



July 1, 2016

Eugenio Valdez
Wilson & Company Engineers and Architects
4900 Lang Ave., NE
Albuquerque, NM 87109

Re: APS Professional Development Center (PDC) Parking Deck
3315 Louisiana Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp **6-24-16** (G18-D048)

Dear Mr. Valdez,

Based upon the information provided in your submittal received 6-29-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as an estimate of the proposed number of parking spaces for future development. Will proposed parking stalls accommodate future development parking requirements?
2. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
3. Identify all existing access easements and rights of way width dimensions. Are there easements and ROW dedications at the Hahn Arroyo and Louisiana Blvd. intersection and north east corner of project site at the intersection of Louisiana Blvd. and Comanche Rd?
4. Please list the width and length for all existing and proposed parking spaces.
5. Please verify that the radii fronting arterial streets are within the size per DPM requirements. Provide a Turn Template exhibit for the egress in/out of the project site. Ensure that emergency and solid waste vehicles can enter/exit without encroachment onto opposing lanes.
6. ROW dedication at the north east corner of Louisiana Blvd. and Comanche Rd. will require Plating Action. Please detail HC ramp at this intersection. Any HC ramps serving the public sidewalk must be within the C.O.A. ROW.
7. Median modification and striping on Louisiana Blvd. must be completed via COA Work Order.
8. Please provide side walk obstruction details on Louisiana Blvd.
9. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
10. The handicap accessible spaces must be a minimum of 8.5 ft. in width.

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Albuquerque

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CITY OF ALBUQUERQUE



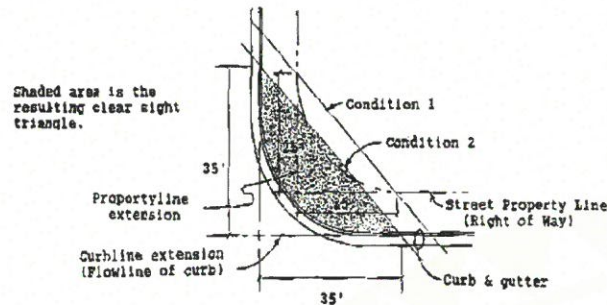
11. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
12. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. Please show a detail of signage.
13. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
14. Show all drive aisle widths and radii.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
16. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Please detail location of future HC spaces and ADA access isles.
17. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
18. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for the intersection of Mossman Pl. and Comanche Rd. Please also provide a Mini Clear Sight detail for the entrance/exit on Comanche Rd.

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Mini Clear Sight Triangle for Driveways on Residential Streets:

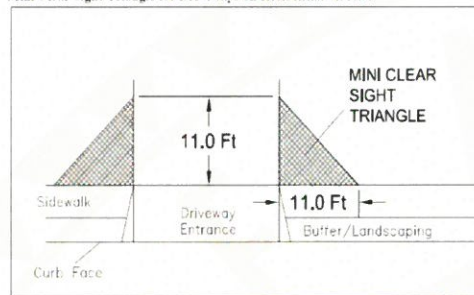


Figure 1. Mini Clear Sight Triangle

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19. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
20. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
21. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
22. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
23. Please include two copies of the traffic circulation layout at the next submittal.

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Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: APS Professional Development Center (PDC)/ PDC Parking Deck **Building Permit #:** _____ **City Drainage #:** G18 **D048**
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 027 027 Montgomery Elem School
City Address: 3315 Louisiana Blvd NE Albuquerque, NM 87125-0704

Engineering Firm: Wilson and Company Engineers and Architects **Contact:** Eugenio Valdez
Address: 4900 Lang Ave. NE Albuquerque, NM 87109
Phone#: 948-5127 **Fax#:** _____ **E-mail:** eevaldez@wilsonco.com

Owner: ALBUQUERQUE PUBLIC SCHOOLS **Contact:** _____
Address: 915 Oak Street SE, Albuquerque, NM 87106
Phone#: 505-848-8876 **Fax#:** 505-848-8822 **E-mail:** _____

Architect: APS Facilities Design & Construction **Contact:** David Ritchey
Address: 915 Oak Street SE, Albuquerque NM 87106
Phone#: 505-848-8876 **Fax#:** 505-848-8822 **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

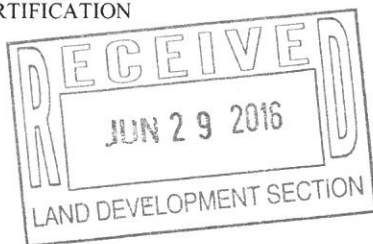
Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
____ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

____ ENGINEER/ ARCHITECT CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ EROSION & SEDIMENT CONTROL PLAN (ESC)
____ OTHER (SPECIFY) _____



CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

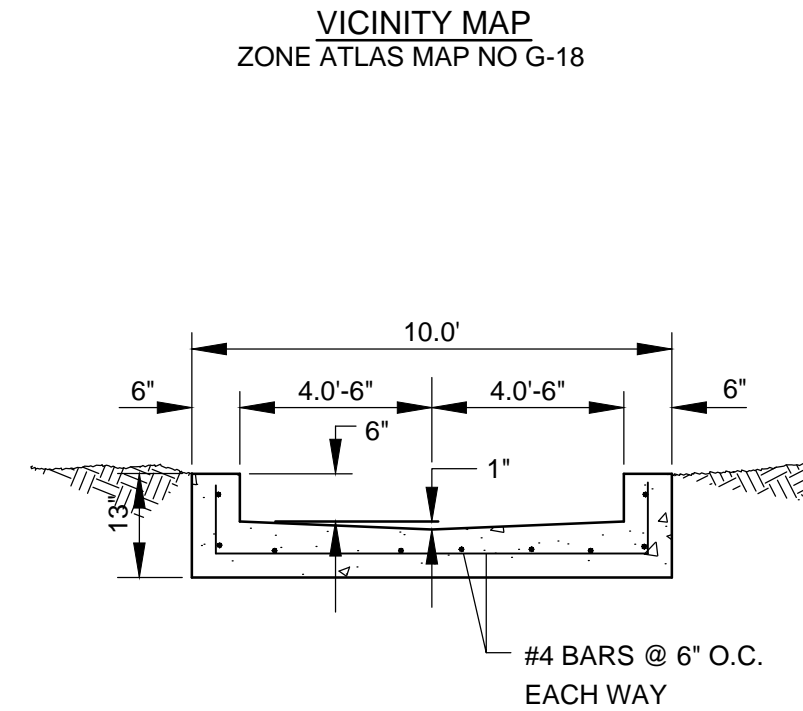
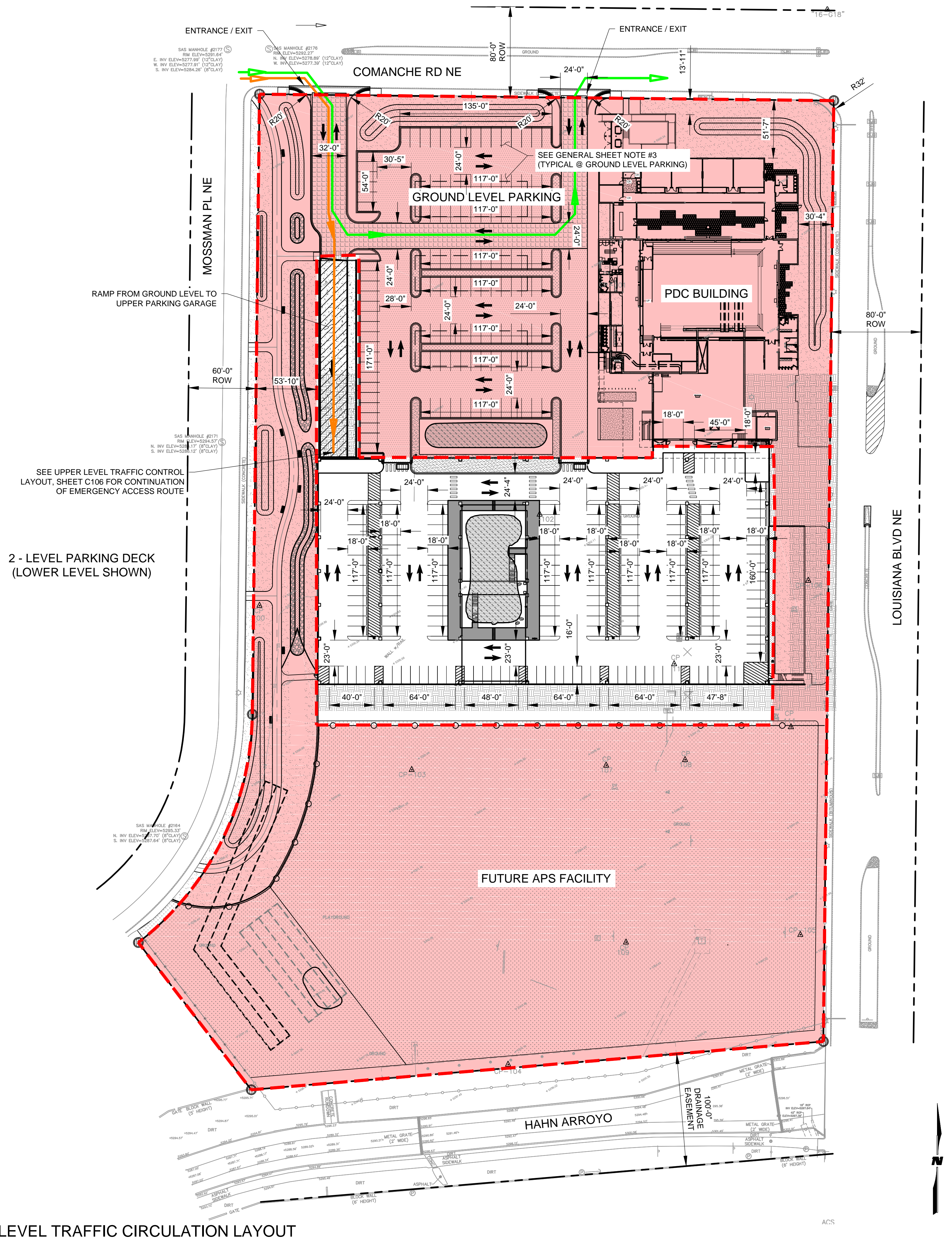
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ PRE-DESIGN MEETING
____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ____ Yes ☒ No

DATE SUBMITTED: JUNE 29, 2016 **By:** Eugenio Valdez

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ____

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CONCRETE RUNDOWN DETAIL

NTS

GENERAL SHEET NOTES

- FOR PARKING COUNT, SEE FIRE PROTECTION CODE PLANS, SHEET G003.
- FOR PARKING STALL SIZE AND DIMENSIONS WITHIN PARKING DECK, SEE OVERALL LOWER LEVEL PLAN, SHEET A101P.
- ALL GROUND LEVEL PARKING STALL DIMENSIONS ARE: 18'-0" LONG x 9'-0" WIDE UNLESS OTHERWISE NOTED. ALSO SEE "COMPACT PARKING SPACE, LONG" DETAIL ON SHEET A101P.

PARCEL DATA

UPC: 101806049721741328
OWNER: BOARD OF EDUCATION
OWNER ADDRESS: PO BOX 25704 ALBUQUERQUE NM 87125-0704
SITUS ADDRESS: 3315 LOUISIANA BLVD NE ALBUQUERQUE NM 87110
LEGAL DESCRIPTION: * 027 027MONTGOMERY ELEM SCHOOL ACRES: 7.71

LEGEND

- EMERGENCY ACCESS ROUTE (RAMP TO UPPER LEVEL ONLY)
- 2" ASPHALT PAVEMENT
- 4" ASPHALT PAVEMENT
- 6" REINFORCED CONCRETE PAVEMENT
- PDC PROJECT LIMITS (SEE PDC PLANS)
- REFUSE TRUCK ROUTE
- EMERGENCY ACCESS ROUTE

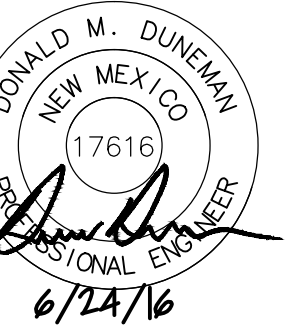
ARCHITECT

studio collaboration llc
124 2nd St NW Suite C, Albuquerque, NM 87102 505 232 2520
125 Jefferson St NE Albuquerque, NM 87108 505 255 4033

CONSULTANT

WILSON & COMPANY

4900 LANG AVE. NE
ALBUQUERQUE, NM 87109
PHONE: 505-348-4000
FAX: 505-348-4055 FIRST FLOOR
FAX: 505-348-4155 SECOND FLOOR
www.wilsonco.com



KEY PLAN

ALBUQUERQUE PUBLIC SCHOOLS
APS PDC PARKING DECK
3315 LOUISIANA BOULEVARD
Albuquerque, NM 87110



REV:

PHASE: 100% Construction Documents

DATE: 27 June 2016

DRAWN BY: JEM

CHECKED BY: DMD

C105

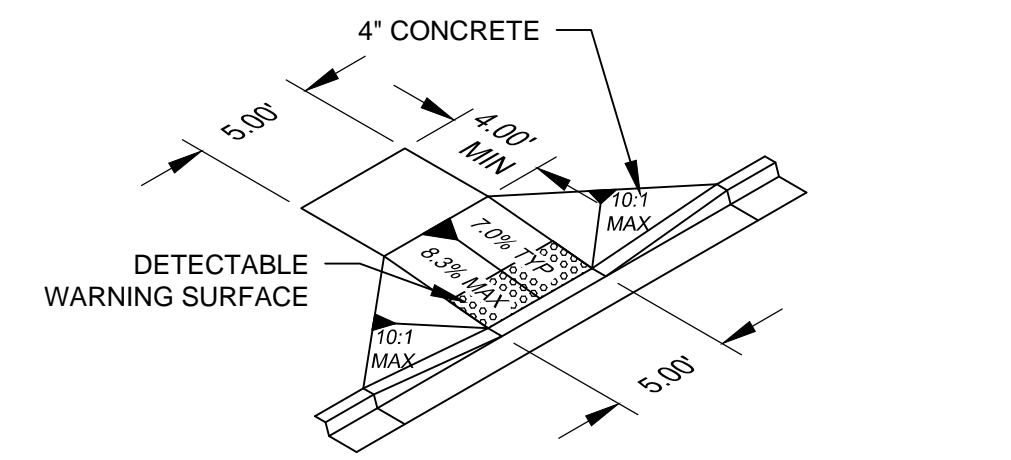
LOWER LEVEL TRAFFIC
CIRCULATION LAYOUT

A1

LOWER LEVEL TRAFFIC CIRCULATION LAYOUT

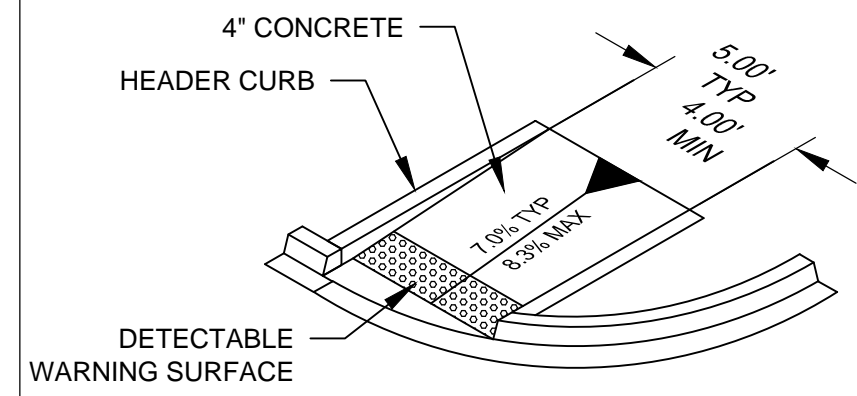
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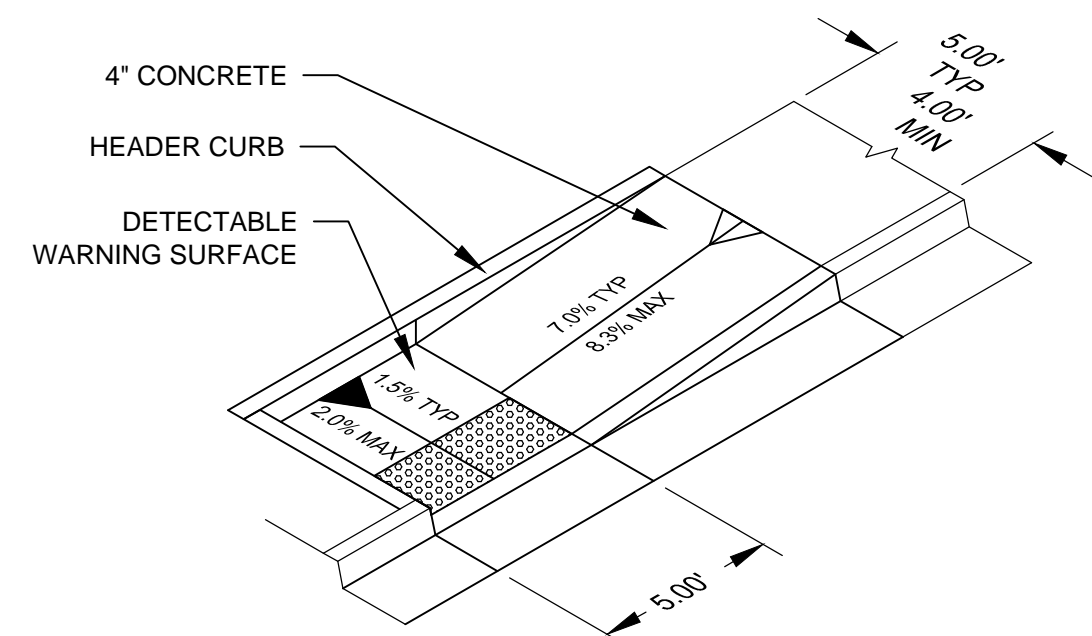
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SCALE: NTS



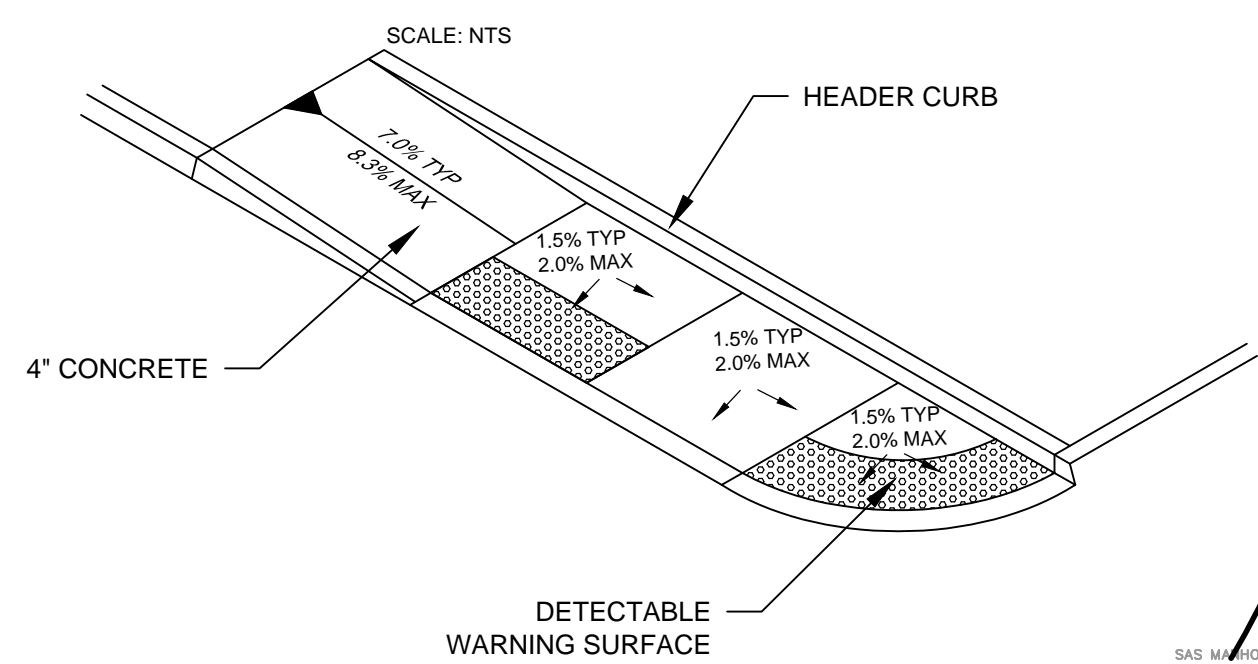
ADA RAMP TYPE "C"

SCALE: NTS



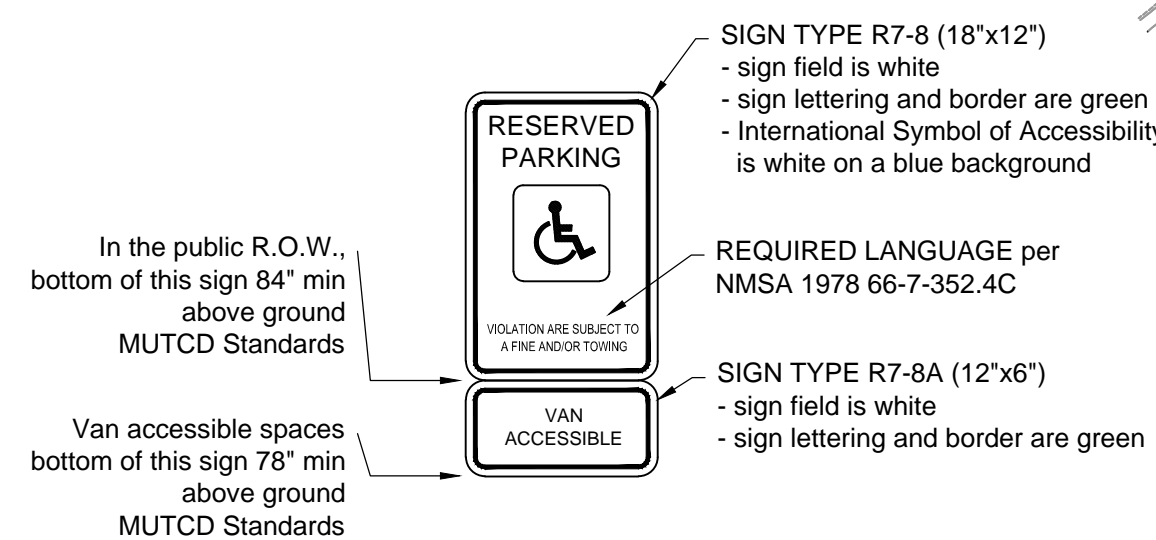
ADA RAMP TYPE "D"

SCALE: NTS



ADA RAMP TYPE "A"

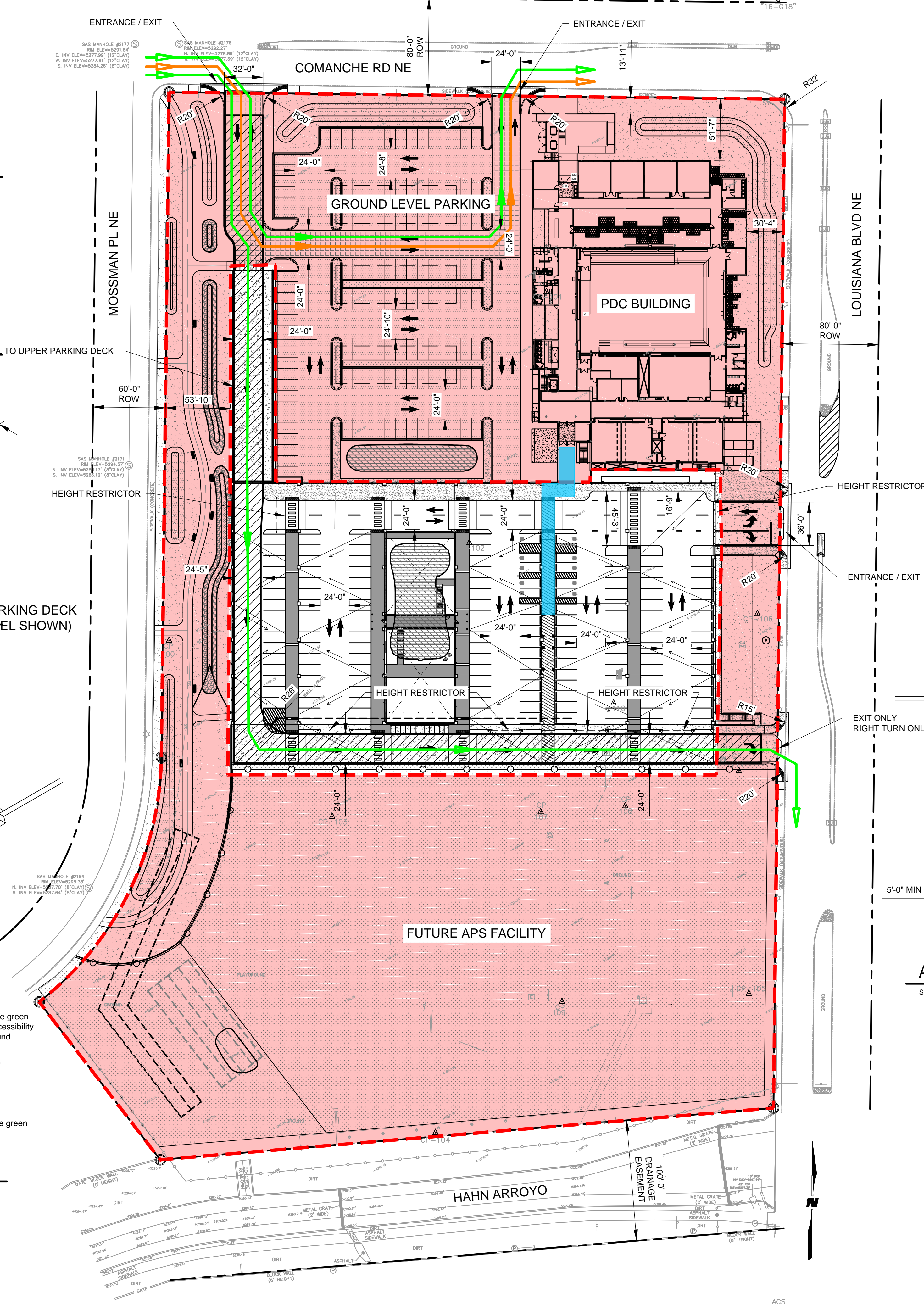
SCALE: NTS



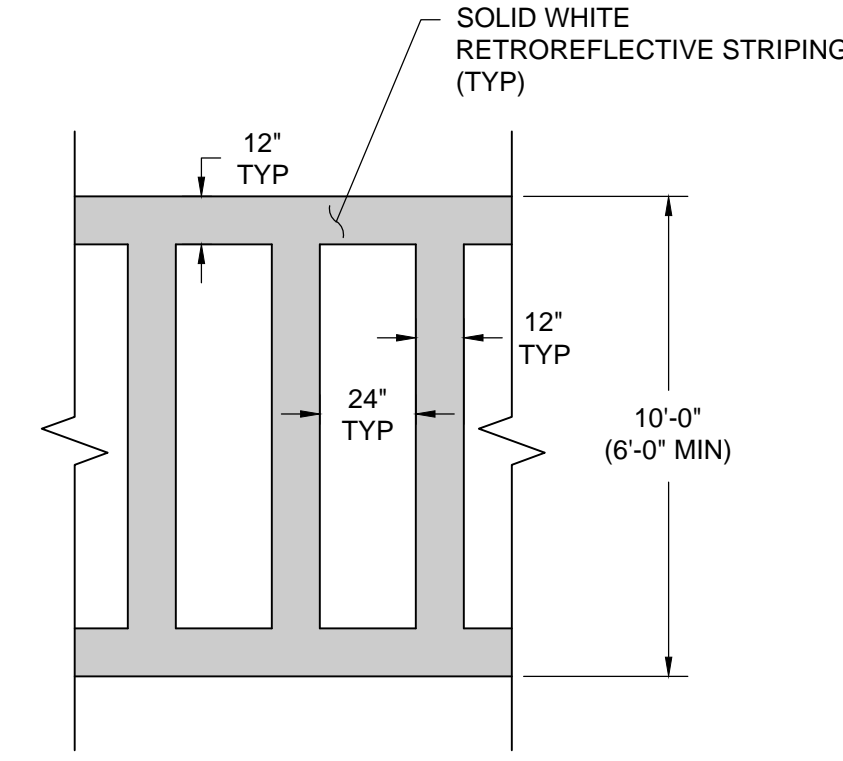
HANDICAP SIGN FACE DETAIL

A1 UPPER LEVEL TRAFFIC CIRCULATION LAYOUT

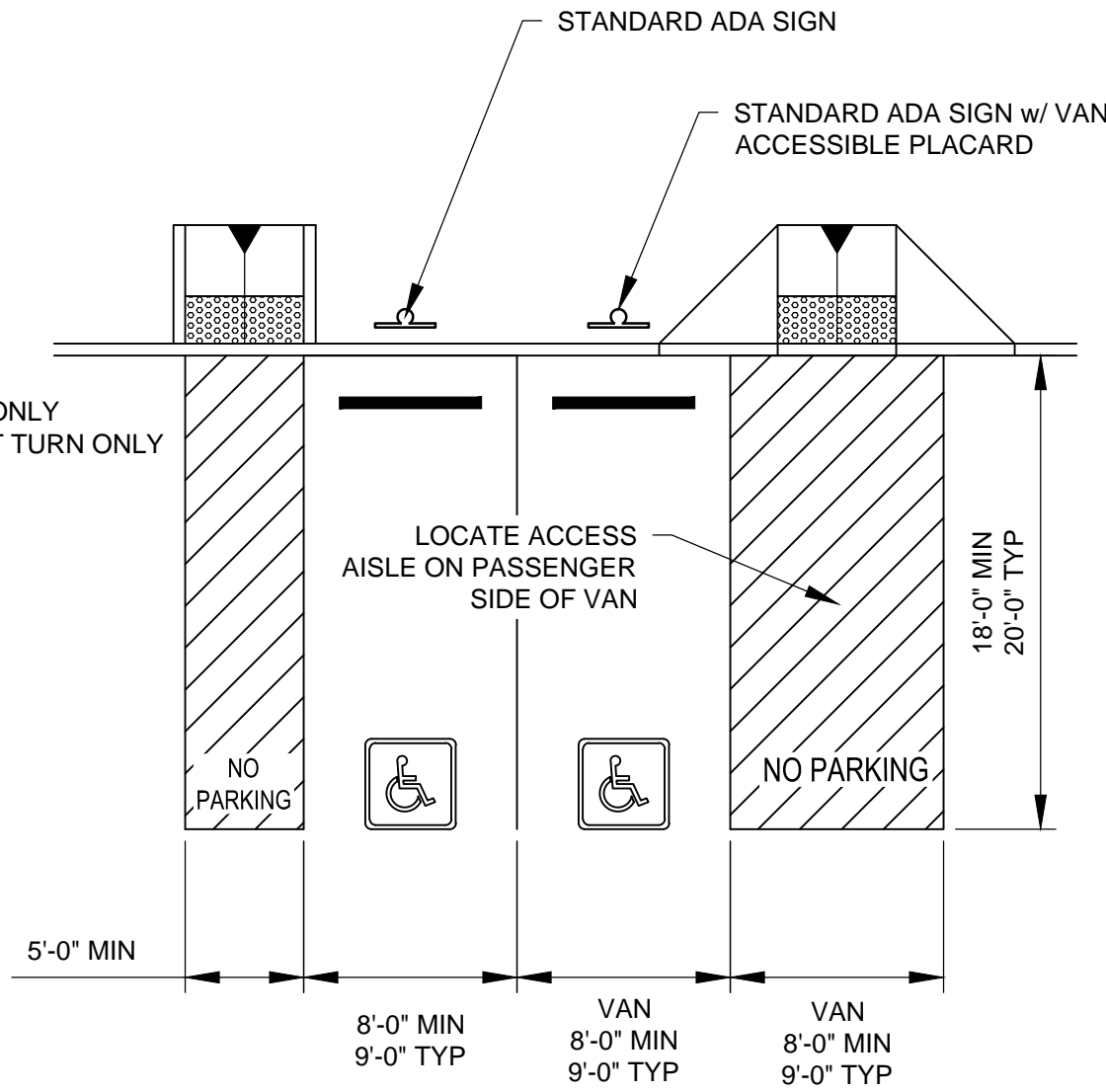
SCALE: 1" = 1'



VICINITY MAP
ZONE ATLAS MAP NO G-18



CROSSWALK STRIPING DETAIL



ACCESSIBLE PARKING DETAIL

SCALE: NTS

GENERAL SHEET NOTES

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PARKING ANALYSIS:	
PARKING SPACES PROVIDED:	478
ACCESSIBLE SPACES REQUIRED:	10
COMPACT SPACES ALLOWABLE:	120
MOTORCYCLE PARKING REQUIRED:	6
BICYCLE PARKING:	24

LEGEND

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- 4" ASPHALT PAVEMENT
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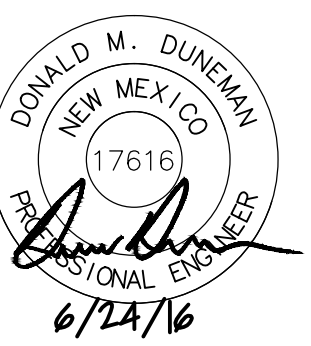
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C106

UPPER LEVEL TRAFFIC
CIRCULATION LAYOUT