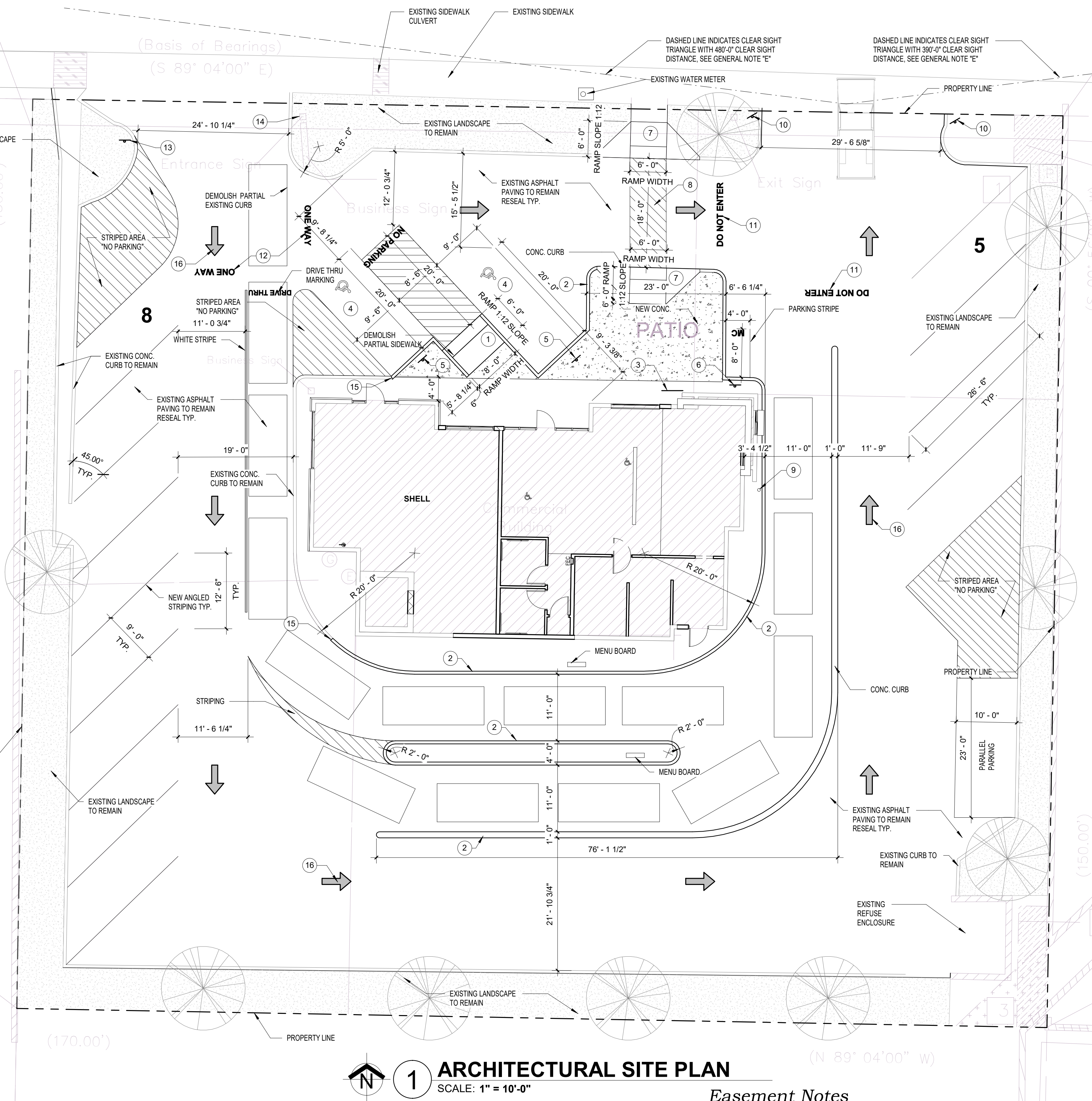


Tract B,  
Altamont Unit 6  
(07/08/1960  
Bk. C5, Pg. 15)

Bathey with  
Cap "LS 14271"

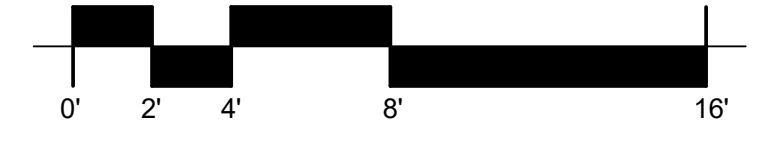
## KEYED NOTES:

1. CURB RAMP RE: TO 18/A1
2. TYP. CURB RE: 10/A1
3. BIKE RACK RE: 13/A1
4. ADA PARKING RE: 3/A2
5. ADA SIGN RE: 11/A2
6. MOTORCYCLE SIGN RE: 12/A2
7. ADA RAMP RE: 15/A1
8. CORRSWALK RE: 8/A1
9. BOLLARD RE: 4/A1
10. "DO NOT ENTER" SIGN RE: 12/A2
11. "DO NOT ENTER" MARKING RE: 8/A2
12. "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 8/A2
13. "ONE WAY" SIGN RE: 12/A2
14. EXISTING ENTRANCE SIGN
15. TIE IN TO EXISTING CONC. CURB
16. PAVEMENT MARKING TO FOLLOW COA STANDARD DRAWING 2600-105



## 1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"



## GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- C. PARKING AN ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- D. EXISTING BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- E. LANDSCAPING AND STORAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

## Easement Notes

1. 8' X 8' PNM EASEMENT (01/06/1976 BK. MISC. 457, PG. 226 AS DOC. #2872A) SHOWN HEREON AS [Symbol]
2. 5' X 20' PNM AND MST&TCO. EASEMENT (12/22/1982 BK. 980 PG. 254 AS DOC. #82-67085) [Symbol]
3. PEDESTRIAN ACCESS EASEMENT (07/14/2017 AS DOC. #2017067885) SHOWN HEREON AS [Symbol]

## GRAPHIC LEGEND

- [Symbol] EXISTING ASPHALT
- [Symbol] EXISTING CURB
- [Symbol] NEW CURB
- [Symbol] PROPERTY LINE
- [Symbol] DIRECTION PAVEMENT MARKING PER COA DRAWING 2600-105

## CONSTRUCTION DOCUMENTS

PROJECT TITLE  
**ZIGGIS COFFEE SHOP**

6000 MONTGOMERY BLVD. NE ALBUQUERQUE, NM 87109

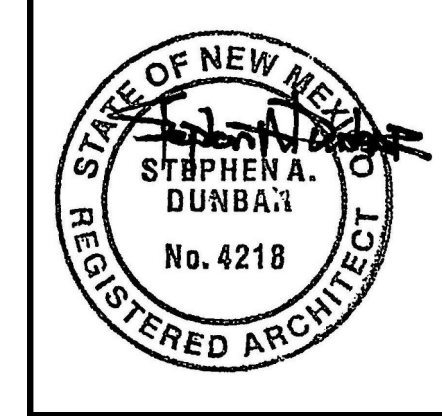
PROJECT MANAGER  
STEPHEN A. DUNBAR

JOB NO.  
87109

DRAWN BY:  
[Name]

SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

DATE	SHEET
11-20-2020	<b>TCL1</b>
SCALE:	

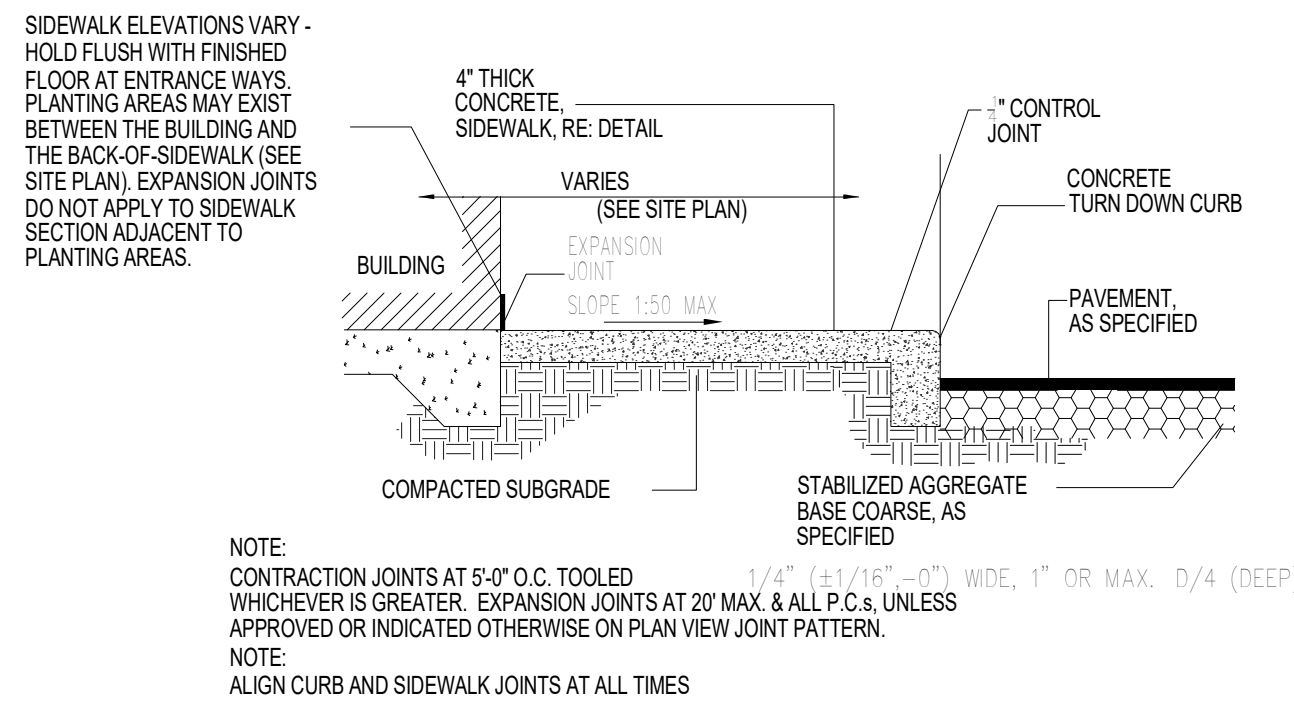
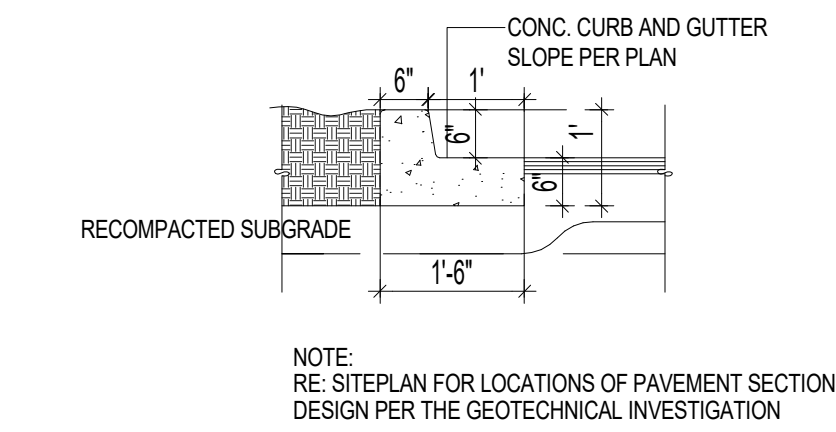
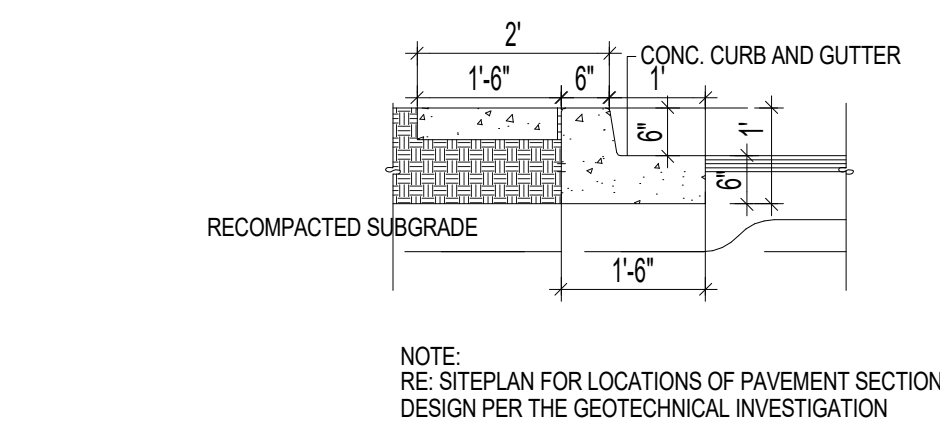
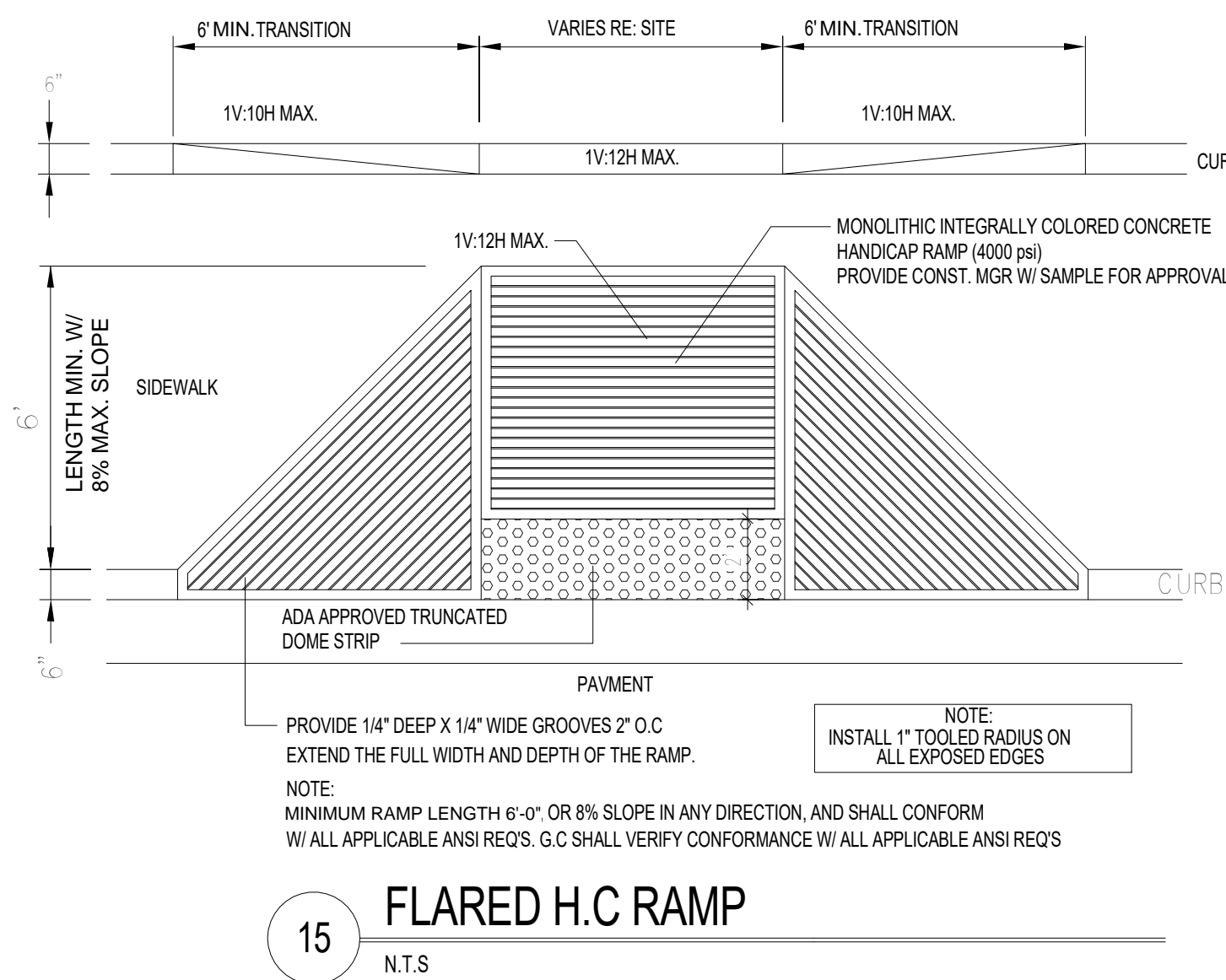
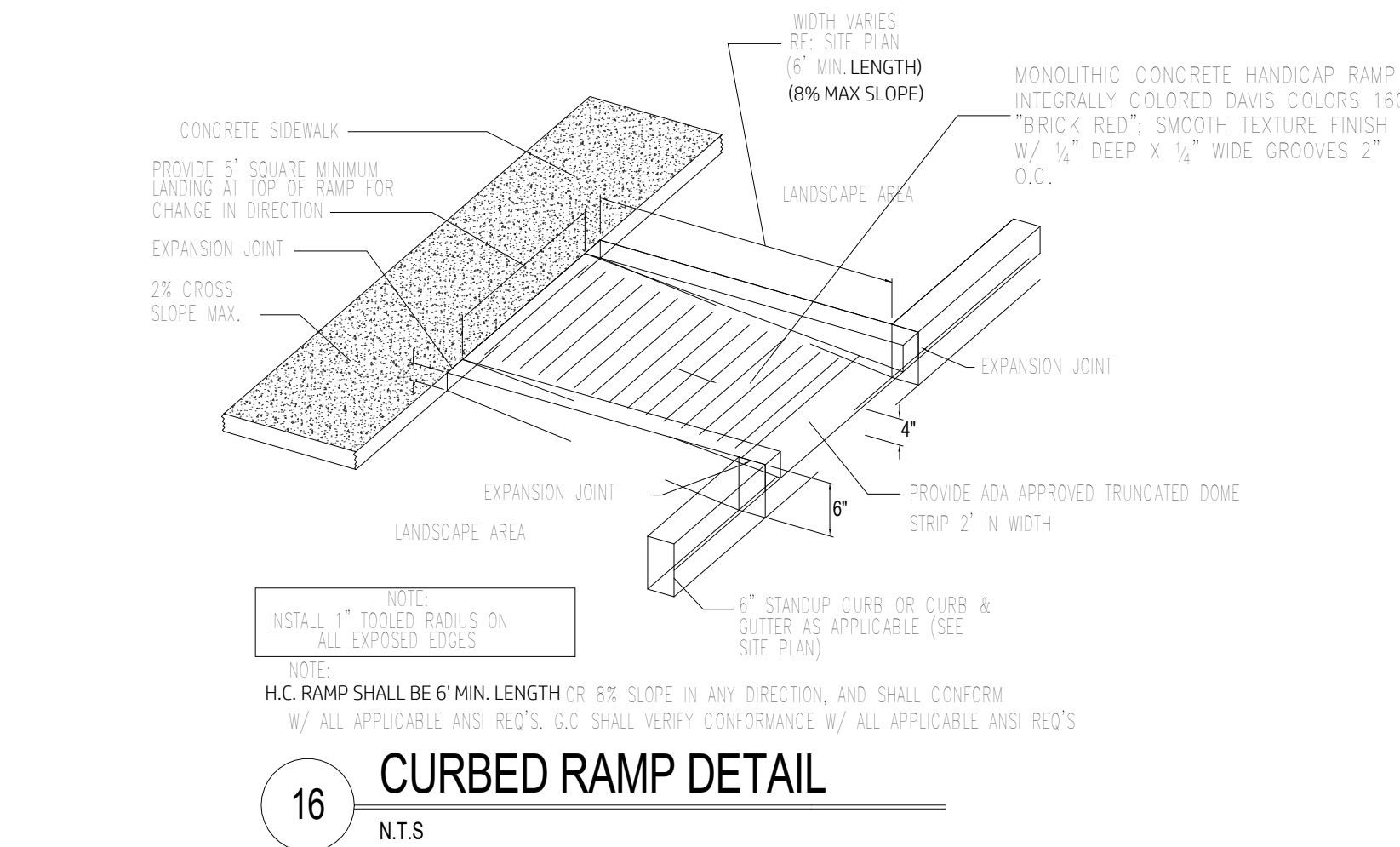


**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161

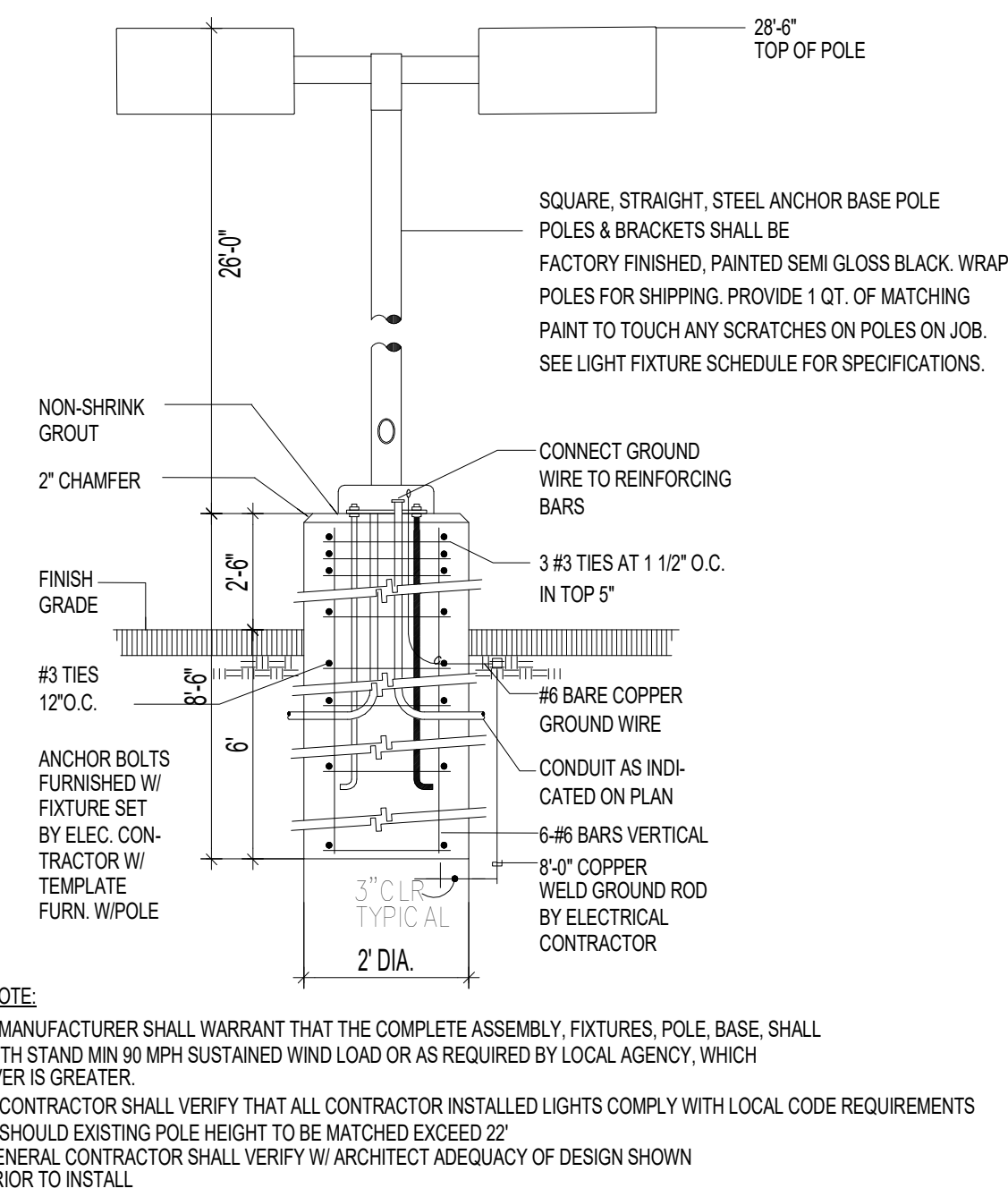
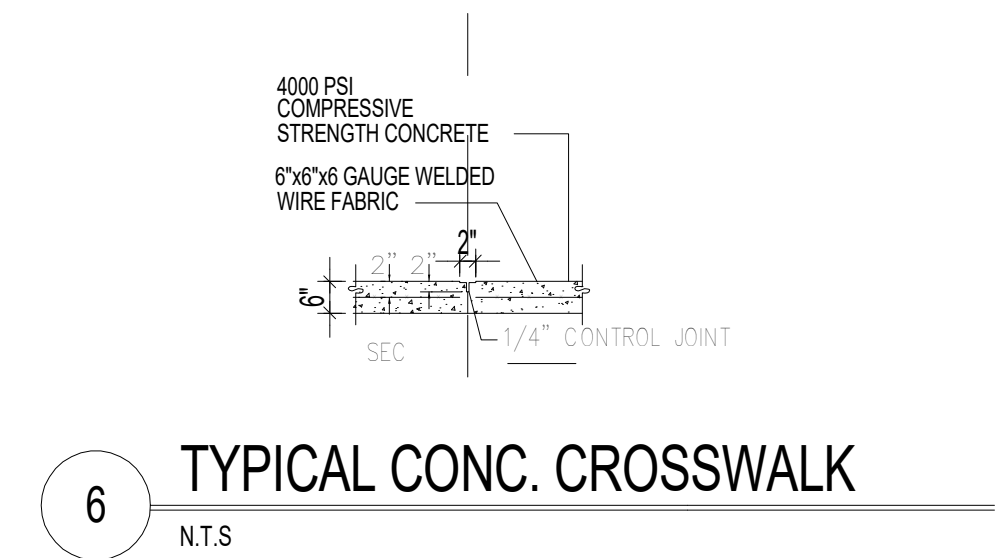
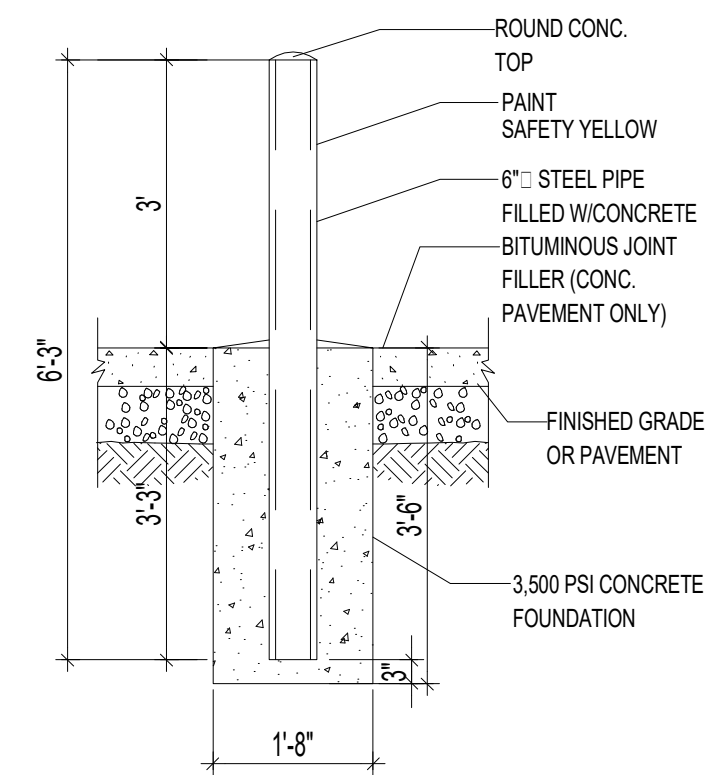
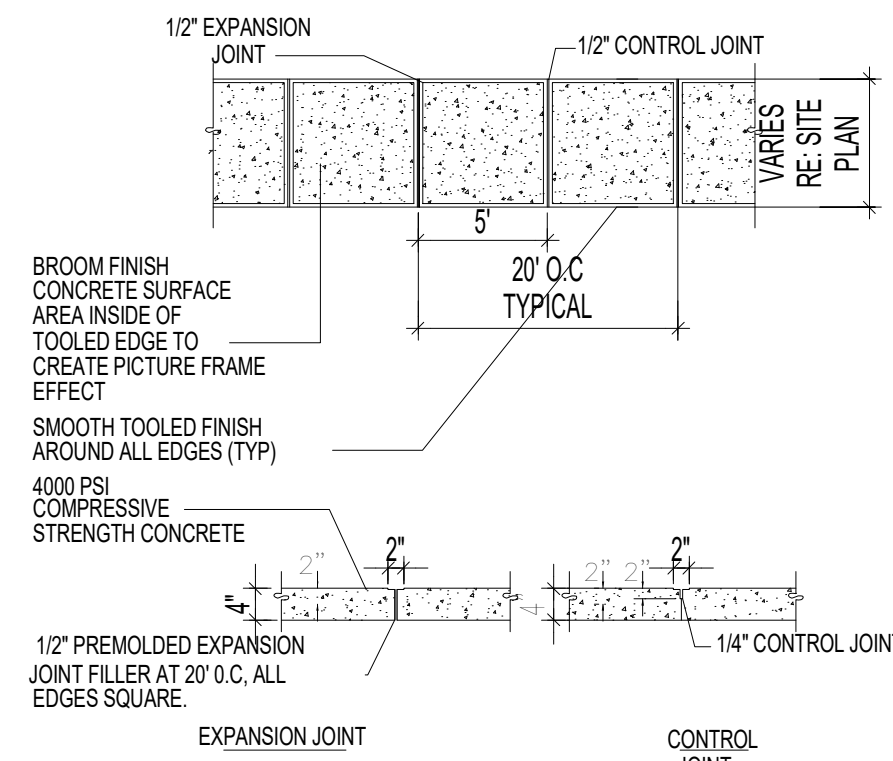
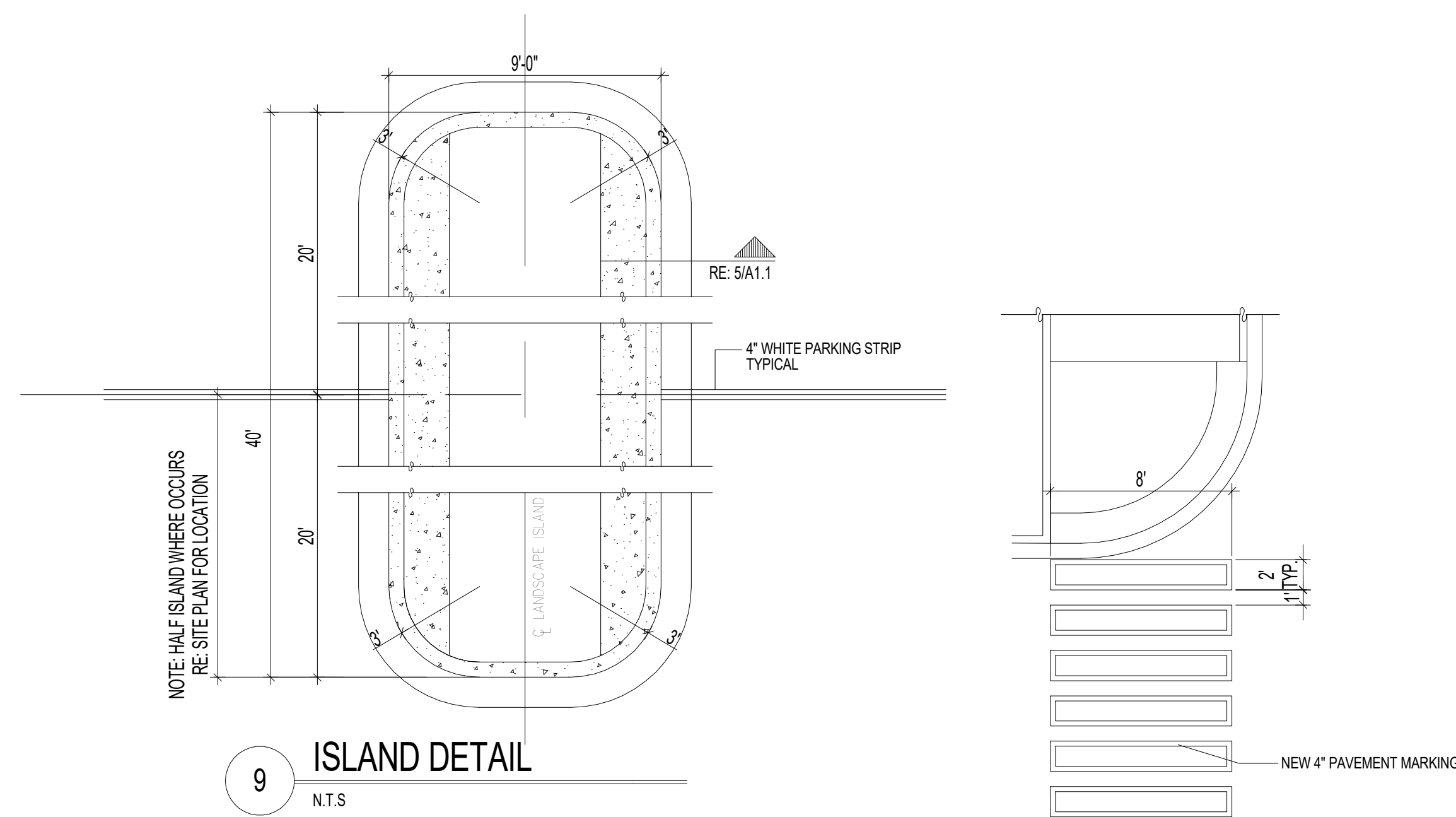
REV	DATE	BY	REVISION



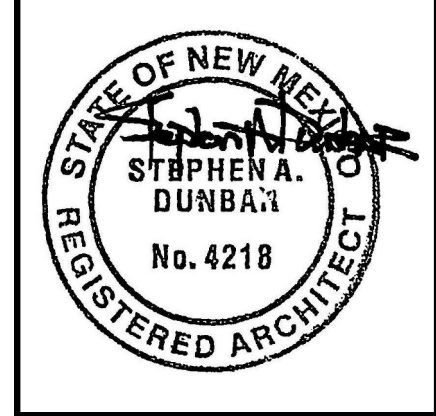


TRAFFIC CIRCULATION LAYOUT APPROVED 1/19/21

*Jeanne Wolfenbarger*



PROJECT TITLE		ZIGGIS COFFEE SHOP		DRAWN BY:	
PROJECT MANAGER		JOB NO.	Project Number		
SHEET TITLE		ARCHITECTURAL SITE DETAILS			
DATE	12-31-20	SHEET			
SCALE:		AA1			



**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION