



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 11, 2001

Jacob A. Vigil, P.E.
Vigil Engineering
7317 4th Street NW
Albuquerque, NM 87107

***RE: GEORGIA STREET BUILDING (G18-D44). Revised GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
OCTOBER 3, 2001.***

Dear Mr. Vigil:

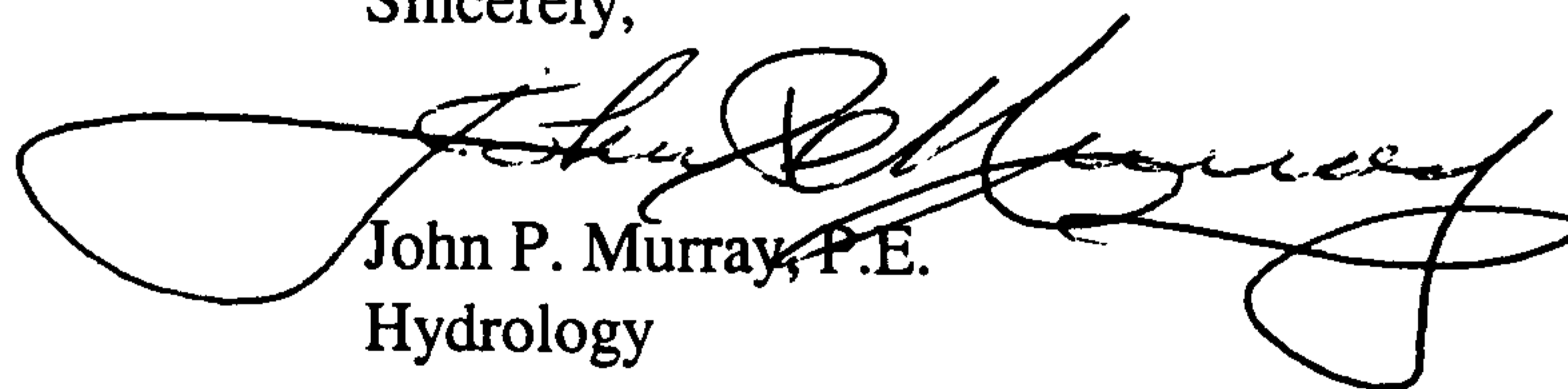
Based on the information provided on your October 5, 2001 resubmittal, the above referenced project is approved for Building Permit. Note that Building Permit covers Grading and Foundation. See also City Hydrology approval letter dated September 24, 2001.

Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: GEORGIA ST. OFFICE BLDG H-1 ZONE MAP/DRG. FILE #: G-18/D44
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B BLOCK K UNIT 6 ALTA MONT ADDITION
 CITY ADDRESS: 3901 GEORGIA NE

ENGINEERING FIRM: VIGIL ENGINEERING
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: JOHN BURWICK
 ADDRESS: 3901 GEORGIA G-1
 CITY, STATE: ARIZ NM

CONTACT: _____
 PHONE: 884-3703
 ZIP CODE: 87110

ARCHITECT: LES ROBINSON
 ADDRESS: 3420 GERM NE
 CITY, STATE: ARIZ NM

CONTACT: MARK SWAPP
 PHONE: 344-7526
 ZIP CODE: 87110

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: SHI CONST.
 ADDRESS: 6026 RACA AVE
 CITY, STATE: RELEN NM

CONTACT: _____
 PHONE: 864-4418
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ OTHER

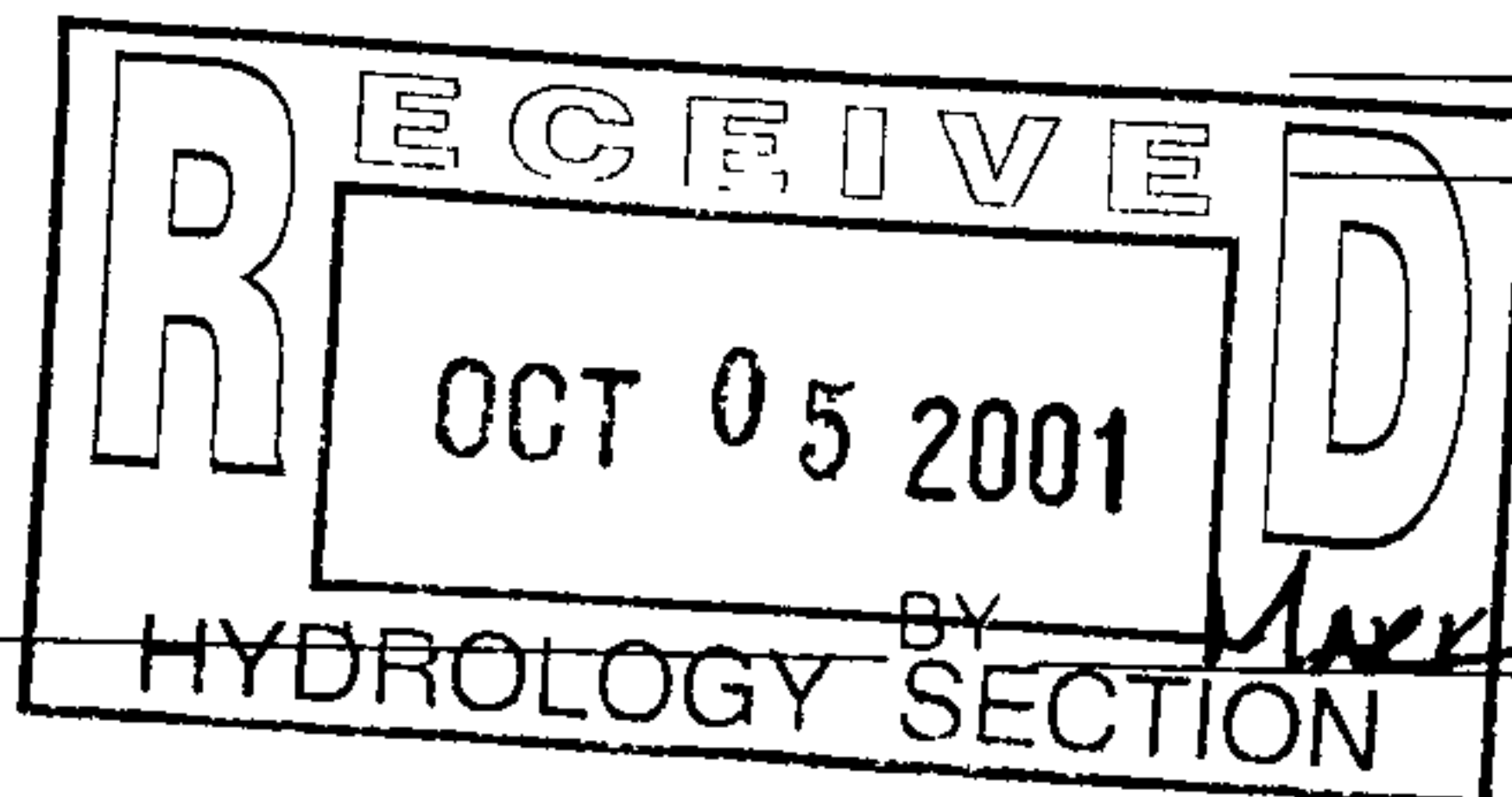
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 10/05/01



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

THIS IS A REVISION TO APPROVED PLAN. H.C. PARKING AND SIDEWALK ARE THE ONLY CHANGES. THANK YOU.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 24, 2001

Jacob A. Vigil, P.E.
Vigil Engineering
7317 4th Street NW
Albuquerque, NM 87107

***RE: GEORGIA STREET BUILDING (G18-D44). GRADING AND DRAINAGE PLAN
FOR GRADING, FOUNDATION AND BUILDING PERMIT APPROVALS.
ENGINEER'S STAMP DATED September 14, 2001.***

Dear Mr. Vigil:

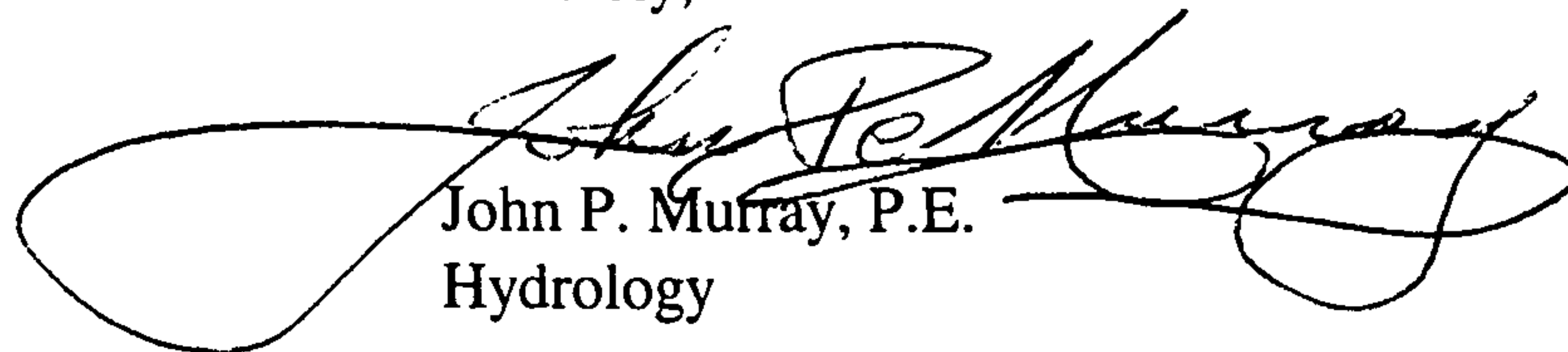
Based on the information provided on your September 14, 2001 submittal, the above referenced project is approved for Grading, Foundation, and Building Permits. Note that Building Permit covers Grading and Foundation.

Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

G-18/D44

PROJECT TITLE: GEORGIA ST. BLDG. ZONE MAP/DRG. FILE #: G-18
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT B, BLOCK K, LOT 1, UNIT NO. 6, ALTAMONT
 CITY ADDRESS: GEORGIA, NE.

ENGINEERING FIRM: VIGIL ENGINEERING
 ADDRESS: 7317 4TH STREET NW
 CITY, STATE: ALBUQUERQUE, NM 87107

CONTACT: JAKE A. VIGIL
 PHONE: 301-2517
 ZIP CODE: 87107

OWNER: JOHN BURWINKLE JR.
 ADDRESS: 3901 GEORGIA, NE 87110
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN BURWINKLE
 PHONE: 884-3703
 ZIP CODE: 87110

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: RON FORSTBAUER
 ADDRESS: 4116 LOMAS BLVD NE
 CITY, STATE: ALBUQUERQUE, N.M.

CONTACT: RON FORSTBAUER
 PHONE: 266-2412
 ZIP CODE: 87110

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE RE
- ☒ DRAINAGE PL
- ☒ CONCEPTUAL
- ☒ GRADING PL
- ☒ EROSION CC
- ☐ ENGINEER'S
- ☐ CLOMR/LOM
- ☐ TRAFFIC CIF
- ☐ OTHER

G18/D14

Can't locate
File!

WAS A PRE-DESIGN CONFERENCE HELD: _____
 YES _____
 NO _____
 COPY PROVIDED _____

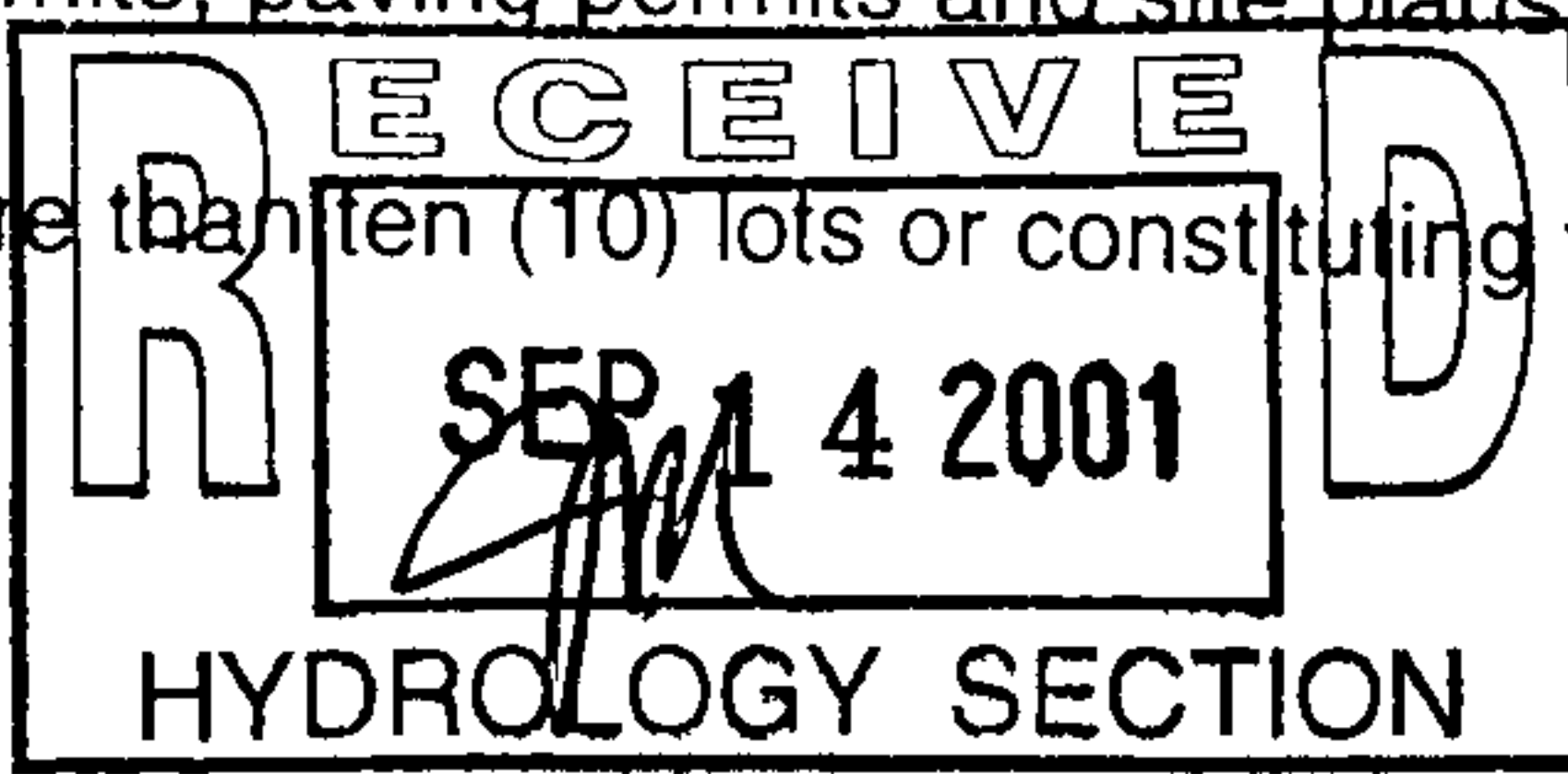
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: SEPTEMBER 14, 2001 BY: Jacob A. Vigil

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: Georgia Office Building ZONE MAP/DRG. FILE #: 6-18
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot B Block K Unit 6 Alta Monte Addition
CITY ADDRESS: 3901 Georgia NE

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: John Burwinkel
ADDRESS: 3901 Georgia
CITY, STATE: Albany

CONTACT: _____
PHONE: 884-3703
ZIP CODE: _____

ARCHITECT: Las Robinson
ADDRESS: 3420 Cuervo NE
CITY, STATE: Albany

CONTACT: Mark Snapp
PHONE: 344-7526
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

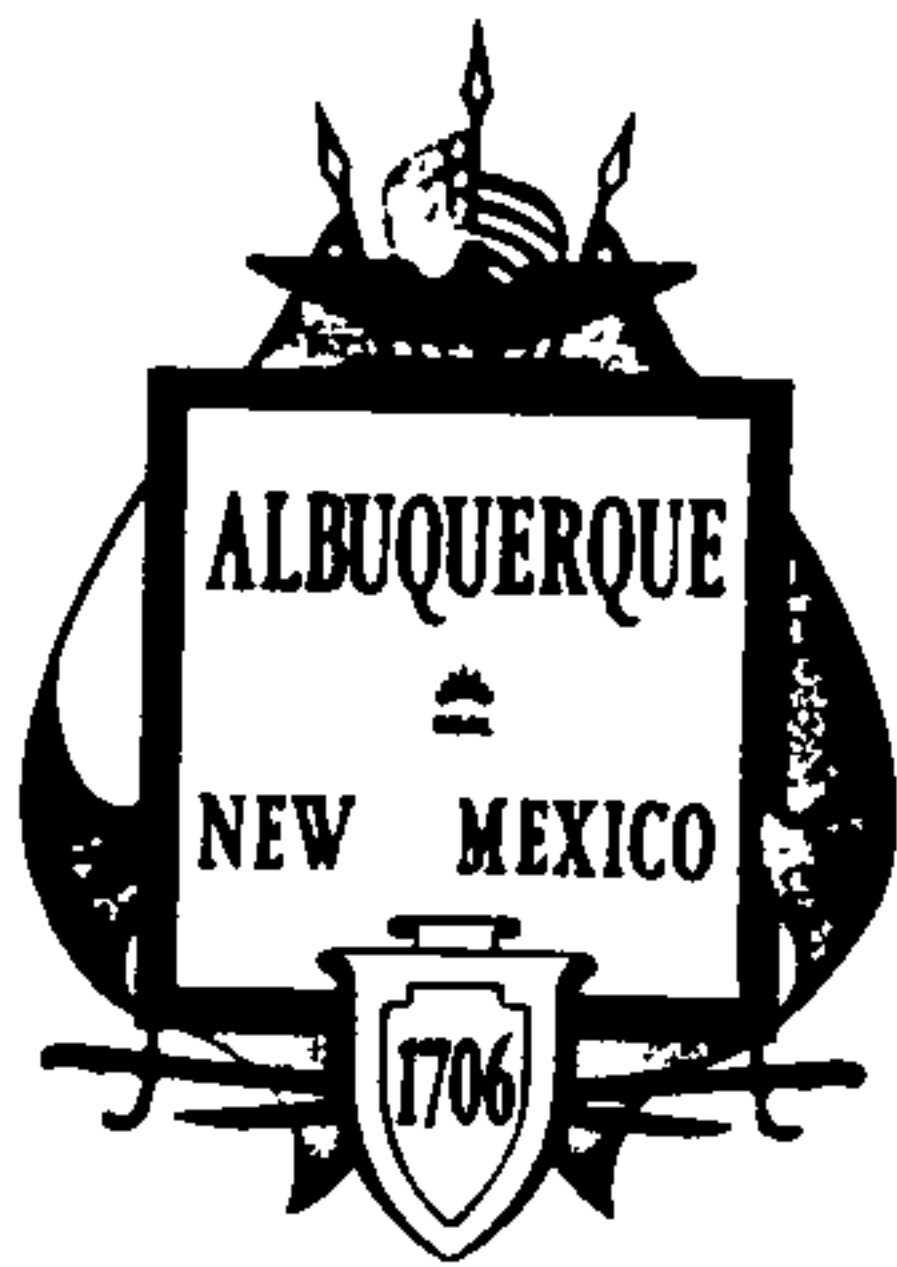
- ☐ YES
☐ NO
☐ COPY PROVIDED

RECEIVED
NOV 13 2001
HYDROLOGY SECTION
Approved

DATE SUBMITTED: 11/13/01 BY: Nike Zamora

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

October 26, 2001

Les Robinson, Registered Architect
Les I. Robinson, Architect / Designer
3420 Cuervo NE
Albuquerque, NM 87110

Re: Second TCL Submittal for Building Permit Approval
Office Building for John Burwinkle, [G18 / D044]
3901 Georgia NE
Architect's Stamp Undated

Dear Mr. Robinson:

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached TCL checklist, and redlined TCL markup with comments.

Each revision to the TCL submitted for follow-up review must be stamped by designer and date (with signature) must be current date of revision.

Please resubmit revised TCL after addressing typed and marked up comments. Submit Plan along with typed comments and all redlined, mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Terri Martin, Hydrology
Office File

MZ:gds

DRAINAGE INFORMATION SHEET

GEORGIA ST.

PROJECT TITLE: OFFICE BLDG. - H

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #:

WORK ORDER#:

G-18/D44

LEGAL DESCRIPTION: TRACT 'B', BLOCK 'K', LOT '1' UNIT 6 ALTAMONT ADD.

CITY ADDRESS: 3901 GEORGIA NE

ENGINEERING FIRM: HA JAKE VITAL

ADDRESS: 7317 4th ST

CITY, STATE: ABQ NM

CONTACT:

PHONE: 301-2512

ZIP CODE: 87107

OWNER: JOHN BURDWICKLE

ADDRESS: 3901 GEORGIA NE G-1

CITY, STATE: ABQ NM 87110

CONTACT: SAME

PHONE: 884-3703

ZIP CODE: 87110

ARCHITECT: LES ROBINSON

ADDRESS: 3420 CHERNO NE

CITY, STATE: ABQ NM

CONTACT: SAME

PHONE: 883-9239

ZIP CODE: 87110

SURVEYOR: N/A

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR: SHT CONST.

ADDRESS: 606 RACA AVE

CITY, STATE: BELEN, NM

CONTACT:

PHONE: 864-4478

ZIP CODE: 87002

CHECK TYPE OF SUBMITTAL

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

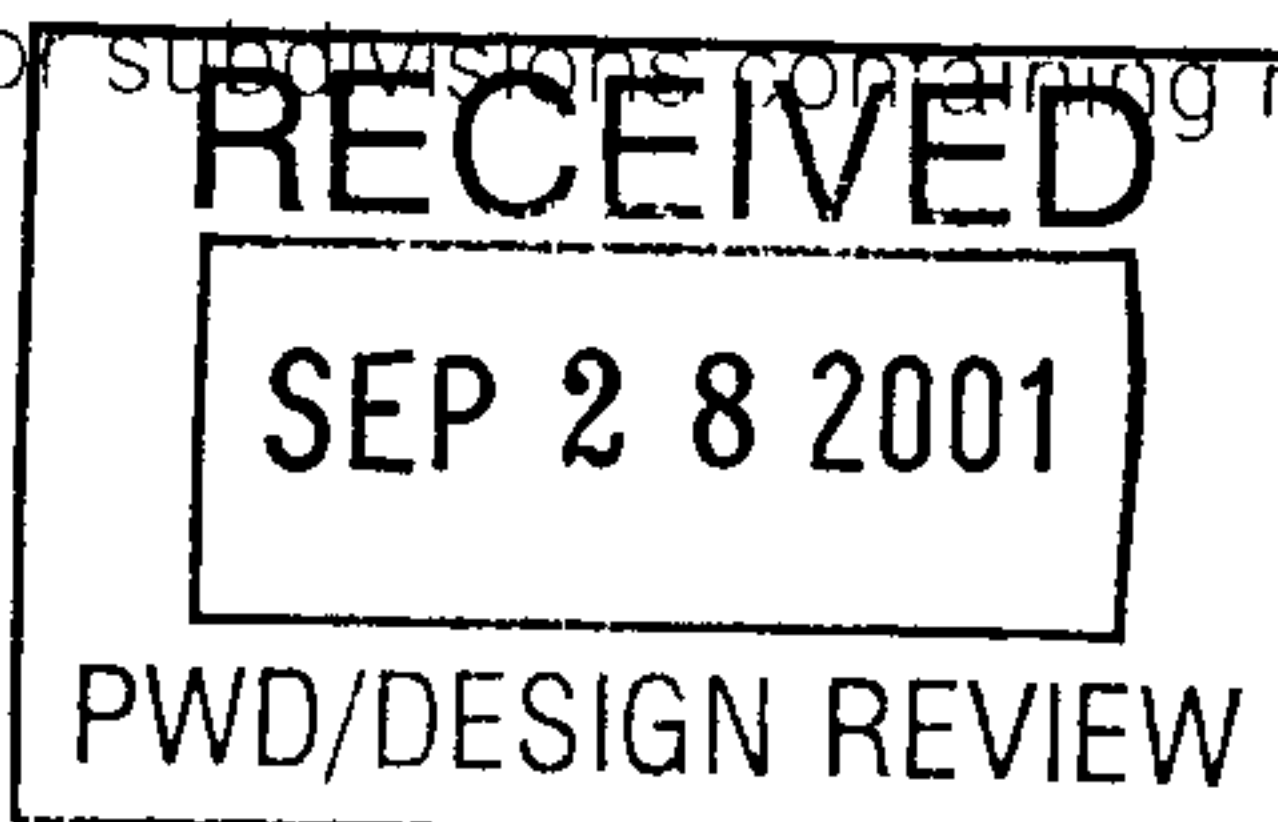
CHECK TYPE OF APPROVAL SOUGHT

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S DEV PLAN FOR SUB'D APPROVAL
- ☐ S DEV PLAN FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED 9/28/01 BY MARK SWAPP

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more



NOTICE TO LOCAL RESIDENTS & BUSINESS
2001 RESIDENTIAL STREET REHABILITATION PROGRAM
COA PROJECT #6519.91

Dear Resident/Business Owner

October 22, 2001 thru November 23, 2001

The project referenced above was recently awarded to Star Paving Company, our firm. It involves the milling and resurfacing of existing roadways, as well as the replacement of defective curb and gutter, and repair of other concrete surfaces if necessary.

THE WORK WILL BE PERFORMED ON THE FOLLOWING STREET

Street	From	Street	To	Street	Grid Map	Line Spot #
Georgia	FROM	Natalie	TO	Montgomery	G-18	2001-41-2260
Harwood	FROM	Comanche	TO	CDS	G-18	2001-41-2264
Gorman	FROM	Comanche	TO	CDS	G-18	2001-41-2246
Dellwood	FROM	Wyoming	TO	Connecticut	G-18	2001-41-2269
Moon	FROM	Comanche	TO	Harwood	G-18	2001-41-2270
La Mirada	FROM	Wyoming	TO	West end	G-18	2001-41-2272

Due to the size and magnitude of this project, some delays and detours are to be expected. Please be patient as we are just as anxious to complete our work in this area, as you are. Work will not commence in all these areas at the same time, but we will be in your area shortly.

As with any construction project, please caution children not to play in, around or on any construction equipment and keep them clear of the construction zone. Motorists in a construction zone usually look at the heavy equipment and do not pay attention to pedestrian movements.

If you have vehicles parked on the above road or immediately adjacent to this road, please move them upon receipt of this notice. If an unattended vehicle is about to cause work stoppage, we will have it towed out of the work area.

Should you have any questions, contact me at our main office or our Project Superintendent Lee Haas (505) 877-0380. The City of Albuquerque Street Maintenance Supervisor is Daniel Martinez who can be reached at 259-3475. Please keep in mind that as part of this contract we will not perform any work not authorized by the City of Albuquerque.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

October 9, 2001

Les Robinson Registered Architect,
Les I. Robinson, Architect/Designer
3420 Cuervo N.E.
Albuquerque, New Mexico 87110

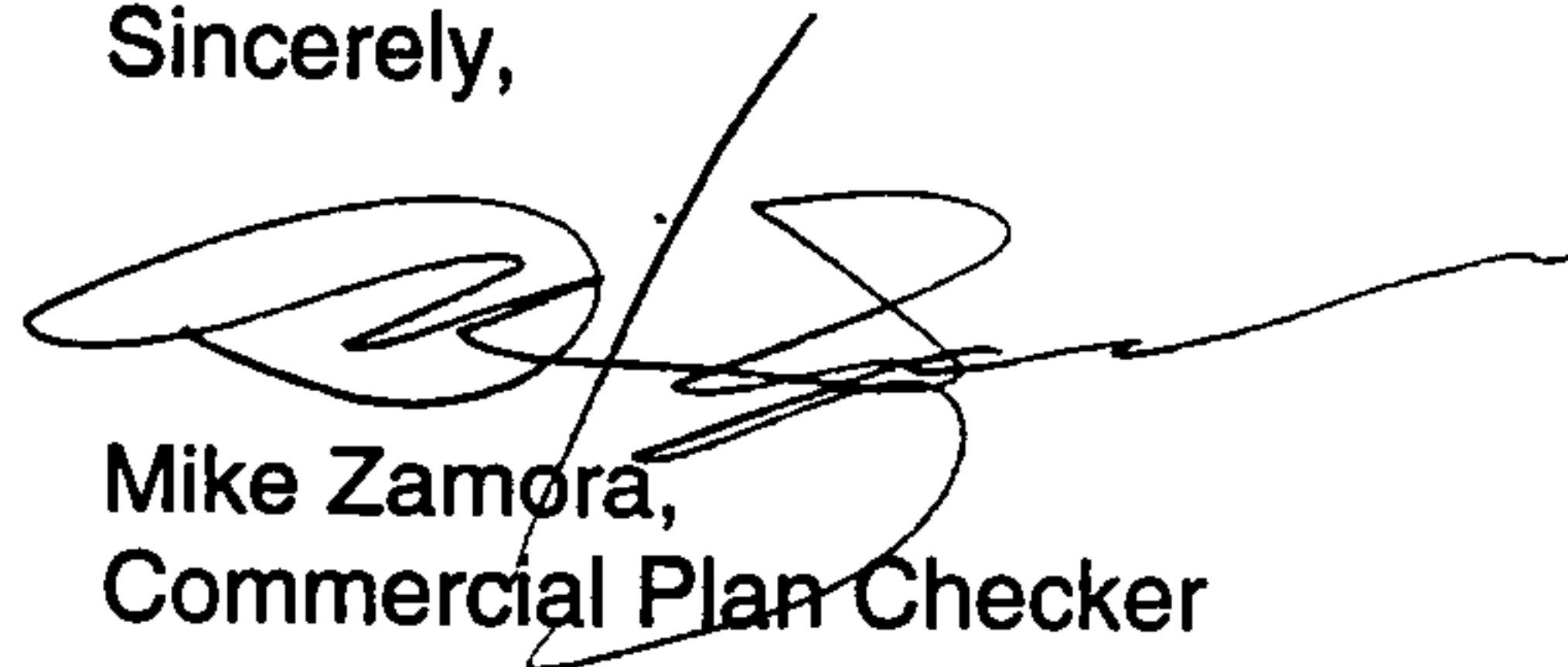
Re: T.C.L. submittal for building permit approval for
Office Building for John Burwinkle, [G18/D044],
3901 Georgia St. N.E.
Architect Stamp dated 1/30/01.

Dear Mr. Robinson,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached TCL checklist, and red-lined T.C.L. markup with comments.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,



Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Terri Martin
Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 3901 Georgia NE

AGENT: Mark Snapp

LEGAL DESCRIPTION: ALTA MONTE Addition, Unit 6, Block K, Tract B, Lot 1.

DATE: 10/9/01

ZONE ATLAS PAGE: G-18

The Traffic Circulation Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be reviewed and approved prior to the approval of the plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy for that site.

The design firm needs to comply with the *TRAFFIC CIRCULATION LAYOUT CHECKLIST* provided, along with requirements of Chapter 23 of the Development Process Manual (DPM).

GENERAL INFORMATION REQUIRED:

- ☒ 1. TCL must be stamped, signed and dated by N.M. registered architect or engineer.
- ☒ 2. Street address of site, also include the drainage plan reference number.
- ☒ 3. Provide legal description, name of subdivision, lot number and/or tract number on TCL.
- ☐ 4. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with City Engineer.
- ☒ 5. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- ☐ 6. Drainage and Landscape Plans must match the Site Plan.

SPECIFIC INFORMATION REQUIRED:

- ☒ 1. State Highway Department approval is required at locations where access is being taken from a Highway Department roadway.
- ☐ 2. Delivery vehicle and refuse maneuvering area must be contained on the site.
- ☐ 3. State the design vehicle to be used for deliveries to this site.
- ☐ 4. Show new and existing infrastructure on TCL, clearly labeled, dimensioned and to scale. Clearly distinguish between the new and existing improvements.
- ☒ 5. Clearly show the phasing for this site.

- ☐ 6. Curb cuts need to be in accordance with Chapter 23.6.B of the DPM and COA standard dwg #2425 or #2426.
- ☐ 7. Parking stalls and drive aisles need to be in accordance with Chapter 23.7.A of the DPM.
- ~~N/A~~ ☐ 8. Adequate queuing needs to be provided in accordance with Chapter 23.7.C of the DPM.
- ~~N/A~~ ☐ 9. Label parking stalls for small car as "COMPACT" or equal.
- ~~N/A~~ ☐ 10. Sidewalks are required to be 5ft when placed between a building and parking stall.
- ~~N/A~~ ☐ 11. Drive-through facilities shall be designed in accordance with Chapter 23.7.E.
- ☐ 12. Clearly show both sides of the adjacent street to scale and all existing infrastructure, include the sidewalk, curb and gutter, median, etc. as applicable.
- ☐ 13. Handicap parking stalls must be in accordance with the New Mexico State Building code for accessibility.
- ☐ 14. Handicap ramps are required at street corners.
- ☐ 15. Cross access easements may be needed.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

November 7, 2001

Mark Snapp for Les I. Robinson, Registered Architect
Les I. Robinson Architect
3420 Cuervo NE
Albuquerque, NM 87110

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Georgia Office Building, [G18 / D44]
3901 Georgia NE
Architect's Stamp Dated 10/30/01

Dear Mr. Snapp:

The TCL submitted for second review is not sufficient for acceptance by this office. It requires completion of the items not yet addressed, shown in red, on the TCL revised by the designer.

Please submit the corrected TCL again to Hydrology along with all documentation and mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Terri Martin, Hydrology
Office File

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

G-18/D44

PROJECT TITLE: OFFICE BUILDING ZONE MAP/DRG. FILE #: G-18
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B BLOCK 16 UNIT 6 ALTA MONT ADDITION
 CITY ADDRESS: 3901 GEORGIA

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: JOHN BURWINKLE
 ADDRESS: 3901 GEORGIA G-1
 CITY, STATE: ALBUQUERQUE NM

CONTACT: _____
 PHONE: 884-3703
 ZIP CODE: 87110

ARCHITECT: LES ROBINSON
 ADDRESS: 3420 CUERVO NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK SNAPP
 PHONE: 844-7526
 ZIP CODE: 87110

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: S.H. COVET
 ADDRESS: 6006 BAJOA AVE
 CITY, STATE: BELLEVUE, NM

CONTACT: _____
 PHONE: 864-4478
 ZIP CODE: 87002

CHECK TYPE OF SUBMITTAL:

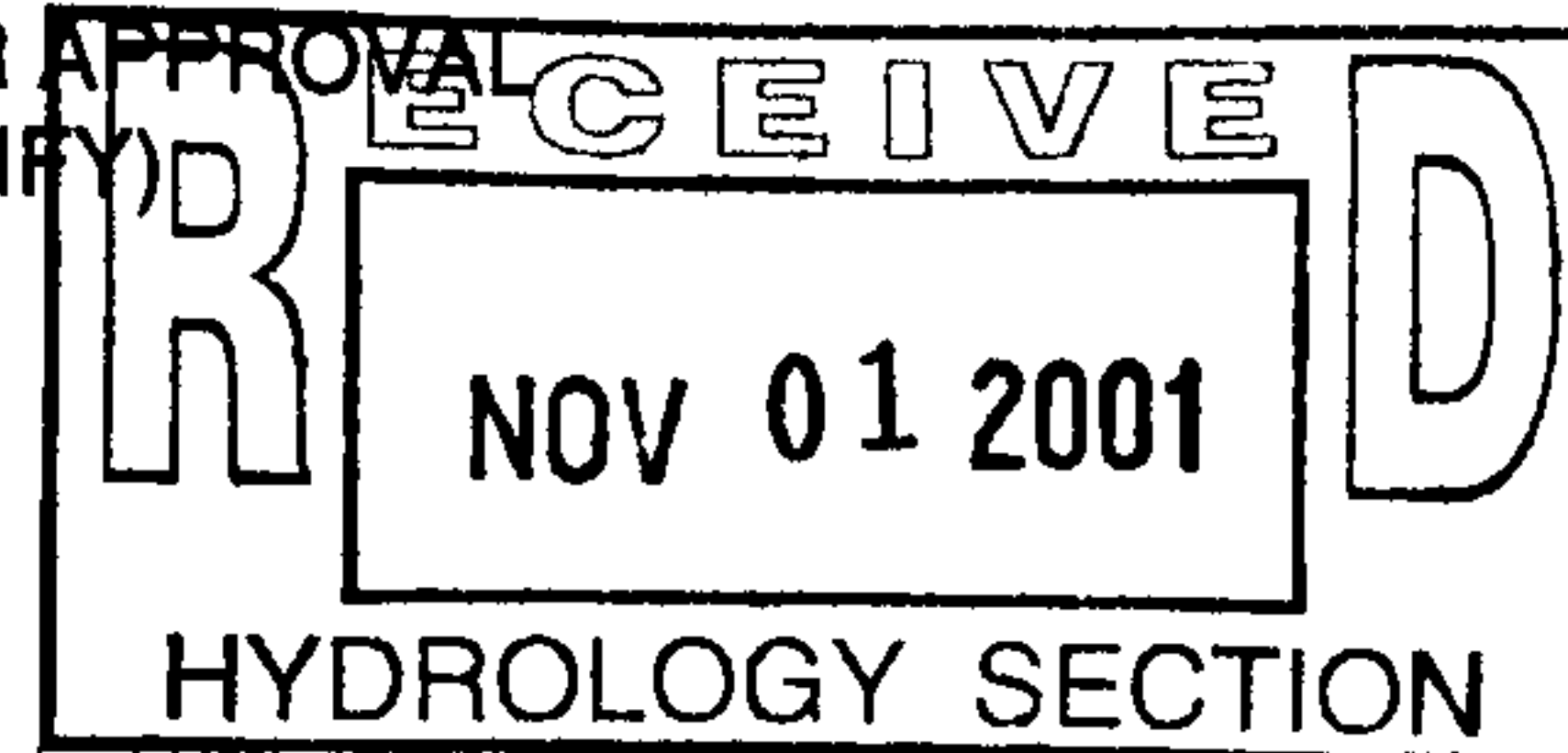
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: Nov 1, 2001 BY: MARK SNAPP *[Signature]*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

11/6/01 - Diss'd P.C.L. #; 11/8 - Letter sent, -

11/8 - Cld Arch. Second Review Candidate - Rejected Plan Almost Complete Done

SOLID WASTE DISPOSAL

(505) 761-8100

A final inspection by the plan checker of the Solid Waste Management Department (SWMD) is required. Required refuse container(s) shall be in place before a Certificate of Occupancy will be issued.

- An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.
- Each customer shall provide their own refuse container(s).
- Contact the SWMD at least thirty (30) days prior to occupancy to start service.
- Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS DISAPPROVED Tina Garcia 761-8144/8142 DATE 4/26/01
PLANS APPROVED T.L. Baca 761-8142 DATE 9-28-01

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

Must show Refuse Enclosure & Location - Must Be in
Compliance with Solid Waste Management Department Specs.
Call prior to digging foundation. to assure
enclosure angle.
Call for free tour.

UNIFORM BUILDING CODE

(505) 924-39 58

Premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 309 of the Uniform Administrative Code.

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...administration personnel. Verification
...have been met will be required by Construction Services personnel at the time of
inspection.

HYDROLOGY

(505) 924-3983

PLANS DISAPPROVED Teresa A. Martin DATE 5-11-01
PLANS APPROVED Teresa A. Martin DATE 9-28-01
Teresa A. Martin 10-12-01

PLANS DISAPPROVED FOR THE FOLLOWING REASONS:

- ☒ Drainage report/plan required for new construction and for additions of 500 square feet or more to existing structures. See Section 14-5-2-12 of the City's Drainage Ordinance. A pre-design conference with this office is recommended.
- ☒ Follow procedures for drainage submittals as outlined on page 1, Section 17, Volume 1 of the City's Development Process Manual.
- ☐ Attach a copy of the approved drainage report/plan to each set of building plans.
- ☐ Pending approval of drainage report/plan submitted.

UPC, UMC, NEC

(505) 924-3957

CODE EDITIONS (YR.):

UPC 1997

UMC 1997

NEC 1999

PLANS DISAPPROVED [Signature]
PLANS APPROVED [Signature]

DATE 06/13/2001
DATE 10/04/2001

350-7036
RYAN PARKS

10/02/2001

ed. Required

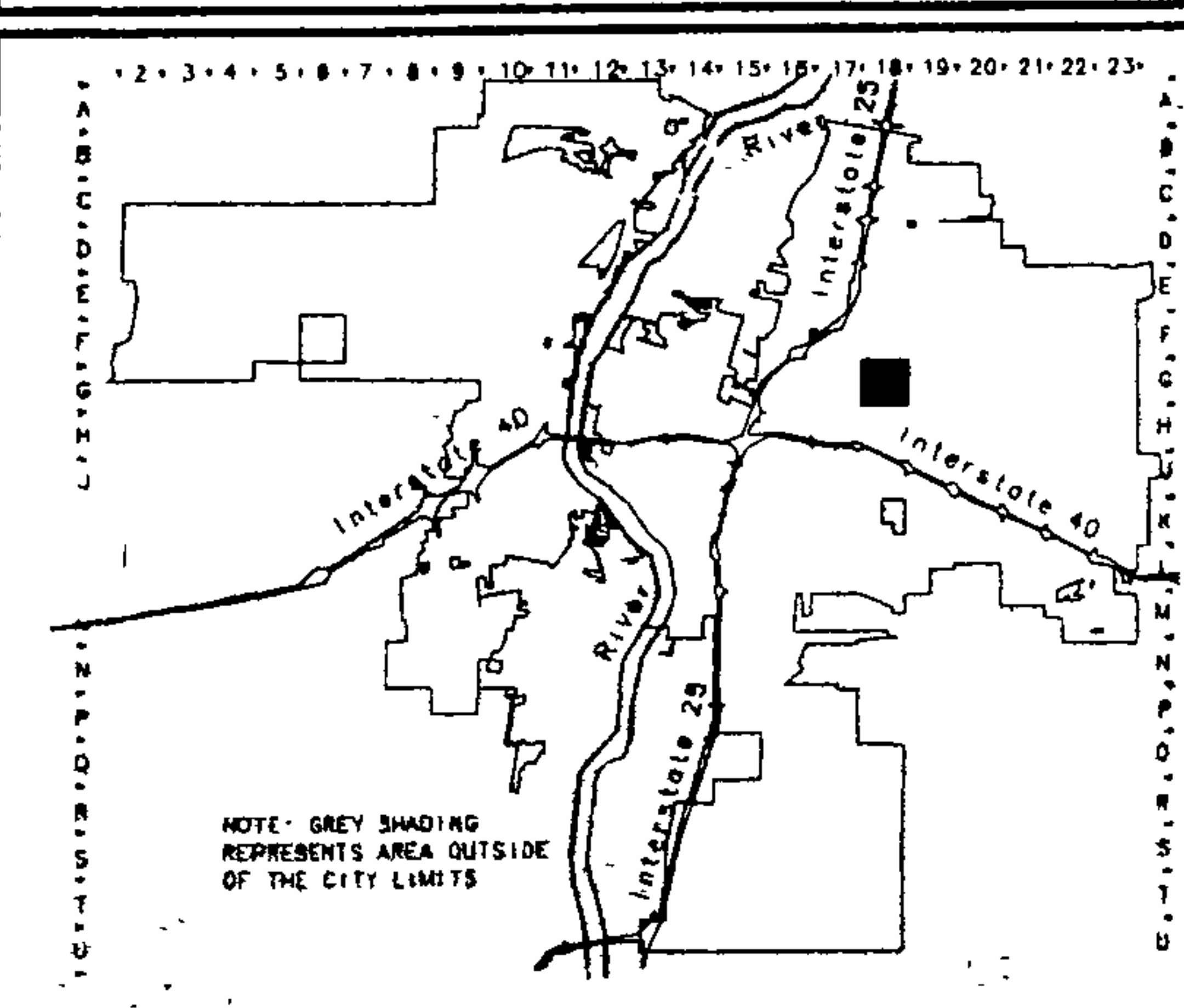
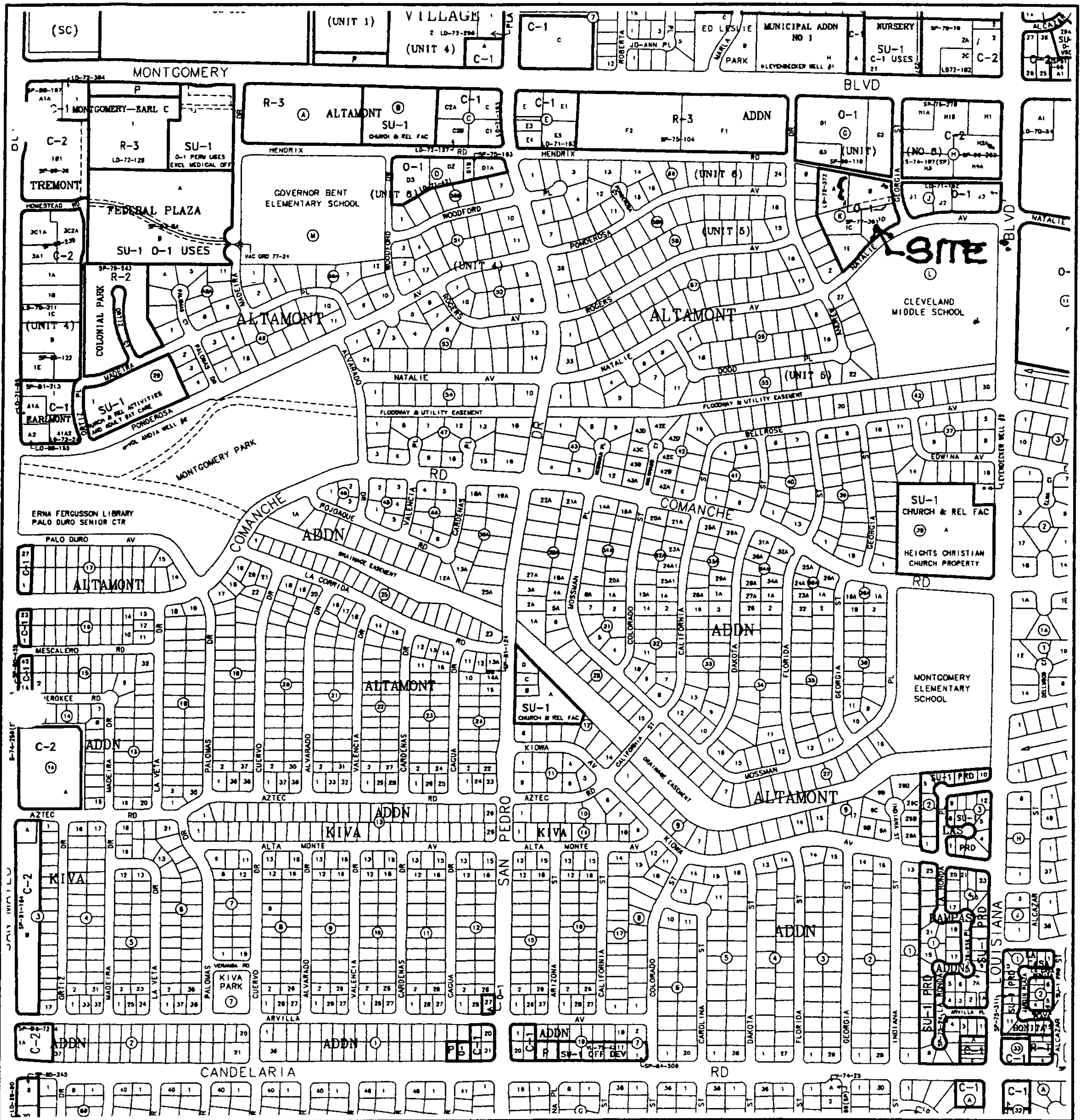
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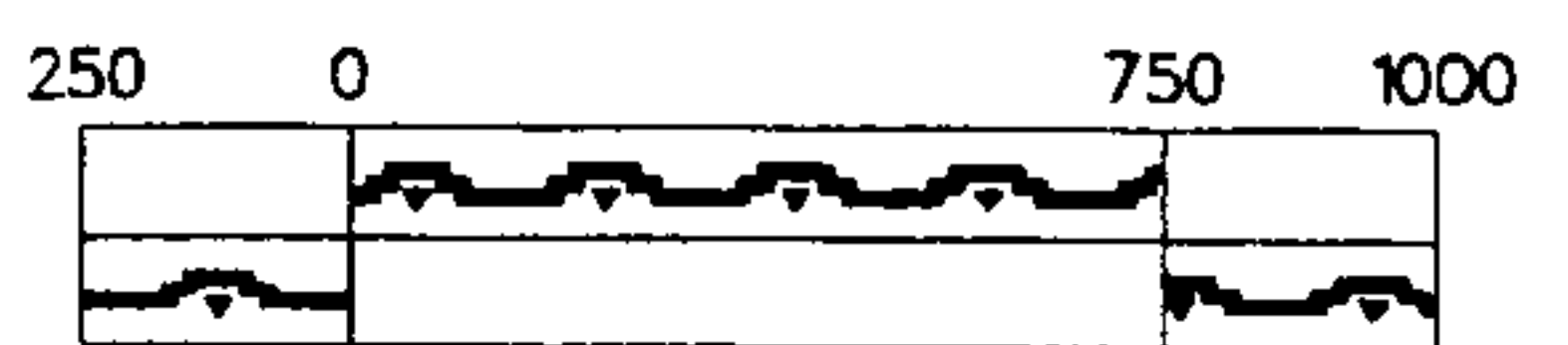


CITY OF
Albuquerque

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

G-18-Z

Map Amended through July 28, 2000