

GRADING AND DRAINAGE PLAN

Topographic Survey
 A portion of Tract B, Block K, Lot 1, Unit No. 6
 Altamont
 A Condominium Office Enterprise
 Albuquerque, Bernalillo County, New Mexico
 July 2001

Notes

- Benchmark: City of Albuquerque 5-618. A square chiseled on top of concrete curb at the ESE return of the intersection of Montgomery Boulevard and Andrews Drive NE. Elevation 5285.87.
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- Per Comcast, CATV service is overhead, not underground, in this area.
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- Bearings & distances shown hereon are based on the plat of Tract B, Block K, Lot 1, Unit 6 Altamont.
- A Condominium Office Enterprise filed 10/16/1972, Volume D5, Folio 61.
- Condominium Lots 1 through 6 as shown on plat of Tract B, Block K, Lot 1, Unit No. 6 Altamont, A Condominium Office Enterprise are not shown hereon.
- Date of survey: July 30, 2001.

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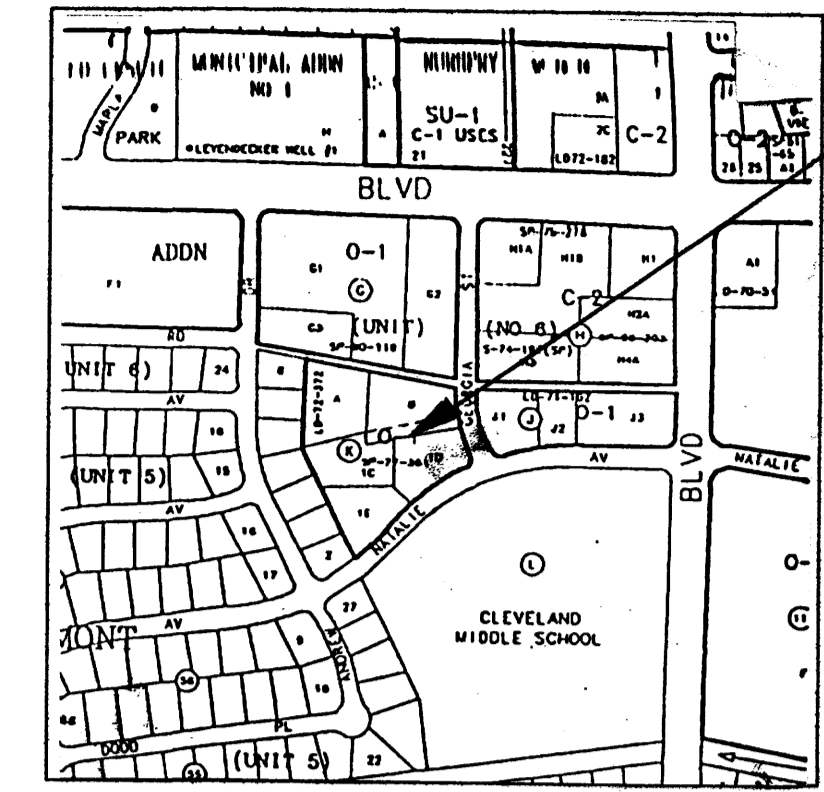
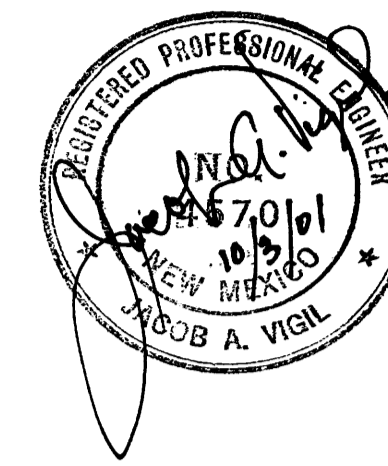
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DRAINAGE PLAN

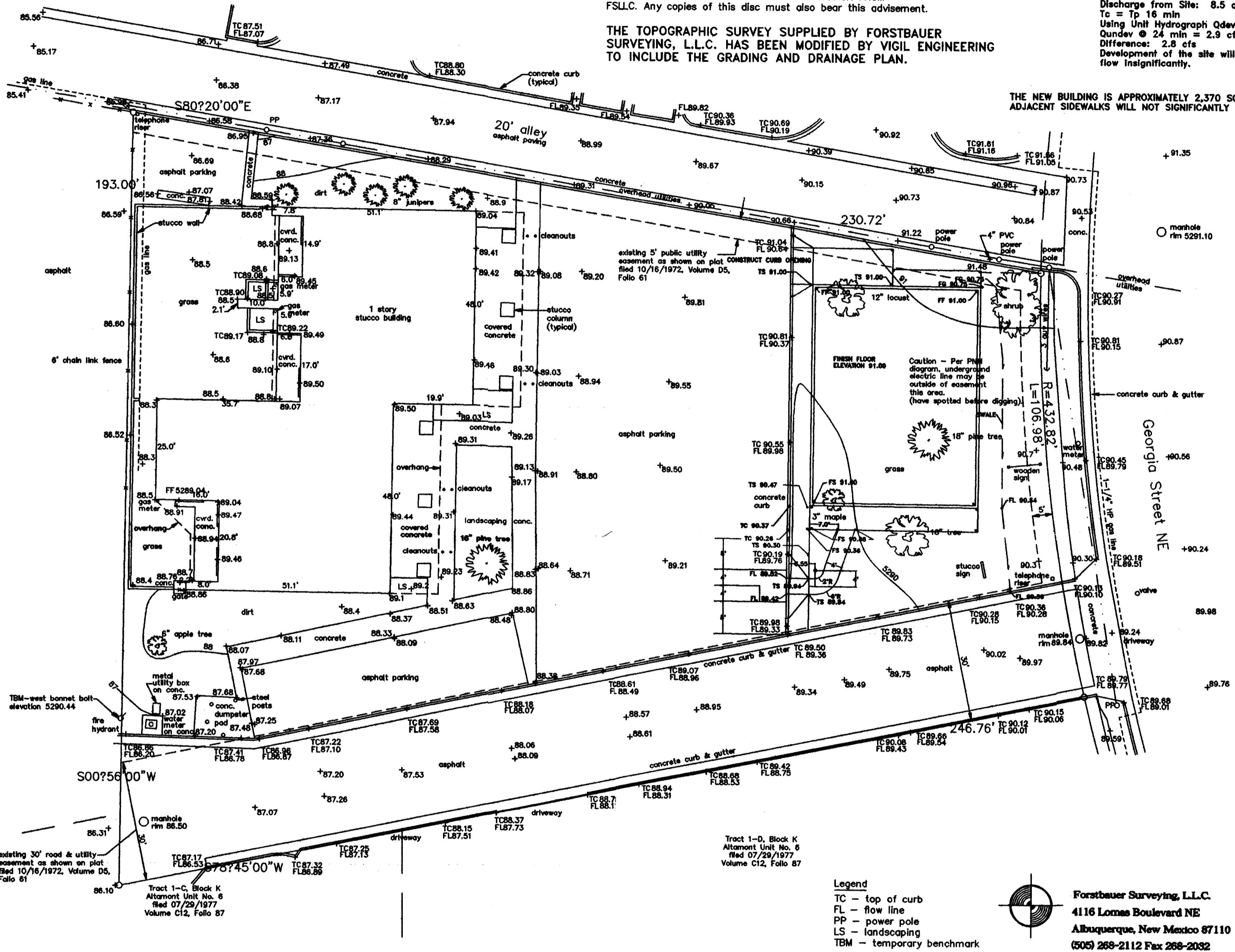
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THE NEW BUILDING IS APPROXIMATELY 2,370 SQUARE FEET AND WILL BE CONSTRUCTED ON A SITE CONSISTING OF GRASS. THE BUILDING INCLUDING ADJACENT SIDEWALKS WILL NOT SIGNIFICANTLY INCREASE THE DISCHARGE INTO THE HAHN ARROYO; THEREFORE NO PONDING IS PROPOSED.



ZONE ATLAS PAGE
 G-18-Z



Legend
 TC - top of curb
 FL - flow line
 PP - power pole
 LS - landscaping
 TBM - temporary benchmark

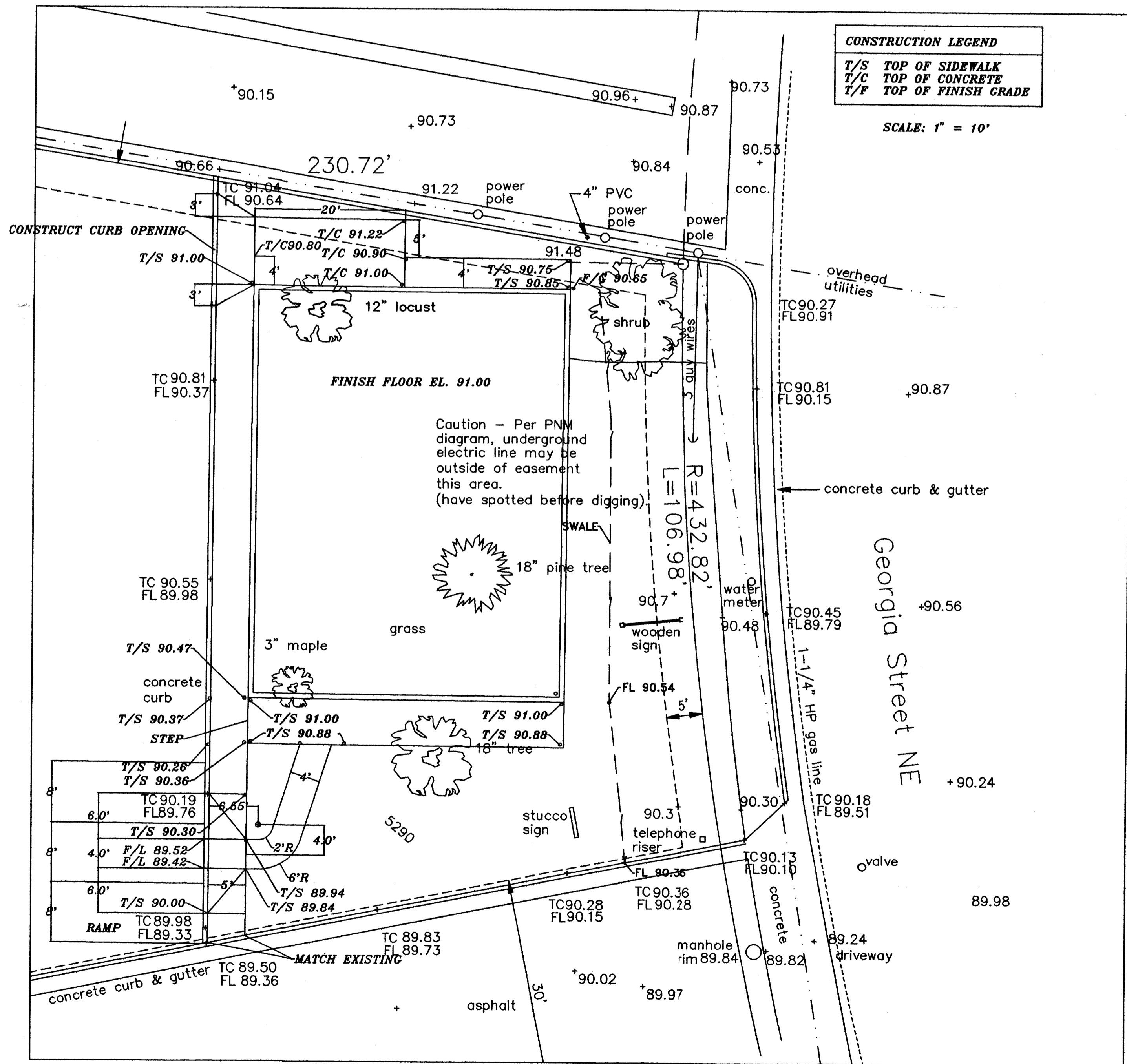
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

I, Ronald A. Forstbauer, New Mexico Professional Surveyor Number 6126, do hereby certify that the survey shown hereon was prepared by me or under my direct supervision from an actual field survey; that it meets the minimum Standards for Surveying in New Mexico effective October 1, 2000 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer Date
 N.M.P.S. No. 6126

EROSION CONTROL PLAN

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SILT FENCE AROUND THE CONSTRUCTION AREA DURING NONE WORKING HOURS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DIRT REMOVAL CAUSED BY RAIN, WIND AND CONSTRUCTION EFFORT NOT CONTAINED WITHIN THE CONSTRUCTION SITE.



CONSTRUCTION LEGEND
 T/S TOP OF SIDEWALK
 T/C TOP OF CONCRETE
 T/F TOP OF FINISH GRADE

SCALE: 1" = 10'

CONTRACTOR:	DESIGNED BY:	NO. DATE	REVISIONS	BY
INSPECTED BY:	DRAWN BY:	10/24/01	1	WHEEL CHAIR RAMP
STAKED BY:	SURVEYOR:			
DATE PROJECT ACCEPTED:	CHECKED BY:			

7317 4TH STREET, N.W.
 ALBUQUERQUE, NEW MEXICO 87107
 TELEPHONE: (505) 301-2612

VIGIL ENGINEERING

NOV 01 2001
 HYDROLOGY SECTION

LANDSCAPE REQUIREMENTS

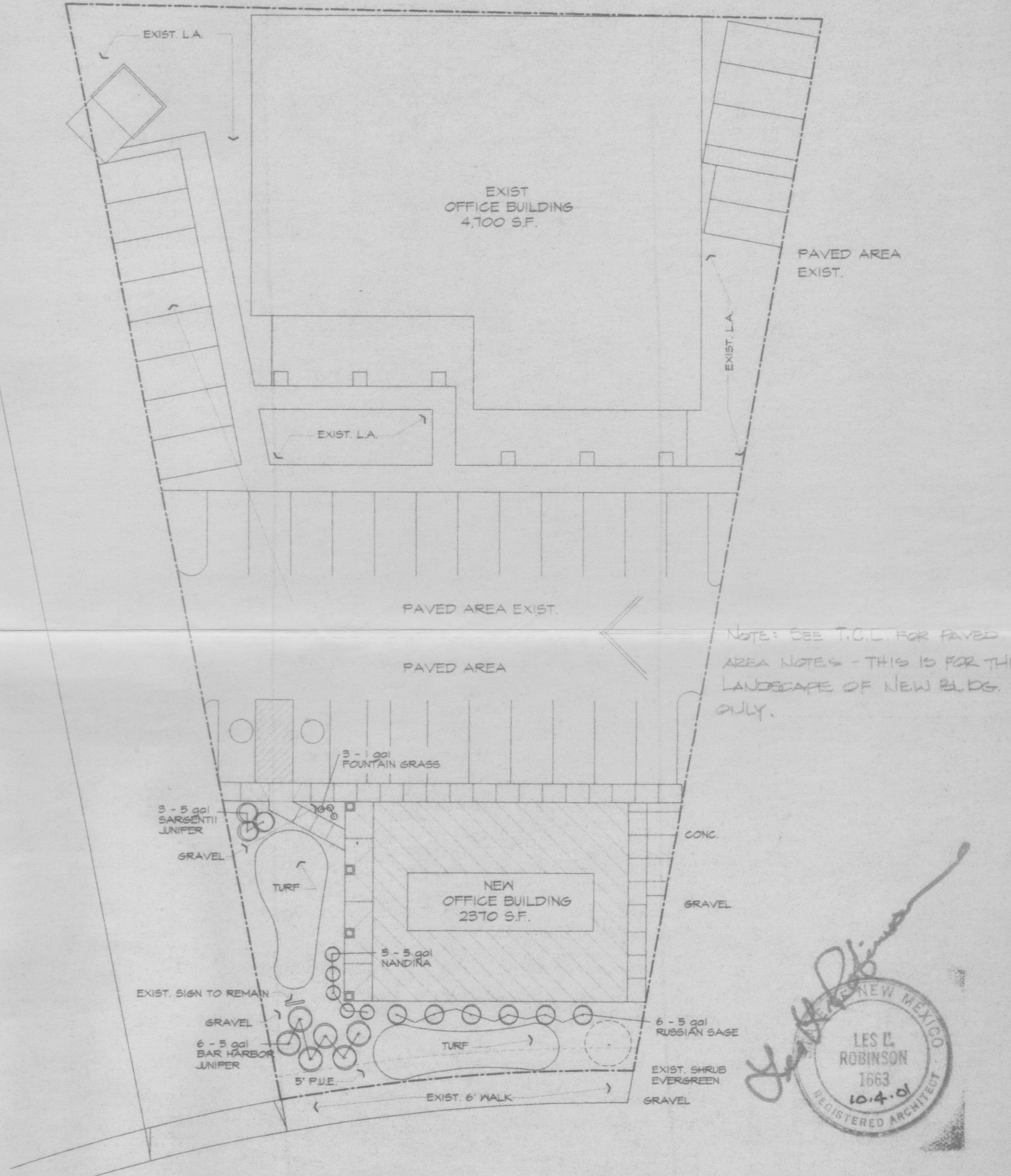
TOTAL LAND AREA:	27,560 SF
LESS BUILDINGS	
EXISTING:	4,700 SF
NEW - THIS PROJECT:	2,370 SF
LESS PAVED AREAS	
EXISTING:	5,846 SF
NEW - THIS PROJECT:	3,340 SF
LESS SIDEWALKS	
EXISTING:	2,714 SF
NEW - THIS PROJECT:	831 SF
NET TOTAL LANDSCAPE AREA:	7,759 SF
% OF TOTAL LAND AREA:	28.15 %
LESS EXISTING LANDSCAPE AREA:	2,450 SF
NET LANDSCAPE AREA THIS PROJECT:	5,309 SF
20% MAX ALLOW. TURF AREA:	1,062 SF
LANDSCAPE PROVIDED THIS PROJECT	
TURF AREA:	732 SF
% OF TOTAL THIS PROJECT:	14%
OTHER:	4,577 SF
% OF TOTAL THIS PROJECT:	86%

NOTE:
TURF AREAS AND OTHER LANDSCAPING TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

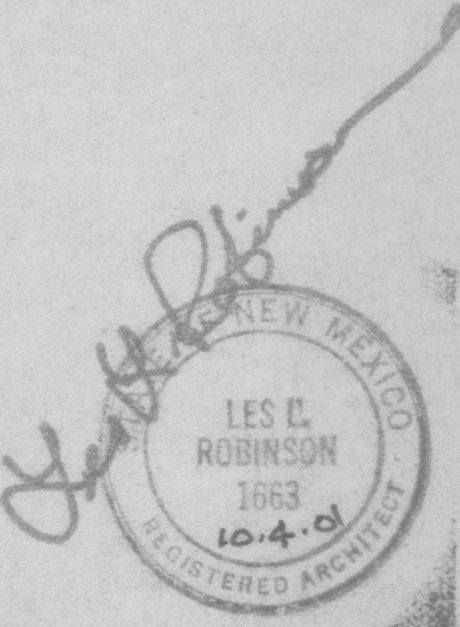
GRAVEL TO BE 3" THICK COVER OF 1 1/2" dia GRAY OVER WEED BARRIER OR EQUAL.

ALL IRRIGATION WORK TO CONFORM TO UPC AND OTHER LOCAL CODES.

BUILDING OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL LANDSCAPING FOR THIS PROJECT.

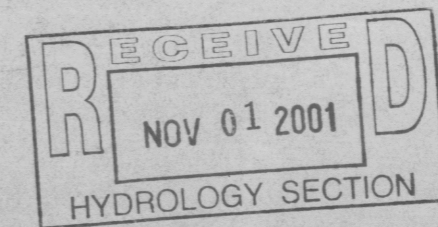


NOTE: SEE T.O.C. FOR PAVED AREA NOTES - THIS IS FOR THE LANDSCAPE OF NEW BLDG. ONLY.



LANDSCAPE PLAN

1" = 20'-0"



les l. robinson
P: 505-883-9239 architect
F: 505-830-1508
3420 Cuervo NE Alb., N.M. 87110

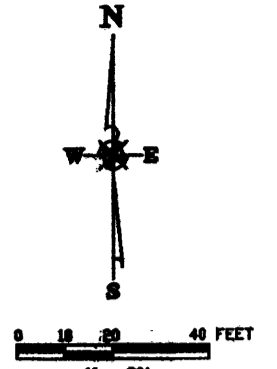
OFFICE BUILDING
3901 Georgia Suite H-1

job no. 2008	issue OCT. 4, 2001	year
drawn by WMS	checked by LLR	L

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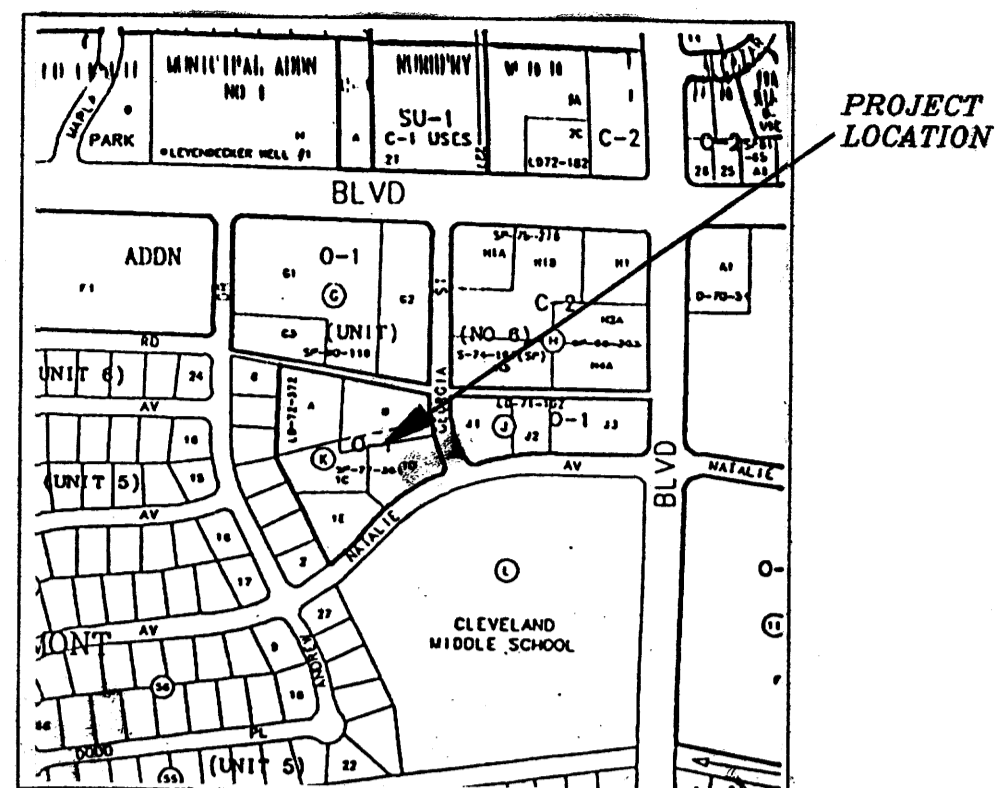
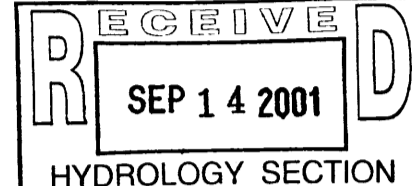
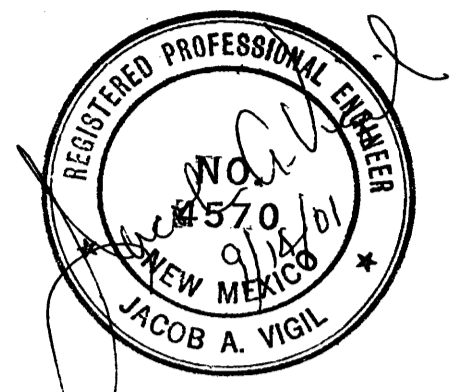
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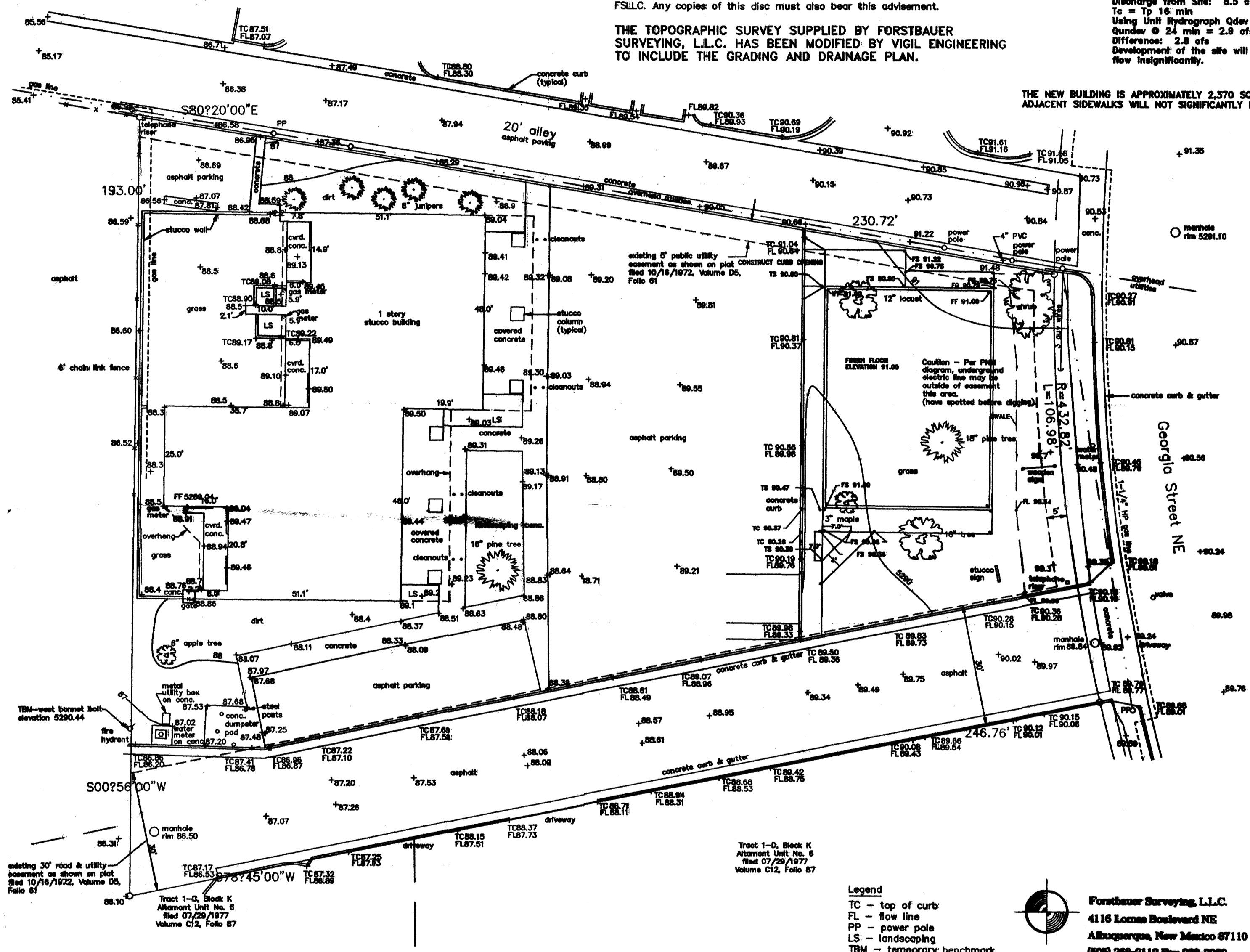
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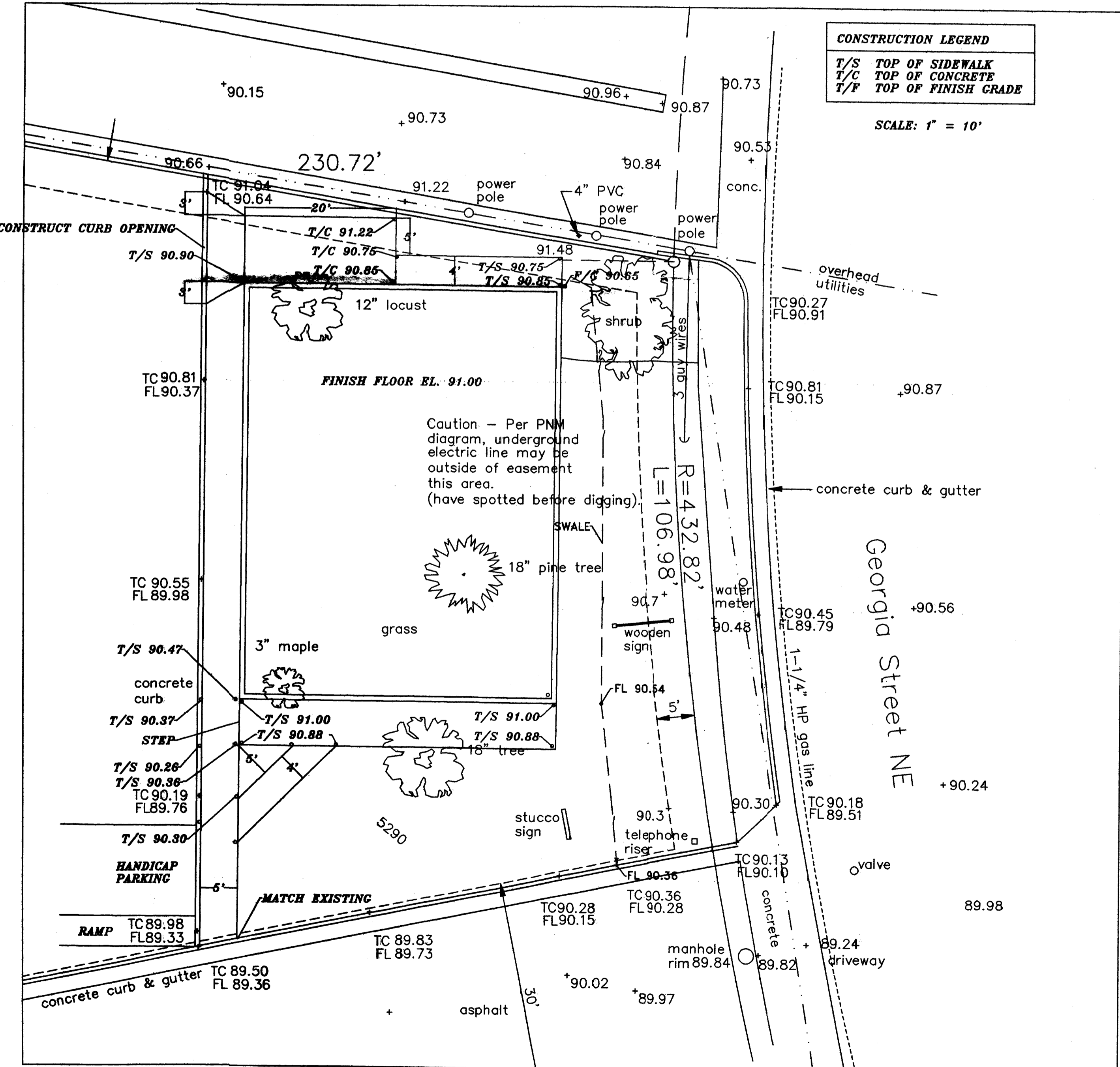
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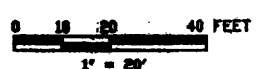
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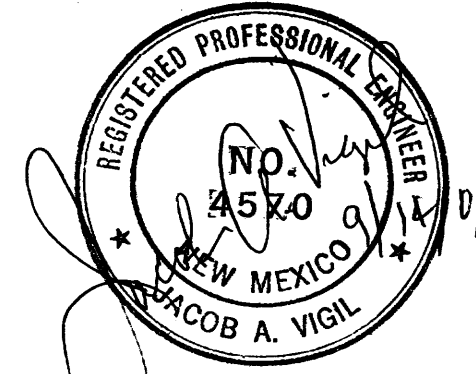
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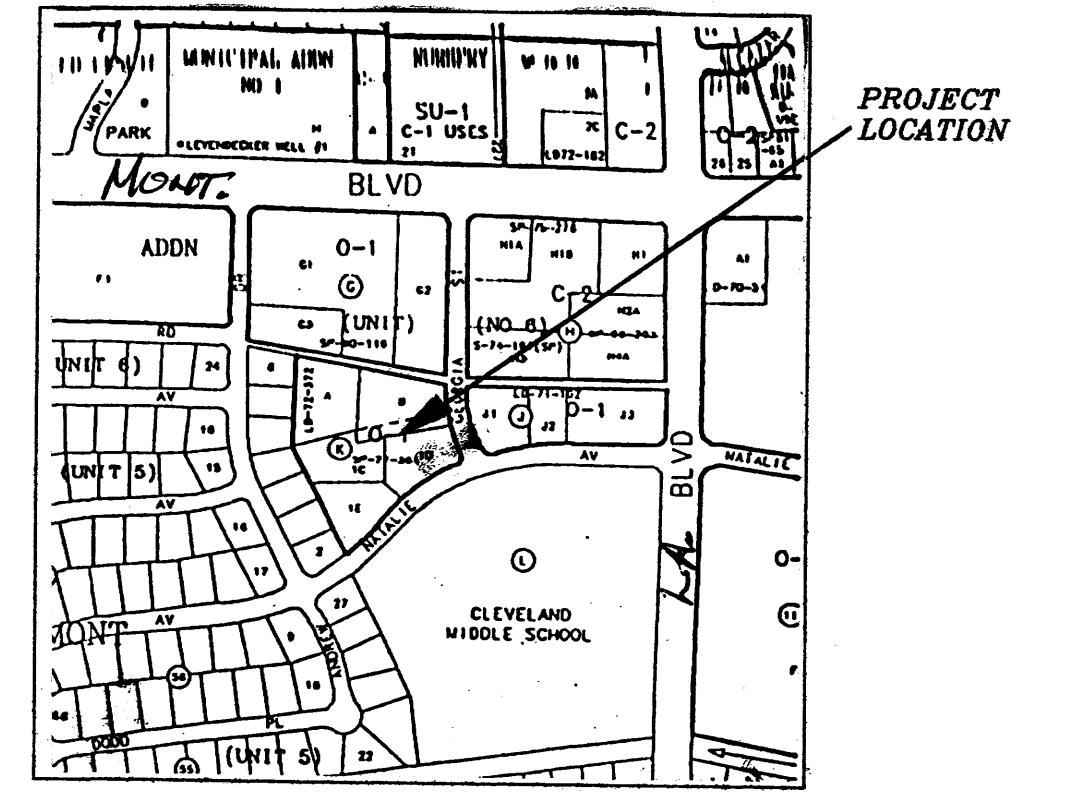
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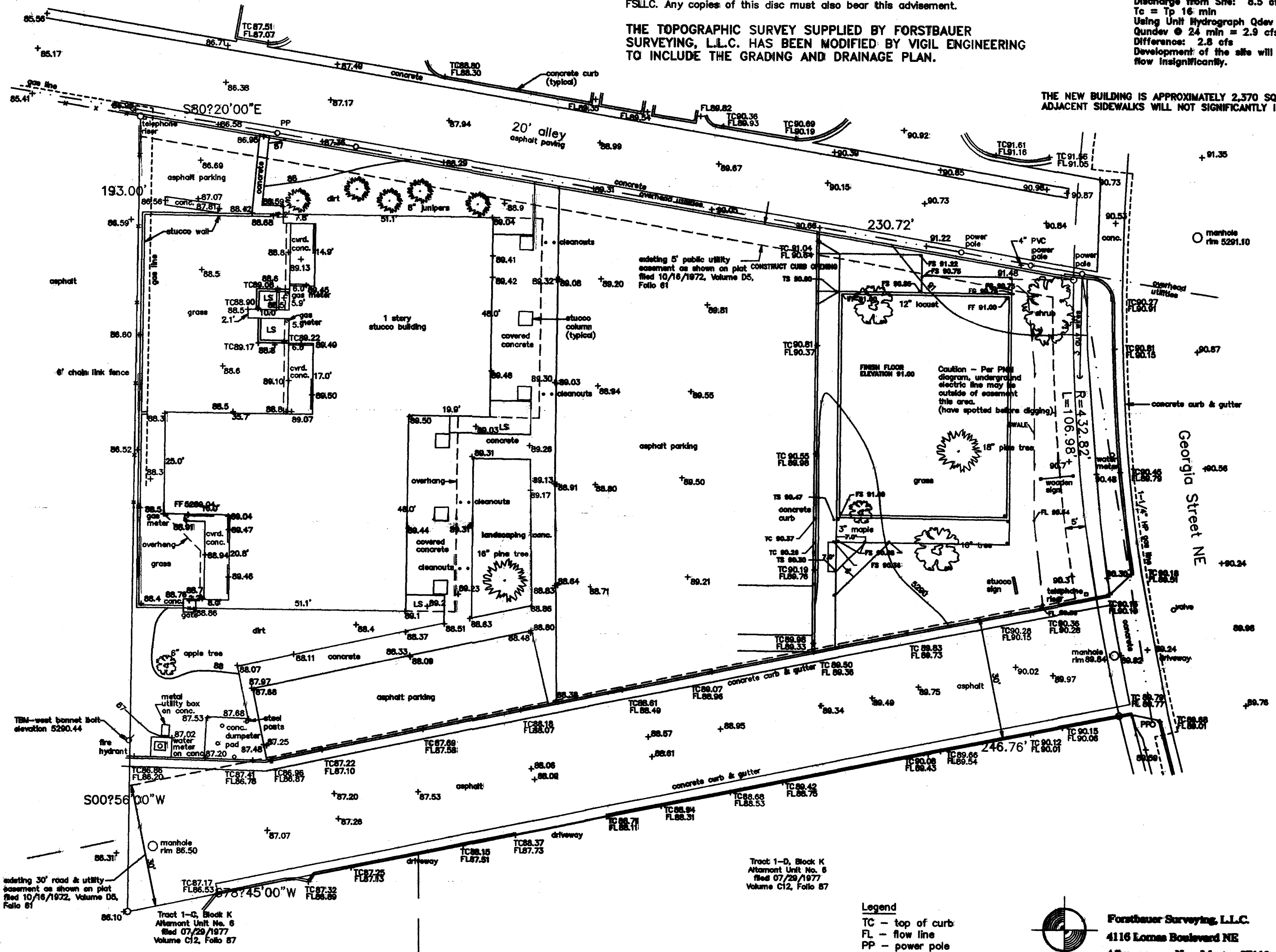
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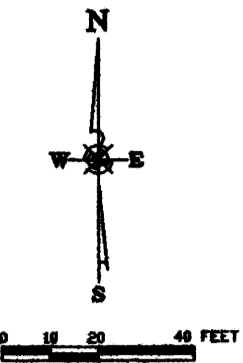
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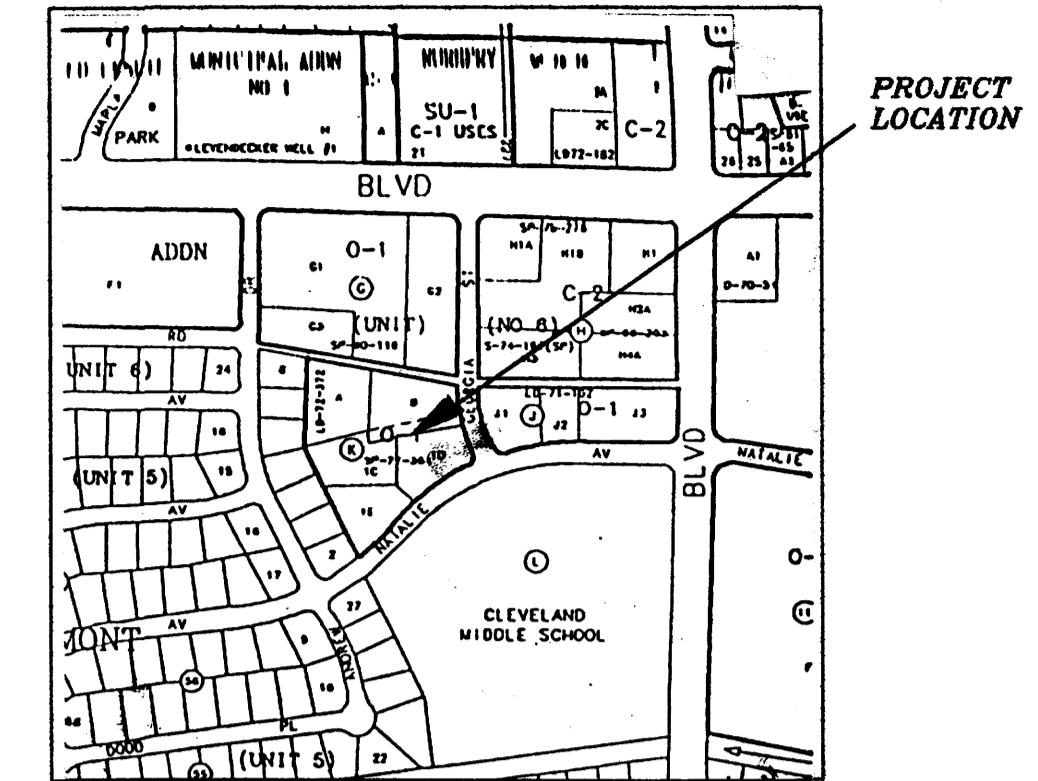
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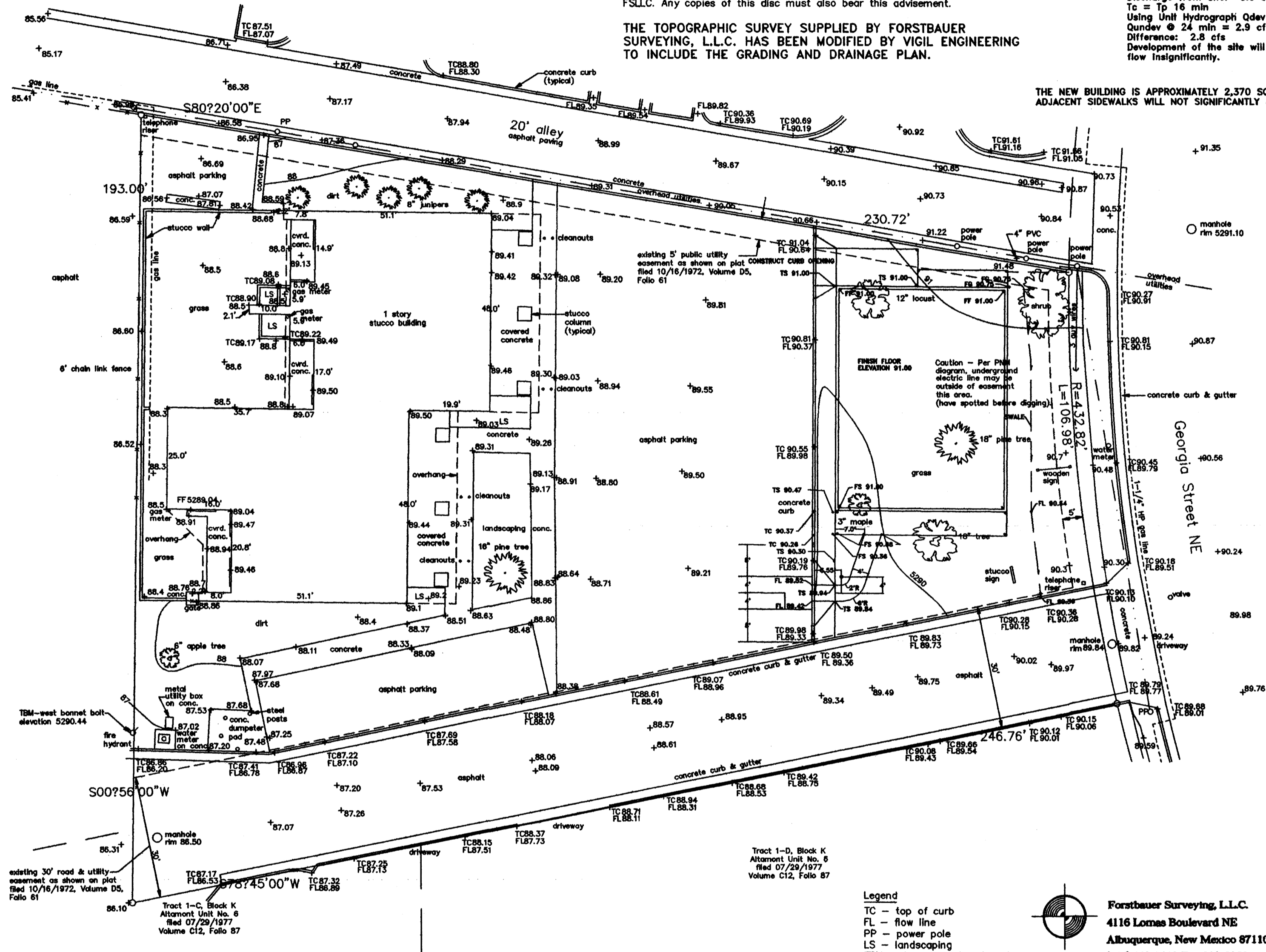
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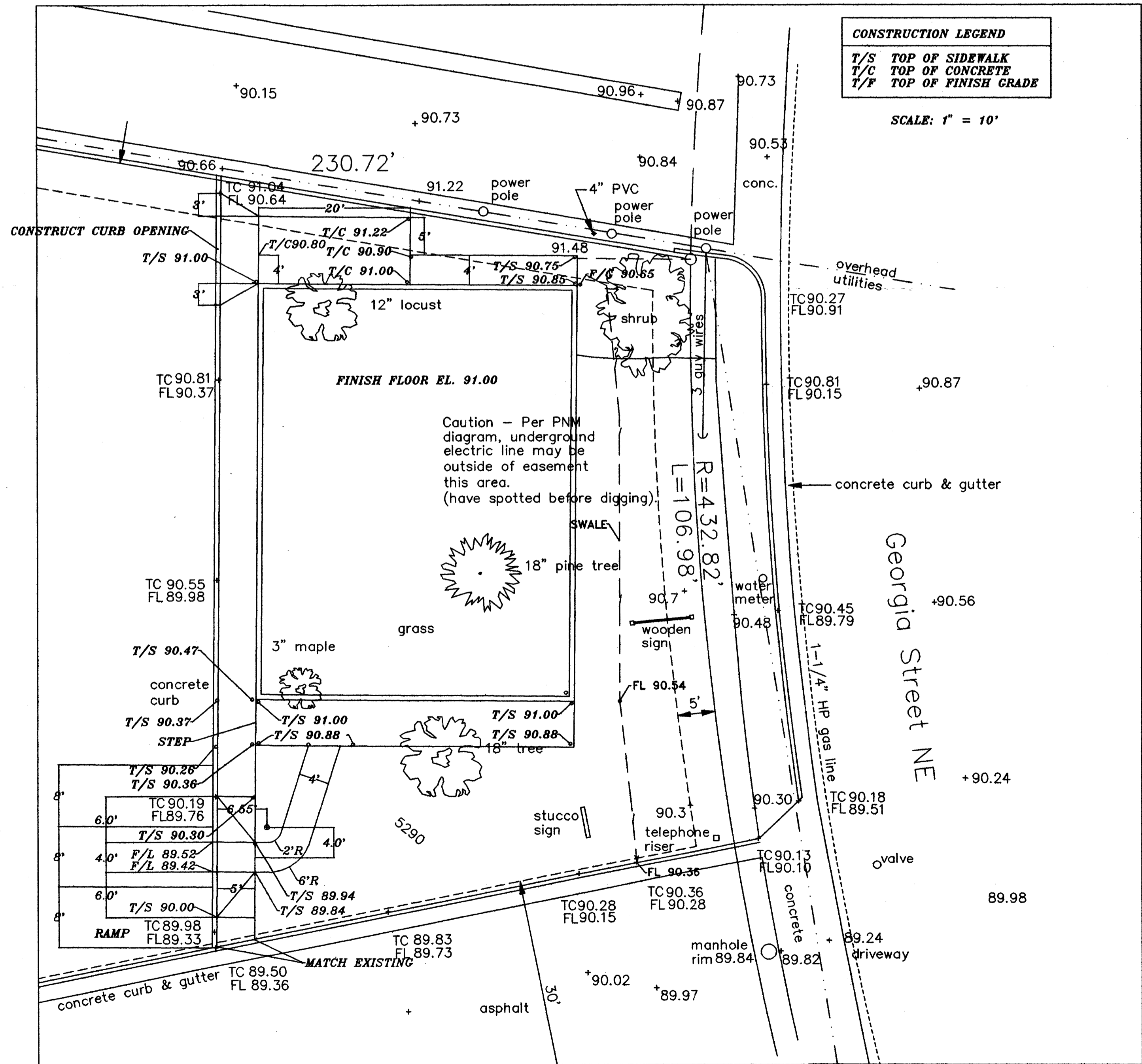
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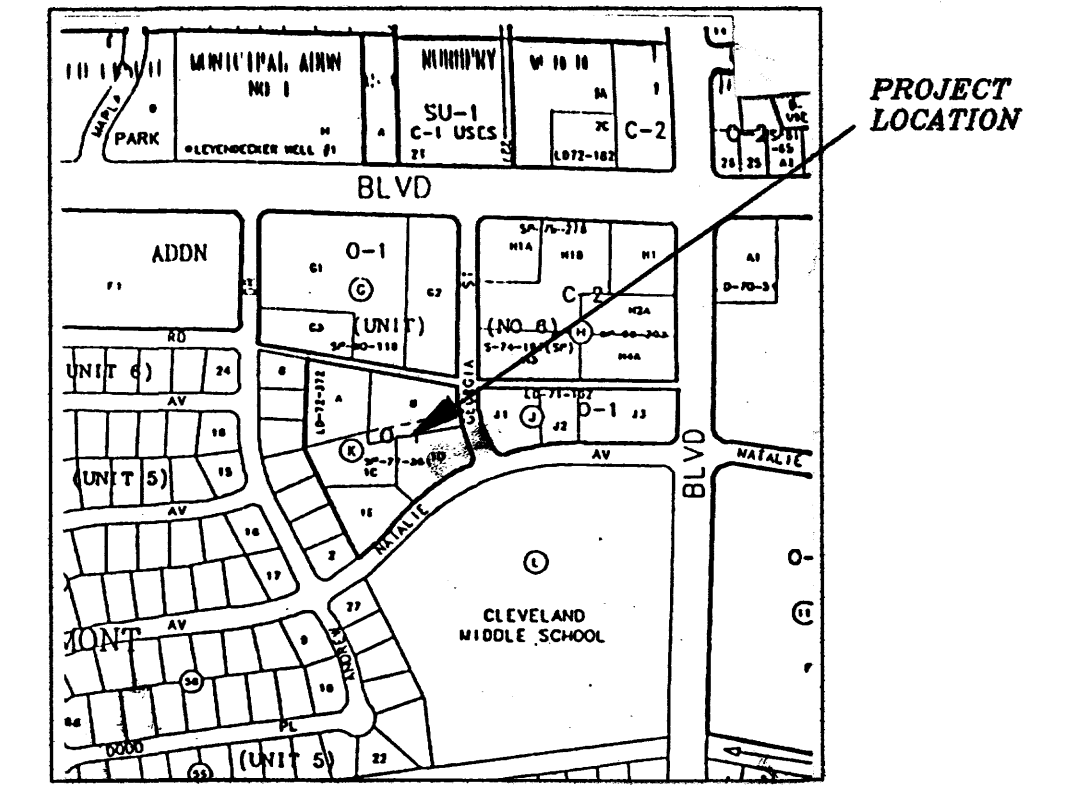
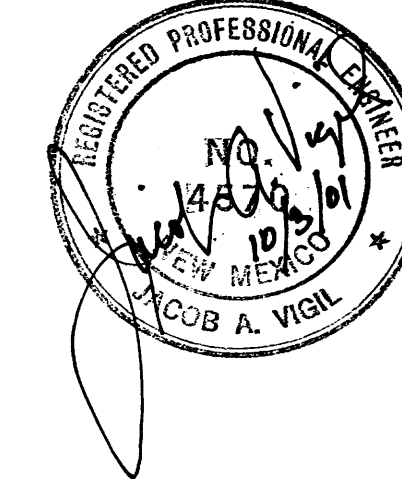
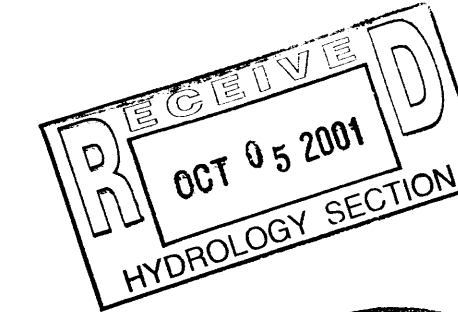
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CONTRACTOR:	VIGIL ENGINEERING	
INSPECTED BY:	COOBB A. VIGIL	
DESIGNED BY:	COOBB A. VIGIL	
DRAWN BY:	COOBB A. VIGIL	
DATE PROJECT ACCEPTED:		
NO.	DATE	REVISIONS
1	10/14/01	WHEEL CHAIR RAMP
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 G-18-Z

Notes

- Benchmark: City of Albuquerque 5-G18. A square chiseled on top of concrete curb at the ESE return of the intersection of Montgomery Boulevard and Andrews Drive NE. Elevation 5285.67.
- Any underground structures affecting this property, including but not limited to utilities, are not a part of this survey.
- Underground gas line location was provided by Public Service Company of New Mexico.
- Only easements as shown on Plat filed October 16, 1972, Volume D5, Folio 61 are shown hereon.
- Per Comcast, CATV service is overhead, not underground, in this area.
- No telephone information was provided due to Quest refusal to honor design requests.
- Bearings & distances shown hereon are based on the plot of Tract B, Block K, Lot 1, Unit 6 Altamont, A Condominium Office Enterprise filed 10/16/1972, Volume D5, Folio 61.
- Condominium Lots 1 through 6 as shown on plot of Tract B, Block K, Lot 1, Unit No. 6 Altamont, A Condominium Office Enterprise are not shown hereon.
- Date of survey: July 30, 2001.

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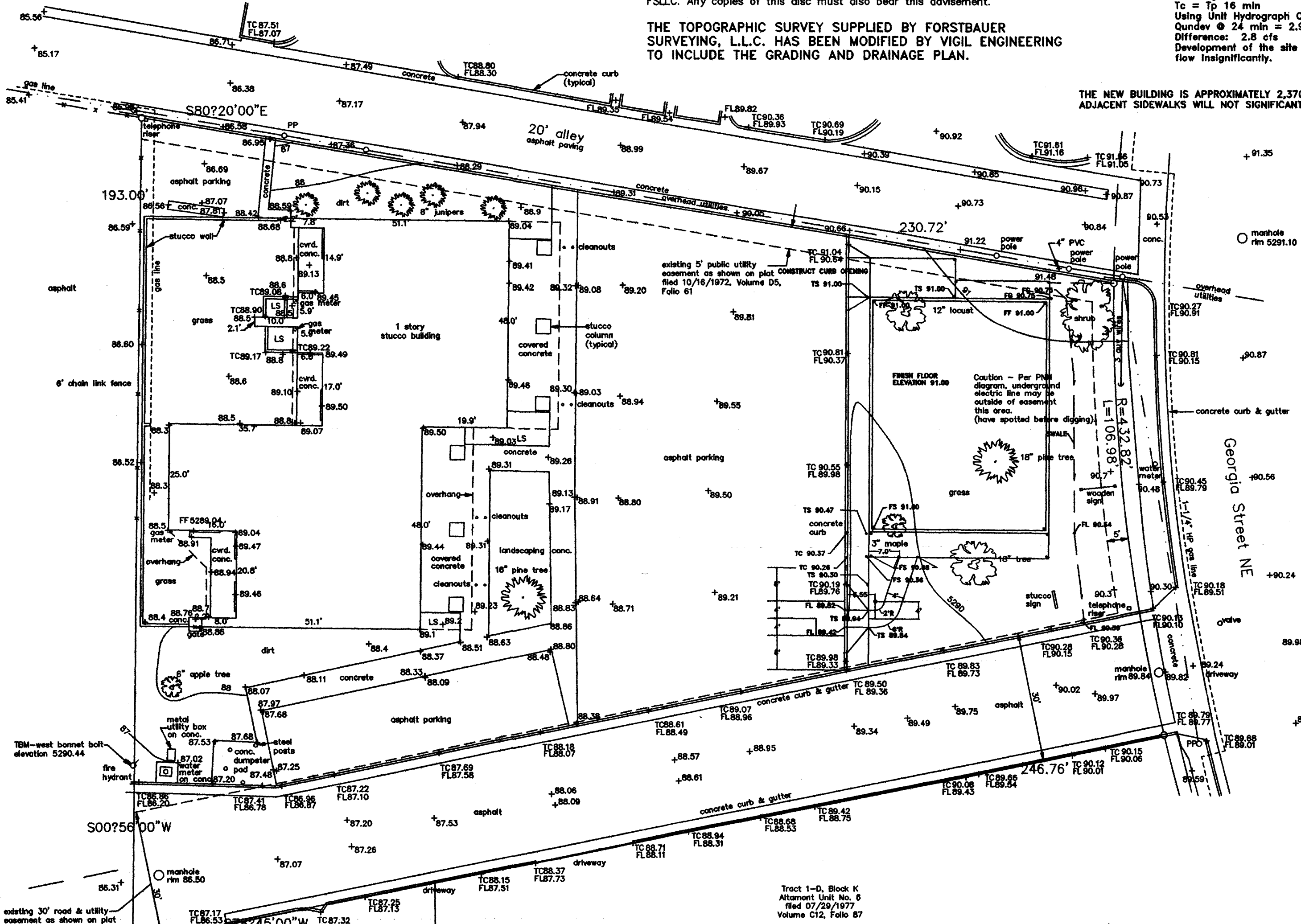
THE TOPOGRAPHIC SURVEY SUPPLIED BY FORSTBAUER SURVEYING, L.L.C. HAS BEEN MODIFIED BY VIGIL ENGINEERING TO INCLUDE THE GRADING AND DRAINAGE PLAN.

DRAINAGE PLAN

THE DRAINAGE REPORT FOR TRACT B, BLOCK K, LOT 1, UNIT NO. 6, ALTAMONT WAS PART OF A DRAINAGE STUDY PERFORMED BY THOMAS T. MANN (NMPE NO. 3792), MARCH 9, 1993 FOR THE GEORGIA PROFESSIONAL GARDENS. IN THE DRAINAGE PLAN THE RUNOFF FROM THIS TRACT IS GIVEN AS 1.1 CFS WHICH BECOMES PART OF THE 6.5 CFS DISCHARGE. THE PEAK DISCHARGE AT ANALYSIS POINT NO. 805.6 (MASTER DRAINAGE STUDY) WAS 686 CFS. THE FOLLOWING ARE CALCULATIONS PERFORMED BY THOMAS T. MANN:

Peak Discharge @ Analysis Point #805.6
 (Master Drainage Study) = 686 cfs
 $T_p = 0.40 \text{ hrs} = 24 \text{ min.}$
 Discharge from Site: 8.5 cfs
 $T_c = T_p \text{ min}$
 Using Unit Hydrograph Qdev @ 24 min = 5.7 cfs
 Qundev @ 24 min = 2.9 cfs
 Difference: 2.8 cfs
 Development of the site will raise Q100 in the Hahn Arroyo from 686 cfs to 689 cfs; which raises the depth of flow insignificantly.

THE NEW BUILDING IS APPROXIMATELY 2,370 SQUARE FEET AND WILL BE CONSTRUCTED ON A SITE CONSISTING OF GRASS. THE BUILDING INCLUDING ADJACENT SIDEWALKS WILL NOT SIGNIFICANTLY INCREASE THE DISCHARGE INTO THE HAHN ARROYO; THEREFORE NO PONDING IS PROPOSED.



Legend
 TC - top of curb
 FL - flow line
 PP - power pole
 LS - landscaping
 TBM - temporary benchmark

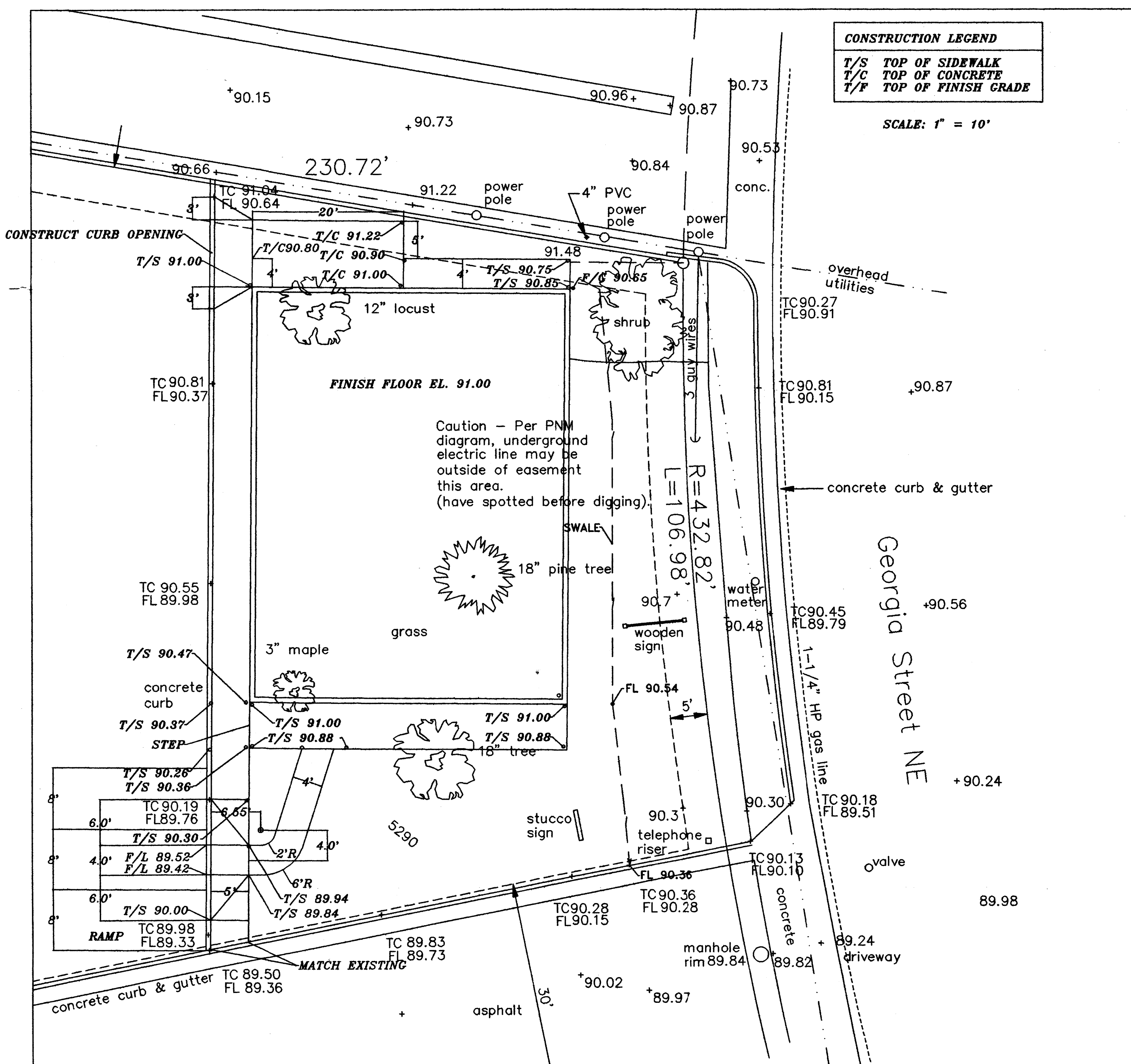
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

I, Ronald A. Forstbauer, New Mexico Professional Surveyor Number 6126, do hereby certify that the survey shown hereon was prepared by me or under my direct supervision from an actual field survey; that it meets the minimum Standards for Surveying in New Mexico effective October 1, 2000 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer Date
 NMPS No. 6126

EROSION CONTROL PLAN

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SILT FENCE AROUND THE CONSTRUCTION AREA DURING NONE WORKING HOURS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DIRT REMOVAL CAUSED BY RAIN, WIND AND CONSTRUCTION EFFORT NOT CONTAINED WITHIN THE CONSTRUCTION SITE.



CONSTRUCTION LEGEND
 T/S TOP OF SIDEWALK
 T/C TOP OF CONCRETE
 T/F TOP OF FINISH GRADE

SCALE: 1" = 10'

CONTRACTOR:	DESIGNED BY:	NO. DATE	REVISIONS
INSPECTED BY:	DRAWN BY:	1/10/01	WHEEL CHAIR RAMP
STAKED BY:	SURVEYOR:		
DATE PROJECT ACCEPTED:	CHECKED BY:		
7317 4TH STREET, N.W. ALBUQUERQUE, NEW MEXICO 87107 TELEPHONE: (505) 301-2512			
VIGIL ENGINEERING			